

## V. SITE DEVELOPMENT STANDARDS

### INTRODUCTION

The following standards are intended to direct the individual project developer. The objective of these standards is to create projects that contribute to the overall design continuity of the Retail Commercial/Business Park while maintaining their own sense of individuality. Standards have been provided for land development, landscaping, architecture, signage and lighting.

Alternate uses are listed within the following section. This is to provide for unforeseen marketing or economic situations that would make different uses more viable than those initially proposed in this Specific Plan. Alternate uses do not require approvals other than those described in the Implementation section. Alternate uses are required to adhere to the design criteria specified for that use.

### DEVELOPMENT STANDARDS

#### RETAIL/VISITOR COMMERCIAL



The Retail/Visitor Commercial development is intended to serve as a destination commercial center and 300 room hotel site with freeway proximity. It will draw shoppers from the South Bay region and serve local residents and businesses. Development Standards for retail sales and services and hotel are as follows:

### Retail Commercial Permitted Uses:

- Any Retail Commercial Uses and Restaurants (except as noted in the Conditional and Prohibited Use Section).
- Alternate use: Office, R&D, Light Industrial.

### Setbacks:

#### Perimeter Streets

- Building - 20' from property line
- Parking - 15' from property line

#### Side Yard

- Building - 10' from property line
- Parking - 10' from property line

#### Rear Yard

- Building - 10' from property line
- Parking - 10' from property line

### Floor Area Ratio:

F.A.R. of .35 is allowed.

### Building Height:

2 story maximum, not to exceed 35'. Architectural elements to 50' will be permitted.

### Parking Requirements:

- Retail commercial - 1 space per 200 square feet of gross floor area for entire 40 acre Retail Center (except for recreational/entertainment uses, to be determined through the C.U.P. process).

### Parking Area Design:

- Standard 60 degree one-way parking
  - Stall size -- 9' x 19.5'
  - Aisle width -- 20'
  - Bay spacing -- 55' on center
- Standard 90 degree two-way parking
  - Stall size -- 8.5' x 18'
  - Aisle width -- 26'
  - Bay spacing -- 62' on center

- Compact 90 degree two-way parking
  - Stall size -- 8' x 15'
  - Aisle width -- 26'
  - Bay spacing -- 56' on center
  - Compact car spaces are allowed at the rate of 33 percent of total spaces

Walls, Fences and Enclosures:

- Materials and design shall conform to the architectural theme and standards established for the Center and will be subject to approval by an Architectural Review Board and Community Development Department staff.
- Buffer wall height shall not exceed 8 feet for rear and side yards when adjacent to residential development. Landscape walls shall not exceed 4 feet.
- All rooftop equipment, vents, fans and appurtenances shall be screened by parapets or other architecturally integrated roof forms.
- Roof mounted satellite antennae shall be screened as described above. Satellite antennae at ground level shall be screened by materials compatible with adjacent structures and shall not be visible from the public right-of-way or located within the front setback.
- Trash enclosures, loading and storage areas shall be screened at locations where they are visible from the public right-of-way or adjacent properties.
- All of the above mentioned structures shall be designed per City Building Code.

Signage:

Specific design guidelines for the Commercial development are described in the Signage section.

Visitor Commercial Permitted Uses:

- Hotel (C.U.P. required).
- Alternate use: Office, R&D and Light Industrial.

Setbacks:

Perimeter Streets

- Building - 30 feet from property line for first 30 feet of building height. Buildings over 30 feet require a 1 foot setback per 1 foot of building height.
- Parking - 20 feet from property line.

Side Yard

- Building - 30' from property line
- Parking - 10' from property line

Rear Yard

- Building - 30' from property line
- Parking - 10' from property line

Floor Area Ratio:

Hotel - 300 room (F.A.R. does not apply).

Building Height:

Hotel - 10 story maximum, not to exceed 135 feet.

Parking Requirements:

- Hotel - 1 space per guest room, plus two spaces for the resident manager's unit.
- Hotel with banquet facility or other ancillary uses - 1.2 spaces per guest room.

Parking Area Design:

- Standard 90 degree two-way parking
  - Stall size -- 8.5' x 18'
  - Aisle width -- 26'
  - Bay spacing -- 62' on center
- Compact 90 degree two-way parking
  - Stall size -- 8' x 15'
  - Aisle width <197> 26'
  - Bay spacing -- 56' on center
  - Compact car spaces are allowed at the rate of 33 percent of the total spaces.

#### Walls, Fences and Enclosures:

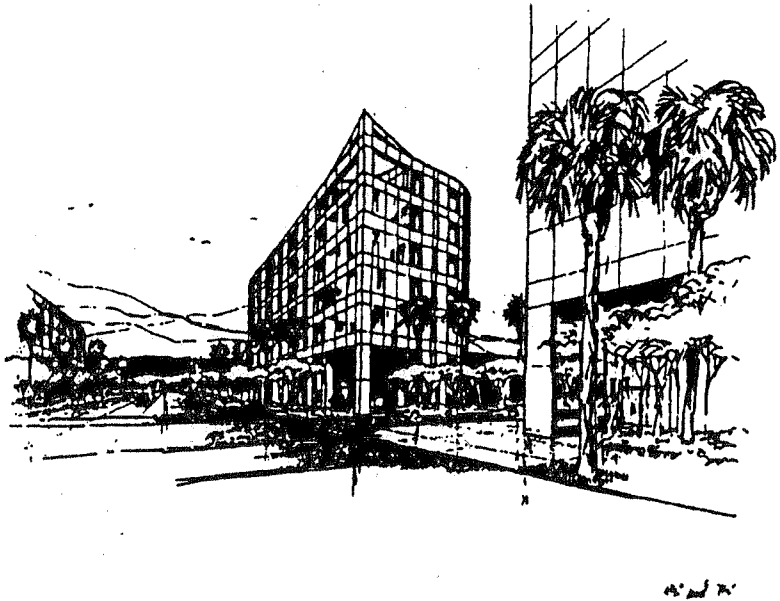
- Materials and design shall conform to the architectural theme and standards established for the Center and will be subject to approval by an Architectural Review Board and Redevelopment Staff.
- Buffer wall height shall not exceed 8 feet for rear and side yards when adjacent to residential development. Landscape walls shall not exceed 4 feet.
- All rooftop equipment, vents, fans and appurtenances shall be screened by parapets or other architecturally integrated roof forms.
- Roof mounted satellite antennae shall be screened as described above. Satellite antennae at ground level shall be screened by materials compatible with adjacent structures and shall not be visible from the public right-of-way.
- Trash enclosures, loading and storage areas shall be enclosed and screened with substantial materials compatible with the main buildings. These areas shall be located so as not to be visible from the public right-of-way or adjacent properties.
- All of the above mentioned structures shall be designed per City Building Code.

#### Signage:

Signs shall be designed per City Zoning Ordinance as approved by the Architectural Review Board. Specific design guidelines for project monument and temporary leasing and sales signs are described in the signage section.

## OFFICE/RETAIL COMMERCIAL

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The northeast portion of the site is proposed for retail commercial uses or multi-story offices and research and development uses. A large part of the area is a capped landfill. The landfill may only be used for parking since it cannot support building structures without using special construction techniques. Mitigation measures associated with the landfill are described in the architecture and landscaping sections. Development standards for this area are as follows:

### Permitted Uses:

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- Retail Commercial, Office, and R&D.
- Alternate use: Light Industrial.

### Setbacks:

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#### Perimeter Streets

- Building - 30 feet from property line for first 30 feet of building height. Buildings over 30 feet require a 1 foot setback per 1 foot of building height.
- Parking - 20 feet from property line.

#### Side and Rear Yard Setbacks

- Per City Zoning Ordinance.

Floor Area Ratio:

- F.A.R. of .35 is allowed.

Building Height:

- 6 story maximum, not to exceed 110 feet.

Parking Requirements:

- Retail commercial - 1 space per 200 square feet of gross floor area (except for recreational/entertainment uses to be determined through the C.U.P. process).
- Office - 1 space per 250 square feet of gross floor area is required.
- Light Industrial and R&D - 1 space per 400 square feet of gross floor area is required.

Compact car size spaces are allowed at the rate of 33 percent of the total spaces. The parking area design (stall size, aisle width, circulation pattern and lighting) shall conform to the City's Zoning Ordinance.

If it can be demonstrated that the amount of parking required is less than as shown above, and the individual developer has a transportation demand management plan, then the parking ratios could be reduced if approved by the Director of Community Development.

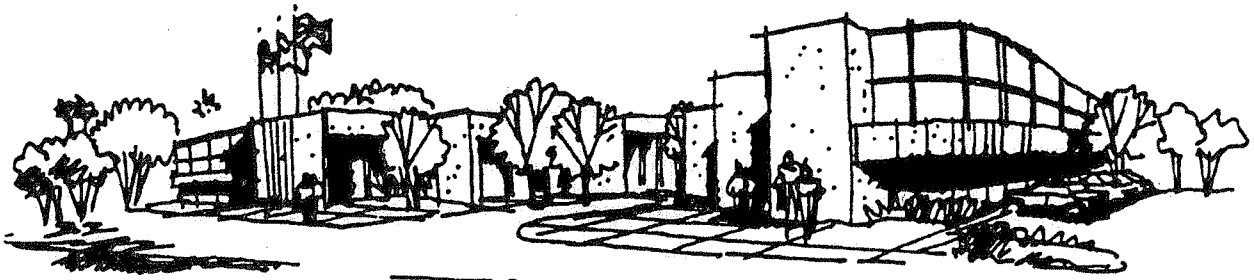
Walls, Fences and Enclosures:

Same as described in "Retail Commercial."

Signage:

Signs shall be designed per City Zoning Ordinance as approved by the Architectural Review Board. Specific design guidelines for project monument and temporary leasing and sales signs are described in this section.

OFFICE/R&D/LT. INDUSTRIAL/RETAIL COMMERCIAL



A mix of R&D, light manufacturing and assembly uses are proposed for Carson Town Center. The design of these facilities will maintain the high aesthetic standards of the Center and also consider their functional needs (loading areas, etc.) They may also be designed as multi-tenant facilities. Development Standards for these uses are as follows:

Permitted Uses:

- Office, R&D and Light Industrial, (including Warehouse) and Retail Commercial.
- Alternate Use: Recreational/Entertainment.

Setbacks:

Perimeter Streets

- Building - 30 feet from property line for first 30 feet of building height. Buildings over 30 feet require a 1 foot setback per 1 foot of building height.
- Parking - 20 feet from property line.

Freeman Street

- Building - 30 feet from property line for first 30 feet of building height. Buildings over 30 feet require a 1 foot setback per 1 foot of building height.
- Parking - 20 feet from property line.

Side and Rear Yard Setbacks

- Per City Zoning Ordinance.



Floor Area Ratio:

F.A.R. of .55 is allowed.

Building Height:

6 story maximum, not to exceed 110 feet.

Parking Requirements:

- Office - 1 space per 250 square feet of gross floor area is required.
- R&D and Light Industrial - 1 space per 400 square feet of gross floor area is required.
- Warehouse - per City standards. 1/1500
- Retail commercial - 1 space per 200 square feet of gross floor area (except for recreational/entertainment uses to be determined through the C.U.P. process).

Compact car size spaces are allowed at the rate of 33 percent of the total spaces. The parking area design (stall size, aisle width, circulation pattern and lighting) shall conform to the City's Zoning Ordinance.

If it can be demonstrated that the amount of parking required is less than as shown above, and the individual developer has a transportation demand management plan, then the parking ratios could be reduced if approved by the Director of Community Development.

Walls, Fences and Enclosures:

Same as described in "Retail Commercial."

Signage:

Signs shall be designed per City Zoning Ordinance as approved by the Architectural Review Board. Specific design guidelines for project monument and temporary leasing and sales signs are described in this section.

## CONDITIONAL AND PROHIBITED USES

The land uses allowed in Carson Town Center have been identified in the previous section. The City Zoning Ordinance identifies uses requiring various types of approval. This Specific Plan has modified the Ordinance by permitting uses which will require conditional use permits (C.U.P.s) and by prohibiting some uses allowed in the ML Zone. Any proposed uses not found in the following lists shall be as permitted by the Ordinance or by the findings of the Community Development Director.

### USES WHICH REQUIRE CONDITIONAL USE PERMITS

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#### Recreational/Entertainment

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- Uses including but not limited to theaters, arenas, sports complexes, gymnasiums, health clubs, entertainment facilities or arcades

#### Manufacturing

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- Furniture, bedsprings, boxes, coffins, fences, sash and doors, venetian blinds, window shades.

#### Manufacturing Products from the Following Materials:

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- Aluminum, sheet metal, ornamental iron, steel.
- Rubber

#### Industrial Activities Involving the Following:

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- Tire retreading and recapping.
- Raw rubber processing.
- Metal plating and finishing.
- Metal engraving, metal fabrication (no snap riveting) metal spinning, tool tempering, welding.
- Foundry (no brass or bronze) - precision investment casting, die casting.
- Grinding, dressing or cutting of stone, granite or marble; sand washing.
- Starch mixing and bottling, paint spray booth, shellac mixing (no cooking), paint or enamel mixing (except laquer, synthetic enamel, polyurethane).

#### Resource Extraction

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- Oil fields, oil wells.

### Service and Repair

- Boat repair, vehicle repair (no limit on size of vehicle), equipment and machinery repair, subject to the limitations of Section 9138.2 of City Zoning Ordinance if within 300 feet of other than industrial use.

### Equipment Sale and Rental

- Motor vehicles and heavy equipment of all types and sizes, contractor's equipment, agricultural equipment.
- Automobile parts, used (all activities within an enclosed building).

### Storage

- Glass, lumber (no boxes or crates), naval stores, plaster, empty barrels, metal (no scrap), machinery, equipment.
- Natural gas above ground - not more than 500,000 cubic feet.

### Transportation, Communications, Utilities, Public Service

- Service Yard - public utility or public service.

### Uses in a Commercial Zone

- Golf driving range, pitch-and-putt course, golf course.
- Massage or turkish bath as an accessory use to an allowed use.
- Automobile service station, subject to the requirements of Sections 9138.12 and 9148.3 of the City Zoning Ordinance.
- Vehicle repair, subject to the limitations of Section 9138.2 if within 300 feet of other than an industrial zone.

### PROHIBITED USES

The following uses are permitted in the ML Zone by the City Ordinance. However, in this Specific Plan area, the uses will not be allowed.

### Manufacturing of the Following Products:

- Ink, polish, putty, enamel (except lacquer, synthetic enamel, polyurethane), ethylene glycol.
- Laquer, synthetic enamel, polyurethane.
- Engines (with foundry).

Manufacturing of the Following Materials:

- Polyurethane foam.

Industrial Activities Involving the Following Processes:

- Mattress renovation.
- Mixing of lacquers, synthetic enamel, polyurethane paint.
- Oil canning and packaging.

Resource Extraction

- Borrow pit.

Food Manufacturing and Processing

- Fish barbecuing or smoking.
- Cigars, cigarettes.

Wholesale

- Poultry.

Storage (except as an accessory to approved uses)

- Polyurethane foam.
- Rock, sand and gravel.
- Clay and clay products.
- Cement silo, grain elevator.
- Fuel yard.
- Waste paper.
- Motor vehicles.

Transportation, Communications, Utilities, Public Service

- Jail farm, honor farm.
- Truck terminal or yard.

Recreation

- Archery range.
- Outdoor drive-in theater.
- Fairgrounds, outdoor festival (permanent).

Agriculture

- Earthworm farm.
- Mushroom farm.
- Egg candling.

Animal Services

- Horse stable, riding academy - commercial or private.
- Animal shelter, pound kennel, training school.

### Outdoor Advertising

- Outdoor advertising sign.
- Large collection recycling facility.
- Processing facility for recyclables.

### Uses in a Commercial Zone

- Massage parlor, turkish bath, escort bureau.

### Uses in Manufacturing Zones

- Tent revival.
- Carnival, mechanical rides, pony rides, outdoor festival and similar uses.
- Circus, rodeo.

**MITIGATION  
MEASURES FOR  
LANDFILL SITE**

City/County Building Code Section 308c will be required for any structures built on the ML-ORL portion of the site. Certification from a licensed engineer is required to prove that adequate natural or man-made methane migration barriers are provided. As enforced by the County Departments of Building and Safety and Public Works, this essentially involves the installation of a subfloor membrane with passive venting under each building or other approved alternative system. Each individual building permit application must be accompanied by a plan for methane mitigation containing County-required stipulations for periodic monitoring. Prior to issuing a Certificate of Occupancy, the City/County will require certification that the mitigation system was installed per the approved plans, and that the building is safe from methane hazards. Projects may also be required to comply with the State Department of Toxic Substance Control consent orders.

**ARCHITECTURAL  
DESIGN**

The design theme of the Carson Town Center will be established by the use of common design elements used throughout the project. Repetitive use of street trees, lighting, signage, paving materials, bollards, benches and other street furniture will unify the Center. It is not the intent of this Specific Plan to mandate an architectural theme for the project. The commercial buildings and business park have different design requirements. Those uses will also utilize distinctive architecture to establish their "corporate identity." However, the architecture of individual projects should reflect a relationship to the whole Center. This can be accomplished by incorporating landscape, lighting and other elements from the Community Design into individual projects. Additionally, individual projects should be designed with consideration of adjacent developments' form, scale, materials, colors, etc. Design review of each building, as part of the Supplemental Application procedure, will assure compatibility of all buildings.

## FORM AND SCALE

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The form and scale of individual buildings will have a significant impact on the architectural continuity of the project. The following guidelines address these issues:

- A building's form should be based on program requirements, along with its relationship to adjoining buildings and significant land forms on the site.
- The mix of uses within the project site will most likely result in a variety of building heights. Although heights may vary, all buildings should incorporate design features that relate to the human scale.
- Building forms should reflect a strong relationship to outdoor landscaped areas. The design of buildings should relate to adjacent plazas and pedestrian links.
- Large scale uninterrupted walls should be visually reduced to human scale by horizontal lines or textures, landscaping and mounding, and clustering of small scale building elements around the major form.

## MATERIALS

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It is anticipated that a variety of materials will be used in the Carson Town Center, however, a simple, direct use of materials is necessary. Materials used in their natural form and color produce the most lasting and highest quality design. Use of a limited palette of subtle materials is encouraged. Building materials samples must be submitted for Architectural Review Board and City approval. Recommended exterior building materials for the Center are:

### Retail Commercial:

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- A Concrete block (stucco, texture or paint finishes)
- Stucco
- Wood (only for trellises, canopies or accents)
- Aluminum (painted or integral color) or painted metal windows and storefronts
- Tile or stone accents
- Metal sloped roofs/tile
- Concrete (painted)

Visitor Commercial:

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- Glass curtain wall (low or medium reflective glass)
- Metal (aluminum, drivit or other similar pre-assembled components)
- Cast in place or precast concrete (texture or paint finishes)
- Stucco
- Aluminum (painted or integral color) or painted metal inset frames
- Tile or stone accents

Office:

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- Glass curtain wall (low or medium reflective glass)
- Metal (aluminum, drivit or other similar pre-assembled components)
- Cast in place or precast concrete (texture or paint finishes)
- Stucco
- Aluminum (painted or integral color) or painted metal inset frames
- Tile or stone accents
- Brick

R&D/Light Industrial:

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- Glass curtain wall (low or medium reflective glass)
- Metal (aluminum, drivit or other similar pre-assembled components) as architectural treatment, but not for walls.
- Cast in place or precast concrete (texture or paint finishes)
- Tilt-up concrete (texture or paint finishes)
- Concrete block (stucco, texture or paint finishes)
- Aluminum (painted or integral color) or painted metal inset frames
- Tile or stone accents
- Brick



## COLORS

Colors shall be coordinated for all exterior elevations of the buildings to provide total continuity for the design within the site. The following guidelines apply to colors for individual projects.

- No exterior walls of any building in the Carson Town Center shall be painted or otherwise finished until the materials and colors have been approved by the Architectural Review Board and the City.
- Colors of the adjacent and surrounding buildings shall be taken into account, and those colors must be presented in the Supplemental Application Package with the proposed building colors.
- Colors of all elements on the site including fences, walls, light standards, accessory uses, signs, etc. shall be compatible with the main structures.
- Bright colors, or colors which are for the purpose of calling inappropriate attention to the building for its given use are prohibited.

## **LANDSCAPE DESIGN**

Individual lot developers may design landscapes to complement the themes of their projects. However, in order to provide continuity throughout the business park, the following criteria has been established for streetscapes, entry areas, parking areas and transition zones between buildings and screening areas:

## ENTRY THEME

There will be entry statements on Figueroa Street and Main Street into the project site (refer to Landscape Concept Plan exhibit). The design theme of the Center will be introduced at these entries will consist of project monuments, trees and flowering plants and other features appropriate to their enhancement.

## FIGUEROA STREET ENTRY/MAIN STREET ENTRY

The sketch below shows the business park entry design. Features at this entry include the following:

- Sidewalks at the curb edge will be 8' wide patterned concrete paving.
- Monument sign will be of similar style as ones described on page 58 for the business park.
- A single row of entry accent trees will be planted 15' on center as a dramatic backdrop to the sign.
- Minimum tree size is 15 gallon, with a minimum height of 7 to 8 feet. The following tree varieties may be used:
  - *Lagerstroemia indica* - Crape Myrtle
  - *Nerium oleander* (standard) - Oleander
  - *Pyrus kawakamii* - Evergreen Pear
- Flowering shrubs and groundcover.

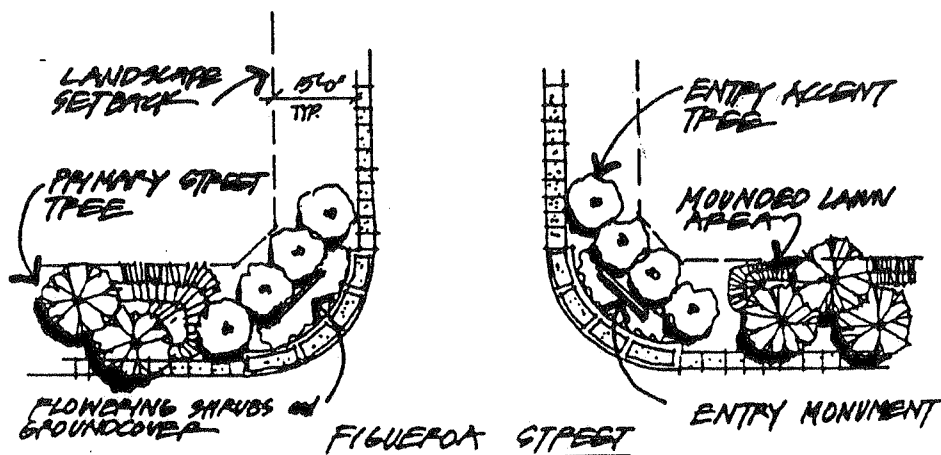


EXHIBIT 18 - ENTRY THEME

## PARKING AREAS

- Minimum tree size is 15 gallon, with a minimum height of 7 to 8 feet. The following tree varieties may be used in the parking areas:
  - *Alnus rhombifolia* - Alder
  - *Cupaniopsis anacardioides* - Carrot Wood
  - *Koelreuteria bipinnata* - Chinese Flame Tree
  - *Lagerstroemia indica* - Crape Myrtle
  - *Liriodendron tulipifera* - Tulip Tree
  - *Nerium oleander* (standard) - Oleander
  - *Pyrus kawakamii* - Evergreen Pear
- Retail Commercial 40-acre parcel will require 5% of the gross parking area (not counting landscape setback areas) to be landscaped.
- ✗ • Tree wells with a minimum inside planting dimension of 4 feet must be provided for every 5 parking stalls in parking bays. The wells shall be constructed with a 6-inch curb which will act as a wheel stop. ✓
- ✗ • Landscape islands with a minimum width of 5 feet and length equal to that of the adjacent parking stall must be provided. Islands shall be located at the ends of parking stall rows and at every tenth parking stall where adjacent to landscape areas. At least one tree must be planted in each island. ✓
- Project developers may replace lawn areas with approved shrubs and groundcovers in landscape setback areas within 4 feet of parking areas. The purposes of this provision are to encourage screening of parking areas from surrounding streets, to create more variety in the streetscape and to reduce maintenance requirements.
- ✗ • Landfill parking areas are required to provide above-grade landscaping because plant roots must not penetrate into the capped landfill. Movable, concrete planters are recommended. Drip irrigation type systems may be installed in channels in the top layer of asphalt paving. ✓

## TRANSITION ZONES

Transition zones are the areas between streetscape and buildings or parking lots within individual developments. Transition zones must incorporate some of the project theme trees and screening trees to blend the general development landscapes with individual landscapes. Criteria for landscapes in transition zones are:

- Transition zones shall incorporate a minimum of 60 percent of the same trees used in the general development area.
- Shrub massing shall be used to extend streetscape planting into individual sites and for separation and screening of incompatible uses between individual sites.

## LANDSCAPE SCREENING

- Screening to conceal unattractive views, such as trash enclosures and service areas, shall be accomplished through the use of dense landscaping, vines, earth berms and architecturally compatible walls.
- Loading areas shall be screened so as not to be visible from adjacent lots, neighboring properties or streets.
- Transformers and site equipment that may be visible from adjacent streets and properties shall be screened with plantings or a durable, non-combustible enclosure.

## IRRIGATION STANDARDS

- For water conservation, permanent, underground, automatic irrigation systems incorporating tensiometers and automatic shut-off valves shall be provided in all landscape areas. Irrigation systems shall provide for precipitation rates that will not cause saturated soil conditions, erosion, or an excessive amount of runoff water to flow into public streets or adjacent properties.
- Pop-up type sprinklers shall be used in lawn areas and low precipitating head or drip irrigation systems shall be used in shrub areas.
- Drip irrigation shall be used in the landfill parking lot landscaping.

- All landscaping and irrigation shall conform to the standards outlined in the City's Water Conservation Ordinance.
- All irrigation systems should be designed so that areas of separate maintenance responsibility are controlled independently.
- All irrigation systems will conform to the City of Carson plumbing code.

## SIGNAGE

A variety of signage will be allowed in the business park to accommodate different uses. All projects in the business park will be allowed to have entry monuments and building identification signs. Commercial areas will be allowed additional tenant identification signage. Temporary marketing and construction signs are also allowed.

### INDIVIDUAL LOT MONUMENT SIGNS

The following criteria will apply to all project monument signs, unless otherwise approved pursuant to a comprehensive sign plan:

- One double-faced entry sign will be allowed for each single or multi-tenant project. All project signs will be a maximum of 6 feet high and 13 feet wide. They will be cast-in-place, white integral color concrete, with a hammered rough formed or sandblasted texture.
- The monument signs must be located adjacent to the main project entry drives. Signs must be a minimum distance of 2 feet from the public right-of-way.
- Text and logos must fit proportionally into the face of the sign. Company logos may be incorporated into the sign face. Signs may be externally illuminated by ground level lights.

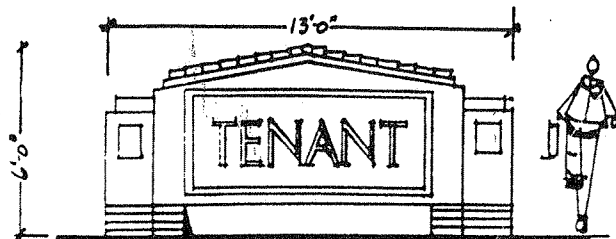


EXHIBIT 19-INDIVIDUAL LOT MONUMENT SIGNS

Returns -  
Min. 3"  
For Non-illum.

## BUILDING WALL SIGNS

Building wall signs and address numbers must follow these criteria:

- Buildings fronting onto one street are allowed a single building identification sign facing the street. Buildings facing onto the interior street and a perimeter street will be allowed two signs, one facing each street.
- Building wall signs shall be individual dimensional letters.
- The text of the signs shall be limited to the business name. Company logos may also be incorporated into the sign.
- Building wall signs must be integrated with and proportional to the overall building design. The sign area will not exceed 1/3 of the length of the building face. Letter size will not exceed 24" and should not overpower the overall design in size, style and color.
- Address numbers shall be a minimum of 10 inches high and must be located on the building face to be clearly visible to first time.

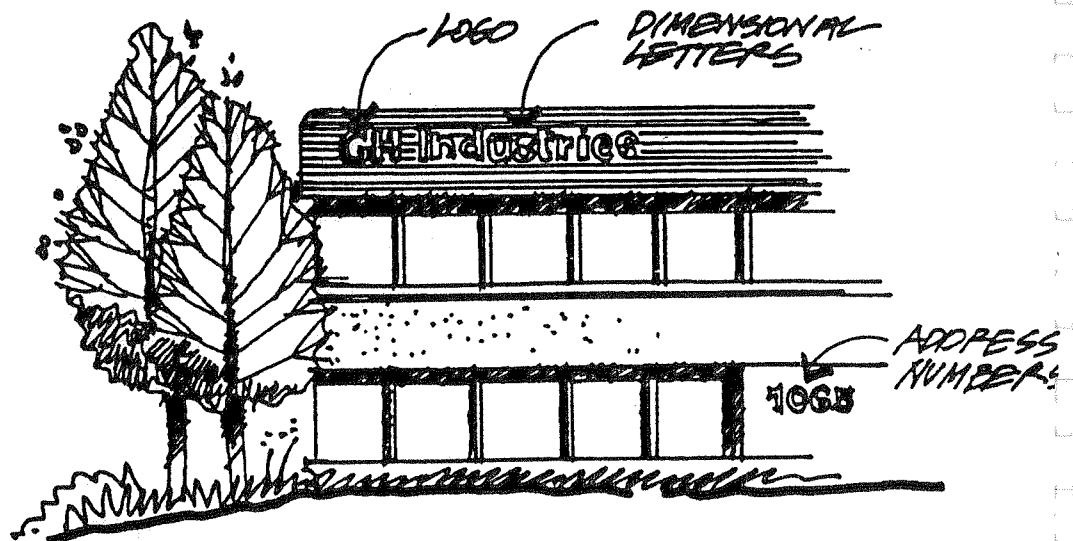


EXHIBIT 20 - BUILDING WALL SIGNS

## RETAIL COMMERCIAL SIGNS

Retail commercial uses have different signage requirements than the other uses proposed for the development. The following criteria apply to commercial signage:

- A detailed, comprehensive sign plan shall be submitted with retail commercial development plans. The sign plan shall describe sizes, colors, materials and lettering styles for all project signs.
- In multi-tenant commercial developments, major tenants will be allowed a single wall or fascia sign for each wall facing a customer parking area, unless otherwise approved pursuant to the comprehensive sign plan.
- Small shop tenants will be allowed a single wall or fascia shop identification sign for each wall facing a customer parking area or street.
- Wall or fascia signs shall be attached 1/2" to 3/4" from the building surface or per approval of the developer and the City of Carson.
- Company logos, colors and type styles may be used on all commercial signs.
- All signs will be individual, internally illuminated letters, except that secondary signs for anchor or major-tenants may be non-illuminated.
- Three freeway oriented multiple tenant pole signs, 62-feet in height (see EXHIBIT 20a).
- Tenants can have top billing on only one pylon sign.
- Restrictions on window signs (on file with the City of Carson Community Development Department).
- Final approval of all signage shall be obtained from the City.
- Signs shall conform with the City of Carson's municipal code (including banners, pennants, and flags).

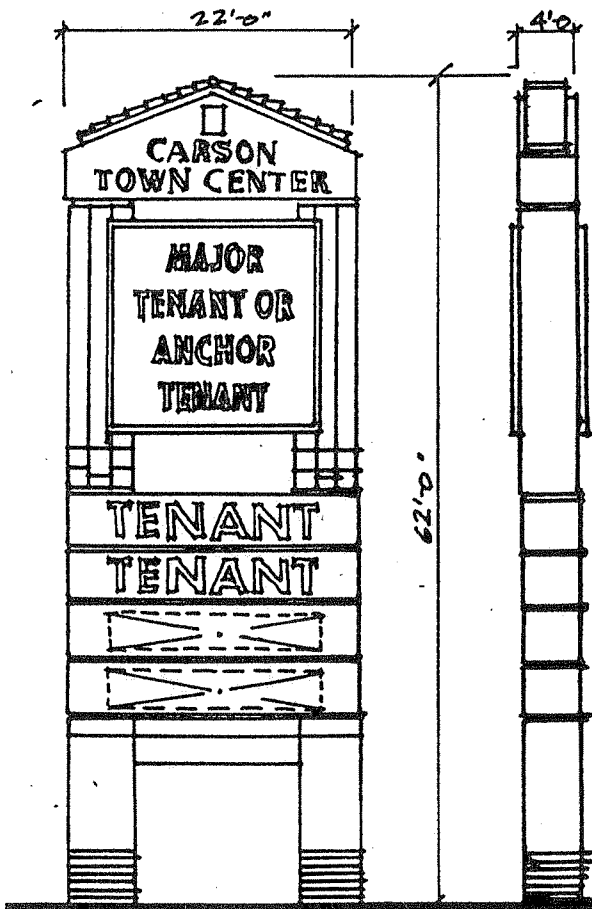


EXHIBIT 20A  
FREEWAY ORIENTED  
MULTIPLE TENANT  
POLE SIGNS





## LIGHTING

Individual project lighting shall incorporate similar design elements for consistency throughout the project. The following criteria shall be followed:

- All site, landscape or building exterior lighting should be of a configuration, style and finish color that complements the architectural theme and materials established by the building architecture.
- A single type of parking lot light fixture, or one approved by the Architectural Review Board, shall be used consistently throughout the project. The landfill parking lot shall be illuminated from the perimeter of the capped area. Appropriate fixture configuration and size shall be selected to adequately light parking areas.
- Walkway and landscape feature lighting is encouraged for safety and aesthetic purposes.
- High intensity lighting should not be substituted for site or landscape lighting or general exterior building illumination, but should be limited to service areas or other similar locations. Care shall be taken that this type of light source is not a nuisance to neighboring development.

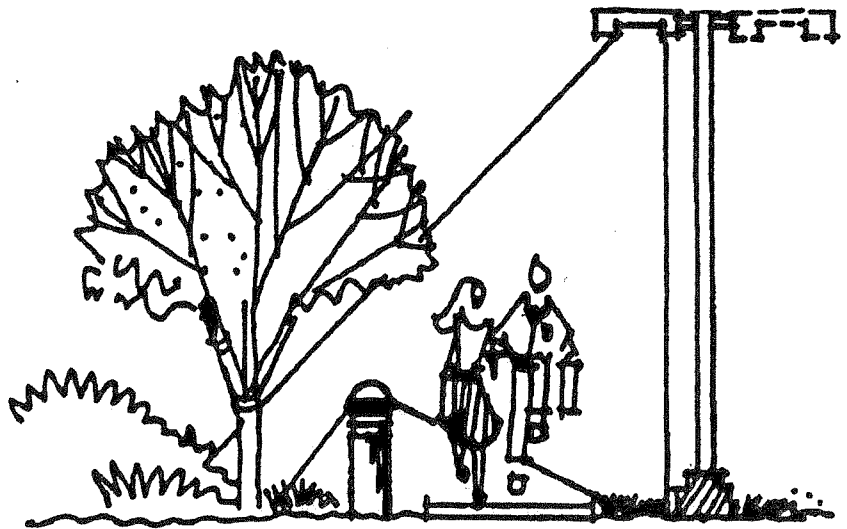


EXHIBIT 22 - INDIVIDUAL PROJECT LIGHTING

## MAINTENANCE

### SITE MAINTENANCE

Maintenance of the Carson Town Center will be the responsibility of the master developer until that responsibility is transferred to individual project developers. Pre-development site maintenance requires the graded site to be maintained in a debris and weed-free condition, the installed landscape maintained in a healthy and attractive condition, and temporary signs in a clean, attractive condition. Upon transference of maintenance responsibility, individual project sites must be kept clean, and equipment and materials must be confined to fenced or screened utility areas. As differential settling of the landfill area occurs, repaving will be required to prevent water-collecting depressions.

### BUILDING MAINTENANCE

Individual project developers must maintain buildings and other improvements in good condition, adequately cleaned and painted or otherwise finished to present a sightly and well-kept appearance.

### LANDSCAPE MAINTENANCE

Landscape maintenance requires keeping the landscape in a healthy and attractive condition. This includes adequate irrigation, fertilization, pruning, replacement of dead or marginal plant material and removal of plant debris and trash. The irrigation system must also be maintained in a functioning and efficient manner.