

Chapter 2 Specific Plan Components

The Cambria Pines Specific Plan contains five primary components: (1) Site Plan; (2) Infrastructure Plan; (3) Development Standards and Design Guidelines; (4) Performance Standards; and (5) Phasing Plan. These five components are described in the following five sub-sections of this chapter of the Specific Plan.

2.1 Site Plan

The basic objective of The Cambria Pines Specific Plan is to provide a safe community of quality, detached single family homesites which will make home ownership available and affordable to median income households.

2.1.1 Land Uses

The residential development will be subject to development standards specified in this Specific Plan. Where specific development standards have not been identified in this Specific Plan, development will comply with applicable sections of the City of Carson Zoning Ordinance, Sections 9121-9128 (inclusive) of the City Municipal Code. Where this Specific Plan does detail standards or regulations, however, its provisions will supersede any conflicting provisions of the City of Carson Municipal Code.

The conceptual layout of the proposed lots and arterials is shown in the Illustrative Site Plan (Figure 3). There will be a total of 162 one- and two-story single family detached homes. Approximately one-half of the homes will contain three bedrooms and the other half will contain four bedrooms. The parking will include two-car garages (to meet City requirements) as well as space for two additional cars in the driveways.

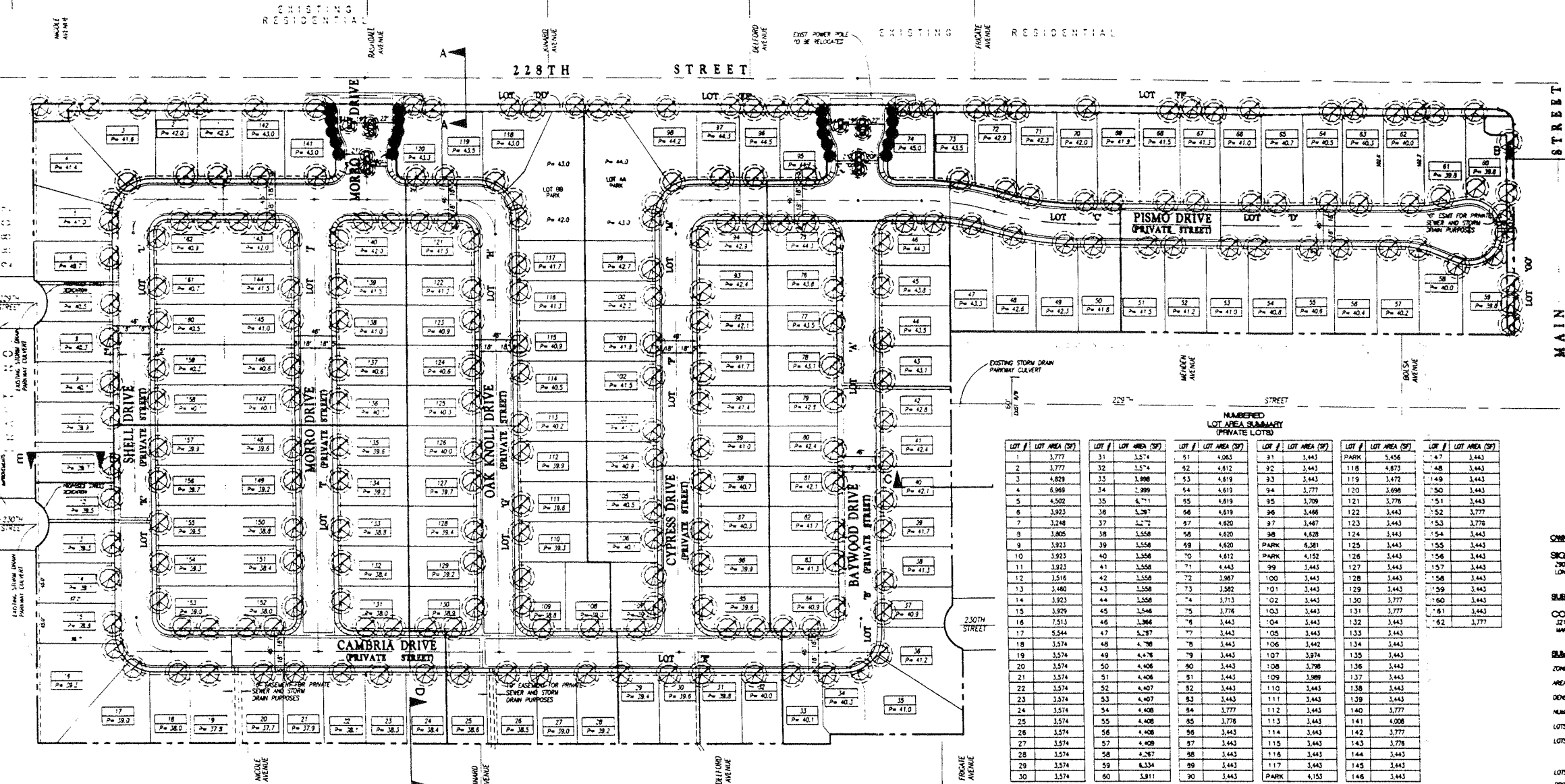
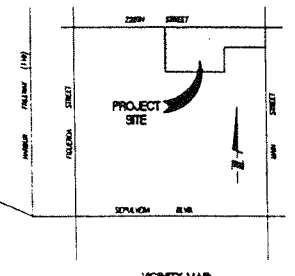
The average lot size will be 3,800 square feet and permit the development of 1,000 to 2,100 square foot homes. The setbacks will include a 15-foot front-yard setback for the living area of each house (with a 12-foot front yard setback for front porches), a 15-foot rear-yard setback and five-foot side yard setbacks for all lots except for corner lots which will have a 10-foot side yard on the street side. The unit per acre density will be 7.9 units per acre, consistent with low density residential definition of the Land Use Element of the Carson General Plan. The density and the minimum lot area definitions are included in the Development Standards in Section 2.3 of this Specific Plan.

The development will be a gated community with access to the site through two non-manned gated entries on 228th Street. The proposed 162 single-family homes will be served by private streets; see Illustrative Site Plan, Figure 3.

The architectural style of the homes will represent a Cape Cod/New England/Traditional theme. Parkways providing landscaped areas for grass and flowers will be located at the gated entrances to the site.

**FIGURE 3 -
ILLUSTRATIVE SITE PLAN**

ILLUSTRATIVE SITE PLAN FOR VESTING TENTATIVE TRACT MAP NO. 52281 CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



LETTERED LOT AREA SUMMARY (PRIVATE STREETS)

LOT #	LOT AREA (SQ)
A	29,145
B	13,113
C	13,836
D	16,109
E	16,825
F	8,346
G	21,267
H	24,919
I	16,356
J	15,811
K	16,029
L	15,837
M	8,157

LETTERED LOT AREA SUMMARY (LANDSCAPED)

LOT #	LOT AREA (SQ)
AA	10,532
BB	9,608
CC	2,981
DD	1,952
EE	2,091
FF	4,984
GG	2,528

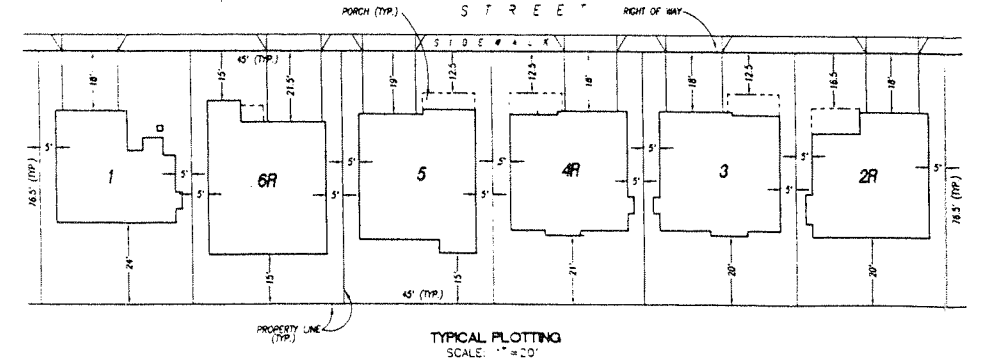
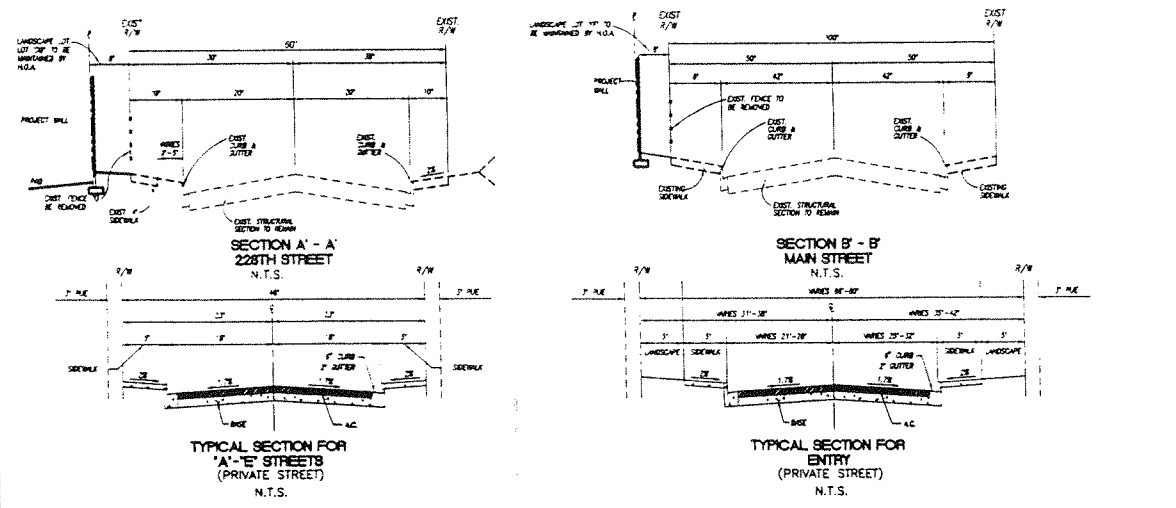
NUMBERED LOT AREA SUMMARY (PRIVATE LOTS)

LOT #	LOT AREA (SQ)	LOT #	LOT AREA (SQ)	LOT #	LOT AREA (SQ)	LOT #	LOT AREA (SQ)	LOT #	LOT AREA (SQ)
1	3,777	31	3,574	61	4,063	91	3,443	PARK	5,456
2	3,777	32	3,574	62	4,612	92	3,443	118	4,673
3	4,829	33	3,988	63	4,619	93	3,443	119	3,472
4	6,969	34	3,989	64	4,619	94	3,777	120	3,698
5	4,502	35	6,711	65	4,619	95	3,709	121	3,378
6	3,923	36	5,287	66	4,619	96	3,466	122	3,443
7	3,248	37	5,272	67	4,620	97	3,467	123	3,443
8	3,805	38	5,558	68	4,620	98	4,628	124	3,443
9	3,923	39	5,558	69	4,620	PARK	6,381	125	3,443
10	3,923	40	5,558	70	4,612	PARK	4,152	126	3,443
11	3,923	41	5,558	71	4,443	99	3,443	127	3,443
12	3,516	42	5,558	72	3,987	100	3,443	128	3,443
13	3,460	43	5,558	73	3,982	101	3,443	129	3,443
14	3,923	44	5,558	74	3,713	102	3,443	130	3,777
15	3,929	45	5,546	75	3,778	103	3,443	131	3,777
16	7,513	46	3,986	76	3,443	104	3,443	132	3,443
17	5,544	47	5,287	77	3,443	105	3,443	133	3,443
18	3,574	48	4,786	78	3,443	106	3,442	134	3,443
19	3,574	49	4,478	79	3,443	107	3,974	135	3,443
20	3,574	50	4,406	80	3,443	108	3,798	136	3,443
21	3,574	51	4,406	81	3,443	109	3,389	137	3,443
22	3,574	52	4,407	82	3,443	110	3,443	138	3,443
23	3,574	53	4,407	83	3,443	111	3,443	139	3,443
24	3,574	54	4,408	84	3,777	112	3,443	140	3,777
25	3,574	55	4,408	85	3,778	113	3,443	141	4,008
26	3,574	56	4,408	86	3,443	114	3,443	142	3,777
27	3,574	57	4,408	87	3,443	115	3,443	143	3,778
28	3,574	58	4,267	88	3,443	116	3,443	144	3,443
29	3,574	59	4,334	89	3,443	117	3,443	145	3,443
30	3,574	60	3,811	90	3,443	PARK	4,153	146	3,443

OWNER:
SIGNAL HILL PETROLEUM
2077 SHIMMIE AVENUE
LONG BEACH, CALIFORNIA 90807

SUBDIVIDER:
COMSTOCK CROSSER ASSOCIATES
327 228 STREET
MIRAMAR BEACH, CA 90666

SUMMARY:
ZONING: EXIST. MH-0, PROPOSED: RS
AREA: 20.7 DROSS ACRES (APPROX.)
DENSITY: 7.9 D.U./AC. (GROSS)
NUMBER OF LOTS: RESIDENTIAL LOTS 164
LOTS A - 84 FOR SINGLE FAMILY RESIDENCES
LOTS 4 - J FOR STREET AND PUBLIC UTILITY PURPOSES.
(ALL STREETS ARE PRIVATE AND WILL CONTAIN EASEMENTS FOR PUBLIC UTILITIES)
LOTS M - FF FOR LANDSCAPE AREAS
PROPOSED 228TH STREET RIGHT OF WAY DEDICATION: 45 AC.



- NOTES:**
- EXISTING LAND USE: PETROLEUM TANK FARM
 - PROPOSED LAND USE: RESIDENTIAL
 - ALL INTERIOR STREETS ARE PRIVATE AND CONTAIN EASEMENTS FOR INGRESS, EGRESS, SEWER, WATER, STORM DRAIN AND PUBLIC UTILITIES.
 - PROPOSED DRAINAGE: SURFACE DRAIN SITE INTO EXISTING FACILITIES IN ACCORDANCE WITH THE CITY OF CARSON AND COUNTY OF LOS ANGELES.
 - PROPOSED SEWER FACILITIES: CONNECT TO EXISTING CITY OF CARSON FACILITIES IN MAIN ST., MIDDLE AVE., AND KENARD AVE. SEWER TO BE PUBLIC.
 - PROPOSED WATER FACILITIES: CONNECT TO EXISTING DOWNGRILL WATER CO. LINES WITHIN 228TH STREET; WATER TO BE PUBLIC.
 - CABLE T.V.: PARALLEL CABLE
 - GAS CO.: SOUTHERN CALIFORNIA GAS CO.
 - POWER: SOUTHERN CALIFORNIA EDISON CO.
 - TELEPHONE: PACIFIC BELL
 - EXISTING STRUCTURES: ALL EXISTING STRUCTURES TO BE REMOVED.
 - ALL EXISTING UTILITIES ON-SITE TO BE REMOVED EXCEPT AS NOTED (PIPE LINES, POWER POLE & LINES, LIGHT POLES, ETC.).

REVISED: JANUARY 21, 1988

THE KEITH COMPANIES	ILLUSTRATIVE SITE PLAN TENTATIVE TRACT MAP NO. 52281 228TH AND MAIN CARSON, CALIFORNIA	PROJECT NO. 12888,000												
DES. ENG.: DESIGNER: DRAFTER: CHECKED BY:	DATE: Civil Engineering • Land Surveying Mapping • Environmental Services Water Resources • Land Planning 2955 Red Hill Avenue Carlsbad, CA 92008 (714) 440-2800	SHEET 1 of 1												
<table border="1" style="width: 100%;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	DATE	REVISIONS									
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2.1.2 Circulation Master Plan

The circulation master plan for The Cambria Pines Specific Plan provides a framework and standards with which to guide the development of a safe and adequate system of vehicular, pedestrian and bicycle circulation within the gated residential community.

Existing Circulation System

The existing circulation system serving the project areas consists primarily of a series of public streets taking access from 228th Street (the site's northern boundary). In addition, Main Street (the site's eastern boundary) serves the general area; refer to Figure 4. The Carson General Plan Circulation Element designates Main Street as a "major highway" with a 100 foot right-of-way (currently developed with 2 travel lanes in each direction and left turn lanes at major intersections).

All major intersections in the site vicinity are currently controlled by traffic signals. The intersections near the site are multi-phase operations ranging from two to eight phases. Protected left turn phasing is currently provided at most of the major intersections in the area.

Vehicular Circulation Plan

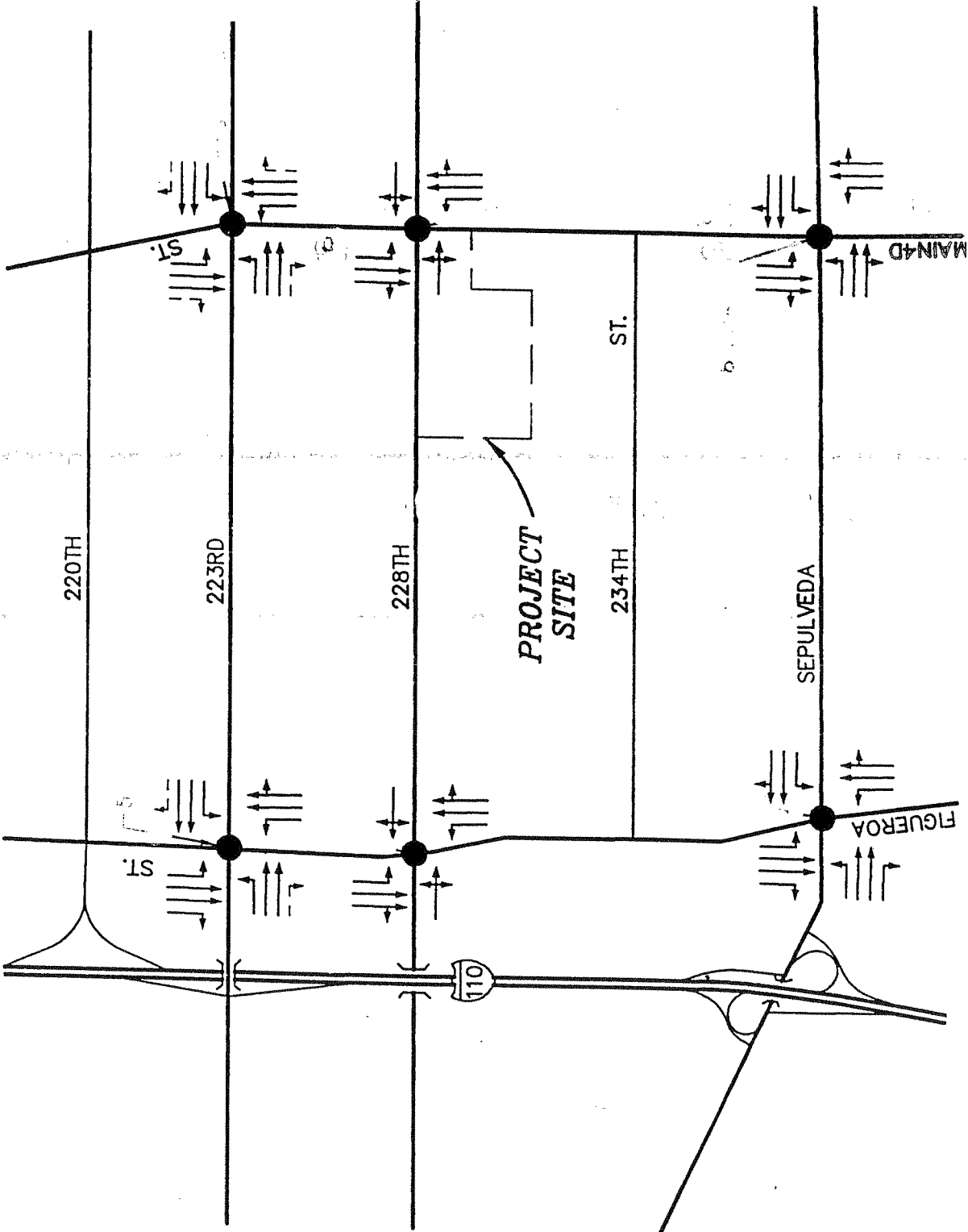
The on-site circulation system will consist of the construction of a new private road system that will include two gated entrances on 228th Street plus a series of internal streets. The interior street system on the site will be developed within 46-foot rights-of-way, including 5 foot sidewalks on each side of the street with adequate area for street trees (see Figure 6). Parking will be allowed on both sides of the street. The streets will only serve The Cambria Pines gated community; there will be no through access for outside traffic.

2.2 Infrastructure Plan

The intent of the infrastructure plan is to ensure that the site is developed in a manner that will support the intensity of land use proposed and the on-site and off-site infrastructure systems have adequate capacity to serve the project.

The utility demand, wastewater and solid waste generation will not increase upon implementation of the Specific Plan. Although the residential land use allowed under The Cambria Pines Specific Plan represents a significant change in the type of use and an increase in land use intensity on the site, it does not represent a significant change compared to existing land uses in the immediate vicinity. The project site is currently developed with urban uses and is located in an urban area.

An existing oil line (on the site's western property line) will be re-routed to a new easement between lots 3 and 4, between lots 16 and 17 and through a private street (see Figure 3).



**FIGURE 4 -
EXISTING CIRCULATION SYSTEM**

2.2.1 Grading and Drainage

2.2.1.1 Grading

The project site has been developed with industrial uses (oil tanks) for over 50 years. Although the existing development on the site will be removed, only moderate additional grading is anticipated during site development. The elevations of the proposed residential building pads are going to be roughly the same as the existing grade of the site. Existing earthen berms (developed for purpose of containing any on-site oil tank linkage) will be removed. Therefore, the grading activities will not be extensive because of the existing gradient difference between the street grade and the future building pad elevations.

2.2.1.2 Drainage

The Los Angeles County Department of Public Works is the agency responsible for the installation and maintenance of the wastewater trunk lines and catch-basins along Main Street. Any improvements or modifications to drainage facilities shall be subject to the County Department of Public Works policies.

The development of the site will include a drainage plan which will permit rainwater and other runoff to be collected and carried within the street gutter system to designated on-site drainage culverts and dispersed onto the streets in the immediate adjoining neighborhood. The run-off then proceeds into the County's storm drain system. The site currently drains in this manner through existing parkway pipe culverts.

On-site drainage facilities will be provided for by the developer of The Cambria Pines Specific Plan area. All surface drainage will be carried in concrete drainage facilities as approved by the City Engineer and maintained by the homeowners' association.

The implementation of The Cambria Pines Specific Plan will not alter the quantity of runoff or general drainage patterns on the project site or its immediate environs. Specifically, the site currently drains 35 cubic feet per second (CFS); the proposed development will result in a minor increase to 48 CFS.

2.2.2 Streets

As discussed above in Section 2.1.3 of this Specific Plan, the main exterior/public roadway serving the project site is 228th Street. The proposed residences will be accessible from two non-manned gated entrances accessible from 228th Street and served by interior streets developed with homes. The interior streets will be maintained by the homeowners association. The existing "hammer-head" streets abutting the project site will be improved (see Figure 5) to City cul de sac standards; all proposed floor plans/models will be able to fit on the lots adjacent to the proposed cul de sac improvements.

2.2.3 Water Service

The Specific Plan area is currently served by the Dominguez Water Corporation (DWC). DWC receives its supply of water from Metropolitan Water District. The homes and industrial use on the site will be served from water mains operated by DWC. Water lines and service for the

**FIGURE 5-
LOT LAYOUT ON CUL DE SAC
STREETS**

BAYWOOD DRIVE

LOT 38

PLAN 5

LOT 37

230th

STREET

PLAN 2

LOT 36

LOT 35

12.5'

19'

5'

18'

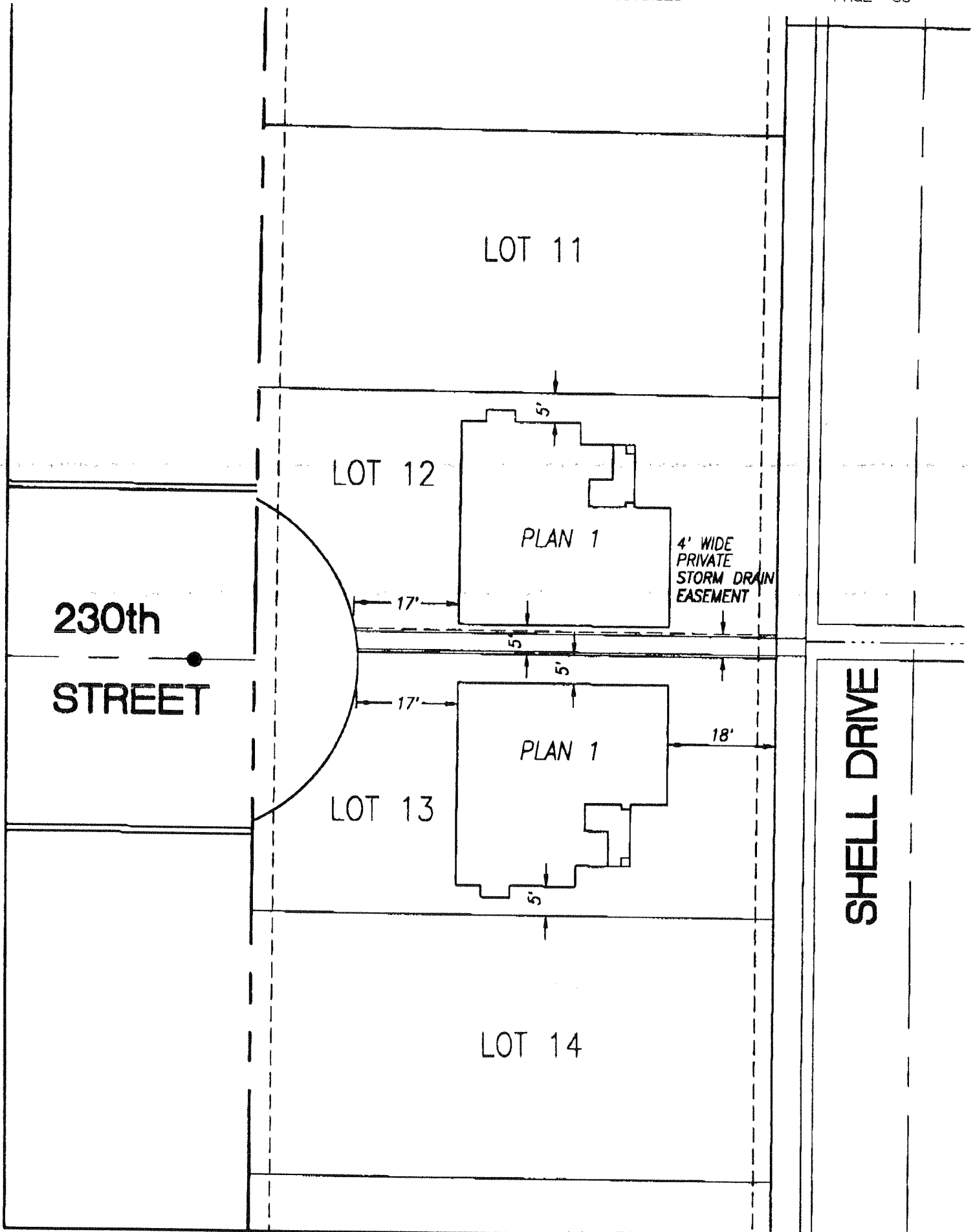
5'

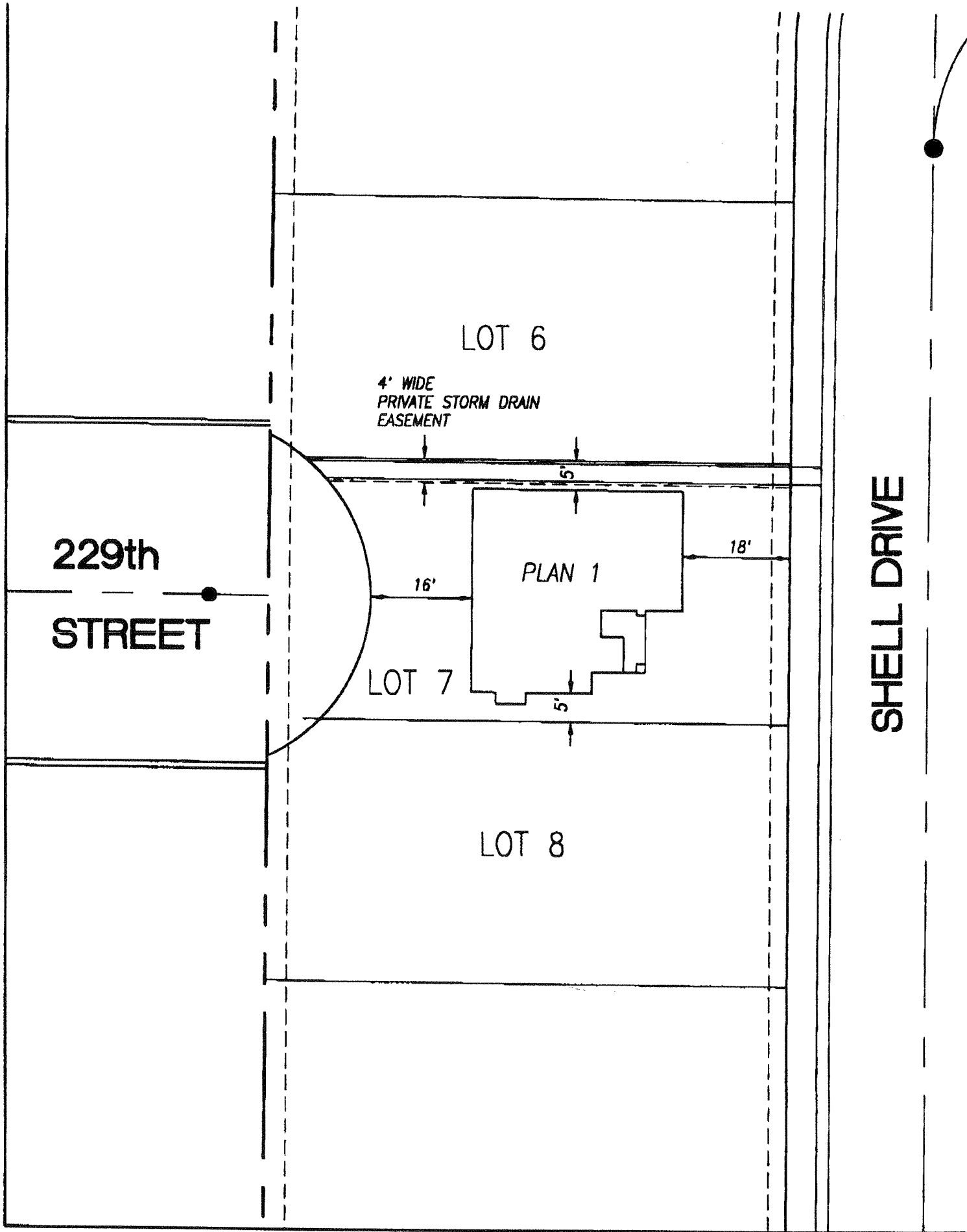
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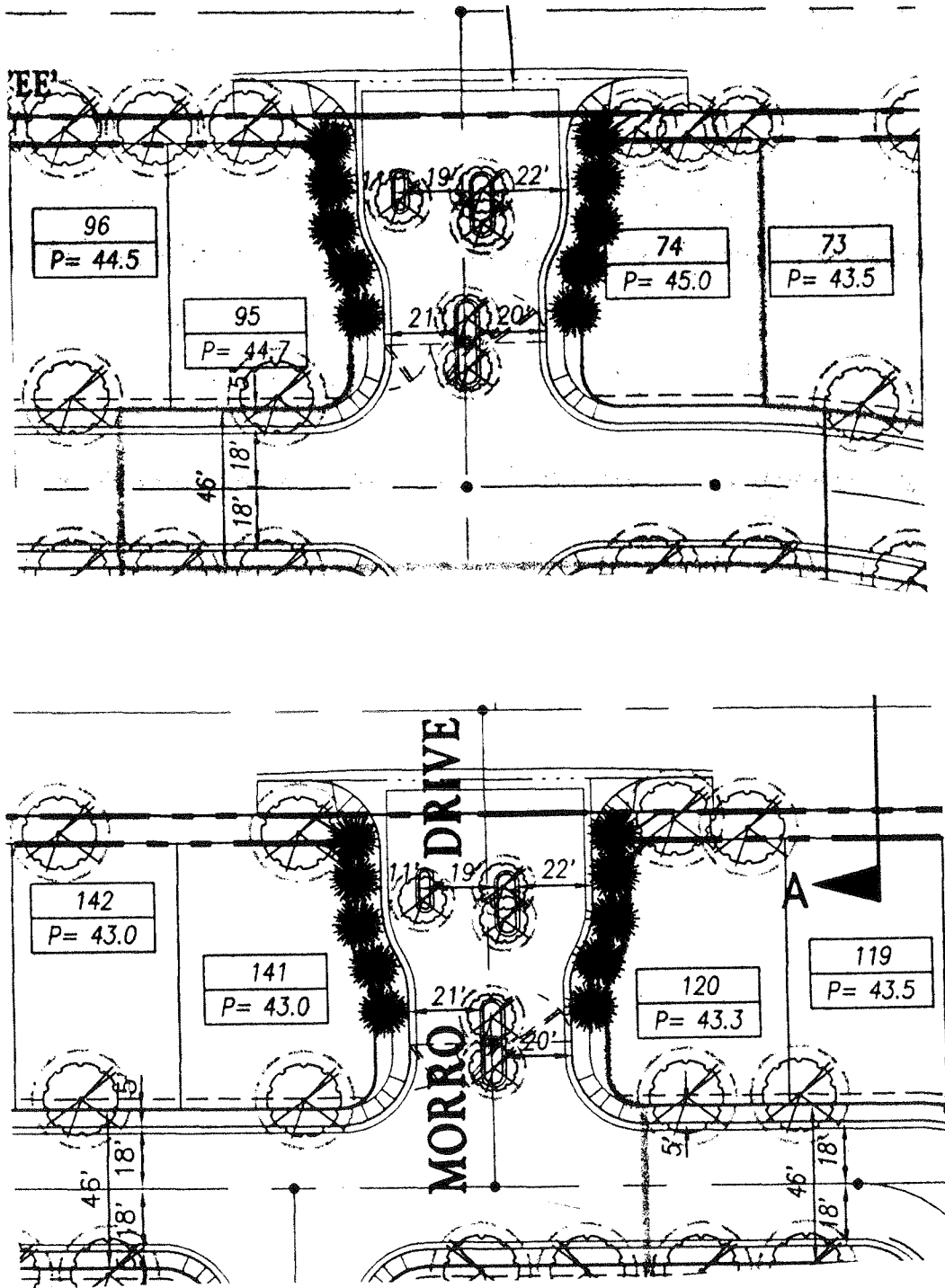
19'

18'

5'







**FIGURE 6 -
ILLUSTRATIVE ENTRY/GATEWAYS**

proposed development must comply with all requirements of the City of Carson. Landscape area to be designed to facilitate future use of reclaimed water. Landscaped areas will be placed on separate meters.

2.2.4 Sewers

The sewer system in the area is part of the Los Angeles county wastewater treatment system. Where inadequate, additional lines, pipes, or mains will be developed on-site to transfer sewage to the main sewer lines. The proposed development must comply with the standards set forth by the City of Carson Engineering Services Department.

2.2.5 Electrical Service

Electrical service to the project site is supplied by the Southern California Edison Company (SCE). SCE has adequate facilities and capabilities to continue serving the site and its future development. Electrical service must comply with all requirements of SCE and the City of Carson. All on-site service lines will be underground.

2.2.6 Energy Conservation

The energy consumption of new construction in California is regulated by the State Building Energy Efficiency Standards, embodied in Title 24 of the California Code of Regulations¹. The efficiency standards apply to new construction of both residential and non-residential buildings, and regulate energy consumed for heating, cooling, ventilation, water heating, and lighting. The building efficiency standards are enforced through the local building permit process. Compliance with Title 24 can be achieved through building design techniques which include but are not limited to the following features:

- Installation of double paned windows on units closest to Main Street, and other areas as may be required by Title 24, and for other units if determined by an accoustical study prepared by or for the City;
- Installation of certified insulating materials such as thermal insulation in walls and ceilings;
- Specifications for minimum piping insulation;
- Use of certified appliances and water and space heating systems;
- Use of building materials and techniques including finishing exterior walls with light-colored materials with high emissivity characteristics to reduce cooling loads and finishing interior walls with light-colored materials to reflect more light and thus increase lighting efficiency, glazing, lighting, and shading;

¹ The State Building Energy Efficiency Standards are contained in the California Code of Regulations, Title 24, Part 2, Chapter 2--53. Enforcement of Title 24 standards is addressed in the California Code of Regulations, Title 20, Chapter 2, Subchapter 4, Article 1.

- Installation of fluorescent and high-intensity-discharge (HID) lamps, which give the highest light output per watt of electricity consumed, wherever possible;
- Installation of high-efficiency lamps for all street lot lighting to reduce electrical consumption;
- Installation of occupant-controlled light switches and thermostats to permit individual adjustment of lighting, heating, and cooling, to avoid unnecessary energy consumption;

These building design techniques will be incorporated into the construction of the residential units to ensure compliance with Title 24, California Energy Conservation Standards, and any additional City required conservation measures.

In addition, each residential unit will be pre-wired to permit re-charging of electric automobiles, a statewide program intended to reduce both energy consumption and the generation of auto-related pollutants.

2.2.7 Telephone and Cable Television Service

The project site will be provided local telephone service and cable television service; all service will be provided by underground lines.

2.3 Development Standards and Design Guidelines

The Cambria Pines Specific Plan's development standards and design guidelines will ensure a consistent use of setbacks, height, bulk, density, common areas, building materials, landscaping and streetscape, colors and other design features. The guidelines are intended to ensure that the Specific Plan area will: (a) have a clear identity and sense of place; (b) meet the needs of the residents; and (c) provide a harmonious and pleasing environment with a distinctive aesthetic, stable, and safe character.

This section of the Specific Plan will provide guidance to the physical development of proposed 162 single-family development, as well as the qualitative aspects of the proposed single-family homes and common landscaped areas may affect the residents or visitors. Moreover, the development standards will reduce potential land use conflicts with the adjacent land uses that are anticipated to remain in the area. The guidelines also establish standards to achieve and maintain a harmonious development identity and level of quality throughout the community, while providing the flexibility to maximize individual characteristics of the dwelling units.

A comprehensive landscape plan, consistent with the standards established in this Specific Plan and addressing proposed landscaping treatments and lighting treatments, shall be submitted to and approved by the Community Development Department prior to the issuance of building permits. Such plan shall show conformance with all applicable sections of this Specific Plan.

2.3.1 Architectural Guidelines

A primary goal of the Specific Plan is to ensure the development of The Cambria Pines

community in a consistent, high quality manner. Since the future of The Cambria Pines will depend on the quality of its visual environment and safety, the following guidelines and standards will help shape The Cambria Pines's overall image within a coordinated design theme. The design theme chosen for The Cambria Pines is a Cape Cod/New England/Traditional style. There will be several different models, but each will incorporate the classic elements of this architectural theme. A prototypical application of the architectural guidelines and development standards set forth in this section is illustrated by Figures 7 to 12.

Sidewalks and pedestrian walkways and open space pockets shall use plants integrated within a hardscape design; no plantings shall obstruct pedestrian movement. Visual interest along the walkways can be enhanced by the introduction of open space common areas, as space permits. The proposed landscaped buffers will be located along the site's northern and eastern boundaries.

2.3.2 Building Design and Building Materials Standards

The idea of visual unity is crucial to the goal of both the aesthetically pleasing, as well as the stable and safe images of The Cambria Pines. With its setting between both residential and industrial neighborhoods, the development of this Specific Plan should emphasize and incorporate key architectural elements found in traditional family neighborhoods and communities. This design approach will reflect a contemporary interpretation of traditional architectural materials and features.

2.3.2.1 Design

The following objectives shall apply to The Cambria Pines Specific Plan:

- a. Harmony, continuity, proportion, and balance should prevail in all aspects of the project.
- b. The design should be simple, not congested.
- c. The building mass of each home should be broken up with decorative detailing which provides a sense of scale, rhythm, and proportion.
- d. Each different model type should be compatible and should not dominate or stand out in contrast to adjacent buildings.
- e. Dwelling units should respond to the scale and character of the streets and sidewalks/walkways by emphasizing relief on the facades particularly as they approach the pedestrian level.
- f. Structures should be generally rectilinear in shape, or perpendicular to the pedestrian level.
- g. The elevation of the buildings should have overall directional emphasis, either horizontal or vertical.
- h. The roofline should be essentially pitched or stepped up to horizontal elements.

2.3.2.2 Materials

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. Building materials should enhance the aesthetic appeal of the structures to convey an inviting and pleasant atmosphere to the resident or visitor.
- b. Materials shall be of those types which require low maintenance.
- c. Acceptable building materials include wood, concrete, masonry, and the "drywall" building system (plaster, stucco). Accent materials, such as concrete roofing materials, bricks, etc., shall not be painted.
- d. Metal buildings and metal architectural features used to accent buildings shall not be permitted, however, metal or iron lamp posts or lighting fixtures are acceptable.
- e. A minimum of two types of building texture or materials, exclusive of window glazing and frames, shall be provided on all building elevations.

2.3.3 Building Development Standards

2.3.3.1 Height

The maximum building height shall not exceed a height of 30 feet as measured from the average grade of the proposed curb abutting the subject lot (Section 9126.12).

2.3.3.2 Minimum Lot Areas

The typical lot will be 76.5 feet deep and 45 feet wide. The minimum lot size will be no less than 2,999 square feet.



*FIGURE 7 -
FRONT ELEVATION, PLAN 1*



*FIGURE 8-
FRONT ELEVATION, PLAN 2*



*FIGURE 9-
FRONT ELEVATION, PLAN 3*



*FIGURE 10-
FRONT ELEVATION, PLAN 4*



*FIGURE 11-
FRONT ELEVATION, PLAN 5*



*FIGURE 12-
FRONT ELEVATION, PLAN 6*

2.3.3.3 Maximum Lot Coverage

The following standards shall apply to The Cambria Pines Specific Plan:

- a. The total ground floor coverage of structures shall not exceed 45 percent of the total site area; and
- b. In the front-yard setback, the maximum coverage with paved surfaces (including the driveway and walkways) shall not exceed 50 percent.

2.3.3.4 Yard Areas and Setbacks

All required yard areas, as specified in the following section, shall be measured from the property line, as follows:

Front Yard - Each lot shall have a front yard with a minimum depth of 15 feet to the living area; units that provide a porch area may encroach into the 15 ft. setback, leaving a minimum setback of 12 feet if approved by the Community Development Director under Section 2.3.3.5..

Side Yard - There shall be a side yard width of 5 feet on each side of the lot. Where the side yard abuts a street, the side yard shall be increased to a minimum of 10 feet.

Rear Yard - Each lot shall have a rear yard with a minimum of depth of 15 feet.

2.3.3.5 Encroachments

Every part of a required yard or open space shall be open and unobstructed from finished grade or floor surface to the sky except for the facilities indicated in Section 9126.29 of the Zoning Ordinance, except as specifically restricted by this section. Within the front yard, the Community Development Director may approve an encroachment not to exceed 3 feet for open and unenclosed porches that occupy less than 50% of the front elevation of the residence. No detached accessory building, or additions to the main building, shall be permitted in the required rear yard except for open lattice style patio covers and minor additions to the building, subject to approval by the Community Development Director and review under the administrative procedures contained in Chapter 3 of this Specific Plan. To the extent feasible, permitted encroachments shall facilitate landscaping, recreational facilities and open lattice style patios or gazebos, in order to promote and preserve open space.

2.3.3.6 Fences, Walls and Hedges

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. Due to high noise levels on Main Street, an 8-foot high sound wall shall be constructed. Where there is a difference between the grades on the two sides of the fence, wall or hedge, the higher grade shall be used.

- b. The appearance of walls shall be visually softened by landscaping, which shall be depicted on the landscaping plan.

2.3.3.7 Open Space

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. Open space, inclusive of both the landscaped buffers and front and rear yards of the residential development, shall comprise not less than 30 percent of the net project area.
- b. Open Space may include the landscaped buffers along the site's northern and western limits.

In addition, a centrally located passive park (20,140 square feet) will be developed to include benches, a sand pit and one piece of playground equipment.

2.3.3.8 Exterior Lighting Standards

Safety and Security Lighting

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. Lighting shall be indirect and subtle. Overhead pole-mounted fixtures (with underground wiring), consistent with the City's adopted requirements, that direct light downward shall be used.
- b. The internal vehicular circulation network shall have sufficient illumination for safety and security. The street illumination level shall achieve a uniformity ratio of 3:1 (average to minimum) with a minimum of 1.5-foot candles.
- c. Outdoor pedestrian use areas (open space and parks) shall have sufficient illumination for safety and security. Primary pedestrian use area lighting should achieve a uniformity ratio of 3.5 to 1 average illumination of 0.60-foot candles and a minimum of 0.18-foot candles.
- d. All exterior building lights shall be integrated into the building design and shall not be directed onto adjacent properties.

Architectural and Landscape Lighting

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. Lighting shall be indirect, such as soft lighting, neon tube, or full cutoff shield-type fixtures.
- b. Architectural overhead down-lighting or interior illumination that illuminates the exterior of the dwelling units is encouraged. Lighting should illuminate the exterior of the structure and enhance the structures's visual character design.

- c. Landscape lighting shall be subtle, indirect, and should accentuate rather than overpower landscape features.

2.3.3.10 Garages

All garages will have access from one of the site's private streets and shall be set back at least 18 feet from the street property line; all garages will be built with roll-up garage doors to permit parking on the driveways and have a minimum interior dimension, as specified in Section 9162.41 of the Carson Zoning Ordinance which is 18 feet by 20 feet deep provided that storage area is provided. The driveways shall be no less than 16 feet wide directly fronting the garages.

2.3.3.11 Signs

All signage must comply with the standards contained within Section 9126.7 of the Zoning Ordinance.

2.3.3.12 Utilities

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. All new utility lines, other than major transmission lines, shall be placed underground. Under grounding shall be in accordance with the applicable rules and regulations of the utility, as currently on file with the California Public Utilities Commission.
- b. On-site underground utilities shall be located so as to minimize disruption during maintenance and repair.
- c. No ground level antenna, transmission or reception device that can be viewed from adjacent residential properties and public streets shall be permitted.

2.3.3.13 Storage and Refuse Collection Areas

The following requirements shall apply to The Cambria Pines Specific Plan:

- a. No storage shall be permitted in any front-yard within the residential community.
- b. All storage areas shall be contained within the individual structures and shall not be visible to the public.
- c. All refuse containment areas shall be maintained in a sanitary manner and shielded from public view. All refuse containers must be kept in a garage or on the side yard out of public view.
- d. Recycling of waste will be encouraged and a community-wide recycling area will be designated within The Cambria Pines Specific Plan.

2.3.3.14 Equipment Screening

Exterior-mounted electrical equipment is prohibited. In addition, roof-mounted electronic equipment, such as antennae for radio or telephone communications and satellite dishes, shall not be visible from adjacent properties and/or streets. Small disk antennae, not visible from the public street and/or adjacent properties are permitted.

2.3.4 Landscape Master Plan

The following landscape design guidelines are intended to focus the direction of future landscape design and planting efforts within The Cambria Pines Specific Plan; see also previous Figure 3, Illustrative Site Plan. The intention is to establish a direction that will result in a landscape character which is appropriate to the community and accents the architectural character of the residences. The Cambria Pines Specific Plan Landscape Master Plan will be consistent with the City's adopted Water Efficient Landscape Ordinance, including use of drought-resistant plantings. If available through the local water delivery system, reclaimed water shall be used for landscape irrigation.

The landscape design for the project will soften the visible impact of the built environment, enhance architectural design and mitigate environmental factors, such as sun and wind.

All landscaping will conform to the City of Carson's landscape standards as established in the City's Zoning Ordinance which includes adoption of water efficient landscape and irrigation practices. If any discrepancies should occur between the language contained in this Specific Plan and the language contained in the City landscape standards, the language of the City's landscape standards shall prevail.

Each single-family residential lot shall be provided with one (1) 30-inch box specimen tree within the front yard setback.

2.3.4.1 Design Standards

Planting Materials

The following requirements shall apply to The Cambria Pines Specific Plan:

1. Plant materials will be consistent with the City's adopted Landscape Ordinance. Tree and plant selections shall be based on climate, exposure, soil conditions, level of maintenance anticipated, low water inside and appropriateness of use. A variety of trees and plants is encouraged.
2. Ground cover size and spacing shall ensure complete coverage of the ground within one year of planting.
3. Nonliving ground covers (rock, gravel, bark chips, etc.) shall not be permitted in the Specific Plan except as necessary for mulching. However, decorative boulders within landscaped areas will be permitted.
4. Turf will be noninvasive grass species.

5. Reclaimed water will be used, when and if available from public agencies.

Irrigation

The following requirements shall apply to The Cambria Pines Specific Plan:

1. All irrigation equipment in the site's common areas and landscaped buffers shall be in accordance with the City of Carson's zoning regulations which includes adoption of water efficient irrigation.
2. The landscaped buffers will be provided with automatic irrigation systems.
3. The irrigation system installed for The Cambria Pines' landscaped common areas will allow for future connection to a reclaimed water (often referred to as "grey-water") line; that is, if in the future a water line transmitting treated sewage suitable for irrigation of common areas is provided in either Main Street or 228th Street, adjacent to the project site, then the landscaping system can be adapted to use "grey water" for irrigation.

2.4 Performance Standards

This section identifies the requirements and permitted activities within The Cambria Pines Specific Plan.

2.4.1 General

The maximum permitted levels of operational characteristics resulting from land uses on the project site shall be called performance standards. Continued compliance with the performance standards shall be required of all uses, except as otherwise provided for in these regulations.

Land or buildings within The Cambria Pines Specific Plan area shall not be used or occupied in any manner so as to create any dangerous, noxious, injurious or otherwise objectionable fire, explosive or other hazards; noise or vibration; smoke, dust, odor or other form of direct air pollution; electrical disturbance; glare; liquid or solid refuse or wastes; or other dangerous or objectionable substance, condition or element in a manner or amount that would adversely affect the environment, residents, or surrounding community as measured from the project site boundary.

More restrictive performance standards or regulations enacted by authorized state or federal government agencies having jurisdiction on such matters shall take precedence over the provisions of these regulations.

2.4.2 Exceptions

The regulations established within the performance standards do not apply to unexpected brief periods where these standards are exceeded based upon a reasonable cause when it is evident

that such cause was not reasonably preventable. These regulations shall not apply to the operation of motor vehicles or other transportation equipment unless otherwise specified. Residents shall abide by all standards in the City of Carson Municipal Code relating to property maintenance and vehicle repair.

2.4.3 Homeowners' Association

1. Prior to the issuance of any occupancy permits, the developer will prepare and record the original Conditions, Covenants and Restrictions (CCRs). Included in such CC&Rs shall be, among other things:
 - a. Provisions for the disclosure of, and prospective residents' acknowledgment of, the nature and extent of the existing non-residential uses in the area of the project site.
 - b. Provisions for the disclosure of, and prospective residents' acknowledgment of, the presence and effect of the nearby County wastewater treatment facility.
 - c. Provisions providing that unfilled or continuing duties of the developer shall be assumed by the Homeowner's Association.

The CCRs will establish guidelines for election of a Board of Directors and all permitted and prohibited use of common areas and individual units.

2. The Board of Directors will meet no less than two times each calendar year and the entire Homeowners Association will meet no less than once every calendar year as established by the CCRs.
3. The CCRs will contain guidelines for citations and penalties to be enforced in the event of violations of the CCRs.
4. In addition to the gated entrance and perimeter of the residential community, the Homeowners' Association will establish a neighborhood/community watch committee to be selected or elected annually.
5. The Homeowners' Association will hire a gardener and prepare a list of approved repair and maintenance companies for services such as plumbing, electrical, etc. All repairs or maintenance to common space or exterior spaces will be performed by one of the approved companies.
6. Residents will be responsible for the maintenance and upkeep of their individual unit. The CCRs shall contain property maintenance standards and any violation of maintenance of lawn or other landscaping or visual features will be subject to penalty by the Homeowners' Association. In addition, consistent with applicable state laws, the Homeowners' Association will maintain adequate funds to ensure proper maintenance of the developments streets, lighting, landscaping and other common improvements.

2.4.4 Control of Potential Public Nuisances

The following standards apply in particular to The Cambria Pines Specific Plan.

2.4.4.1 Noise

Residential uses and any other adjacent noise-sensitive uses shall be protected from noise by adhering to noise standards set forth in the Carson General Plan and the adopted Noise Ordinance. Any uses not in compliance with those standards will be subject to the City of Carson enforcement procedures. In addition, the use will be required to mitigate noise, or show substantial progress of noise mitigation, to an acceptable level within 3 months for mechanical-related equipment and within one (1) month for nonmechanical equipment from the time of written citation from the City of Carson.

2.4.4.2 Smoke and Particulates

Visible emissions of smoke that exceed Ringlemann No. 1 on the Ringlemann Chart of the U.S. Bureau of Mines will not be permitted, except for exhausts emitted by motor vehicles or other transportation facilities. This requirement shall also be applicable to the disposal of trash and waste materials. Windborne dust, dirt, fly ash, airborne solids, sprays and mists (except for water vapor) originating from any use will not be permitted.

2.4.4.3 Toxic or Noxious Matter

Toxic gases or noxious matter that can cause any damage to health, animals, vegetation or other forms of property, or that cause any excessive soiling beyond the project site boundaries shall not be emitted.

2.4.4.4 Odorous Matter

No residential use shall be permitted to have on-site operations or storage of products emitting offensive odors that are detectable at any point beyond the property lines of that particular lot.

2.4.4.5 Glare or Heat

No residence may produce intense glare or heat discernable to adjacent residential property owners and/or tenants.

2.4.4.6 Liquid and Solid Wastes

Discharge of liquid or solid wastes shall not be permitted (except for permitted discharges to the Los Angeles County Sanitation Districts' sewer lines). In addition, the disposal or dumping of solid wastes shall not be permitted on any parcel within The Cambria Pines Specific Plan.

2.4.4.7 Fire and Explosive Hazards

No activities involving the use or storage of combustible, flammable or explosive materials shall be permitted within the Specific Plan boundaries. Burning of waste materials in open fires is prohibited.

2.5 Phasing Plan

The project site will be developed as two separate parcels. A tentative parcel map will divide the subject site into two parcels. Under this process, the applicant will file for an Eligibility for Waiver of a final parcel map and submit a Certificate of Compliance to complete the division of the project site. The site would be divided into the two parcels between phases 2 and 3 (see Figure 13). The objective of developing the project site as two separate parcels is to facilitate the use of a portion of the project site during site preparation, grading and construction.

Existing underground pipes to and through the project site will be removed as part of the removal of the 11 oil tanks prior to Phase 1.

The Cambria Pines Specific Plan will be developed in twelve phases; see Figure 13, Illustrative Phasing Plan. These phases will occur sequentially, however there may be some overlap; construction access will be provided through a temporary street access point from 228th Street. All perimeter landscaping shall be installed in Phase I, or as approved by the Community Development Director, as per Condition No. 66 of Vested Tentative Tract Map 52281 and Condition No. 25 of Specific Plan 7-97.

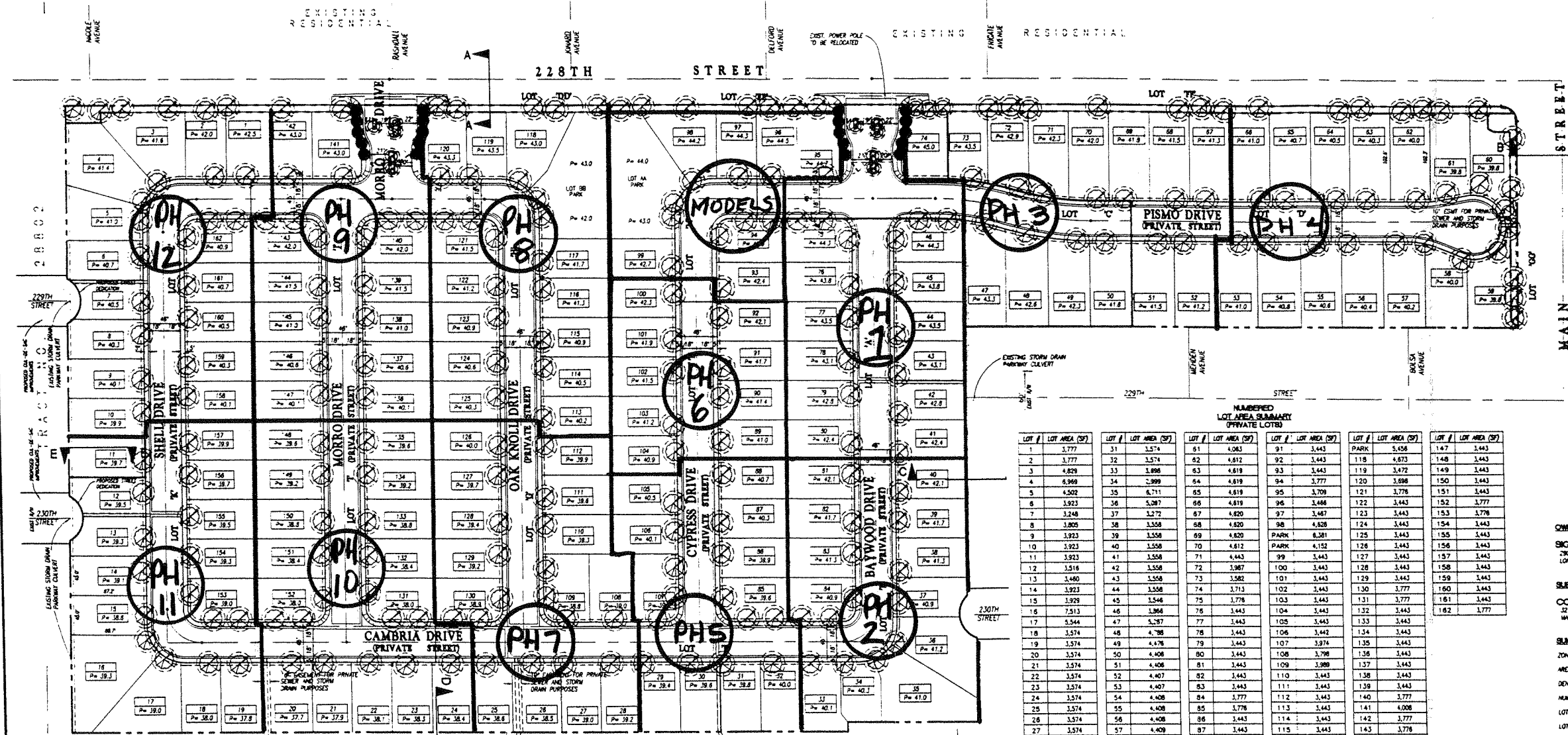
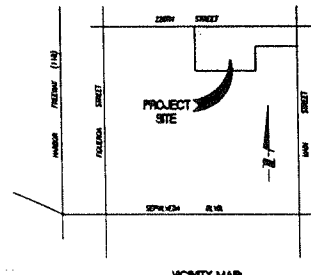
Demolition of the existing uses scheduled to be removed will occur prior to any construction. However during the development of the various phases much of the site preparation and construction activities will occur concurrently. Any required off-site improvements associated with the development of the site will occur concurrently with the construction of the on-site buildings where possible.

Prior to the issuance of building permits for the project, a detailed phasing plan which minimizes the construction impacts to on-site residents, as well as the adjacent neighborhoods, must be submitted to the City of Carson Community Development Department for approval. This phasing plan should address the temporary construction impacts on the following environmental categories:

- Drainage Patterns
- Vehicular Access
- Security
- Traffic and Circulation
- Pedestrian Access
- Public Utilities
- Noise
- Public Health and Safety
- Aesthetics

**FIGURE 13 -
ILLUSTRATIVE PHASING PLAN**

ILLUSTRATIVE SITE PLAN FOR VESTING TENTATIVE TRACT MAP NO. 52281 CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



LETTERED LOT AREA SUMMARY (PRIVATE STREETS)

LOT #	LOT AREA (SQ FT)
A	29,185
B	13,313
C	13,836
D	16,108
E	16,825
F	8,346
G	21,267
H	24,919
I	16,308
J	19,611
K	16,029
L	15,837
M	8,157

LETTERED LOT AREA SUMMARY (LANDSCAPE)

LOT #	LOT AREA (SQ FT)
AA	10,532
BB	9,608
CC	2,991
DD	1,952
EE	2,091
FF	4,964
GG	2,528

NUMBERED LOT AREA SUMMARY (PRIVATE LOTS)

LOT #	LOT AREA (SQ FT)	LOT #	LOT AREA (SQ FT)	LOT #	LOT AREA (SQ FT)	LOT #	LOT AREA (SQ FT)	LOT #	LOT AREA (SQ FT)	LOT #	LOT AREA (SQ FT)
1	3,777	31	3,574	61	4,083	91	3,443	PARK	5,456	147	3,443
2	3,777	32	3,574	62	4,812	92	3,443	PARK	4,673	148	3,443
3	4,829	33	3,896	63	4,819	93	3,443	119	3,472	149	3,443
4	6,969	34	3,899	64	4,819	94	3,777	120	3,686	150	3,443
5	4,502	35	6,711	65	4,819	95	3,709	121	3,778	151	3,443
6	3,923	36	5,287	66	4,819	96	3,446	122	3,443	152	3,777
7	3,248	37	3,272	67	4,820	97	3,467	123	3,443	153	3,778
8	3,805	38	3,556	68	4,820	98	4,828	124	3,443	154	3,443
9	3,923	39	3,556	69	4,820	PARK	8,361	125	3,443	155	3,443
10	3,923	40	3,556	70	4,812	PARK	4,152	126	3,443	156	3,443
11	3,923	41	3,556	71	4,443	99	3,443	127	3,443	157	3,443
12	3,516	42	3,556	72	3,967	100	3,443	128	3,443	158	3,443
13	3,440	43	3,556	73	3,582	101	3,443	129	3,443	159	3,443
14	3,923	44	3,556	74	3,713	102	3,443	130	3,777	160	3,443
15	3,929	45	3,546	75	3,778	103	3,443	131	3,777	161	3,443
16	7,913	46	1,964	76	3,443	104	3,443	132	3,443	162	3,777
17	3,544	47	3,287	77	3,443	105	3,443	133	3,443		
18	3,574	48	4,788	78	3,443	106	3,442	134	3,443		
19	3,574	49	4,478	79	3,443	107	3,974	135	3,443		
20	3,574	50	4,408	80	3,443	108	3,798	136	3,443		
21	3,574	51	4,408	81	3,443	109	3,980	137	3,443		
22	3,574	52	4,407	82	3,443	110	3,443	138	3,443		
23	3,574	53	4,407	83	3,443	111	3,443	139	3,443		
24	3,574	54	4,408	84	3,777	112	3,443	140	3,777		
25	3,574	55	4,408	85	3,778	113	3,443	141	4,008		
26	3,574	56	4,408	86	3,443	114	3,443	142	3,777		
27	3,574	57	4,409	87	3,443	115	3,443	143	3,778		
28	3,574	58	4,267	88	3,443	116	3,443	144	3,443		
29	3,574	59	8,334	89	3,443	117	3,443	145	3,443		
30	3,574	60	3,911	90	3,443	PARK	4,153	146	3,443		

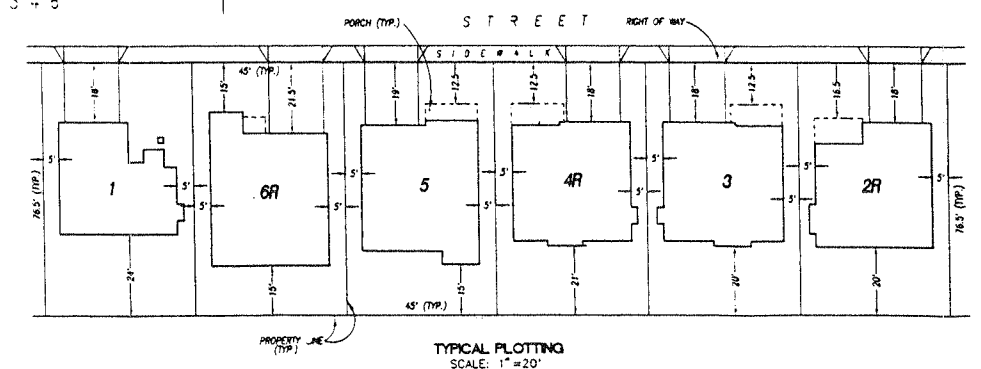
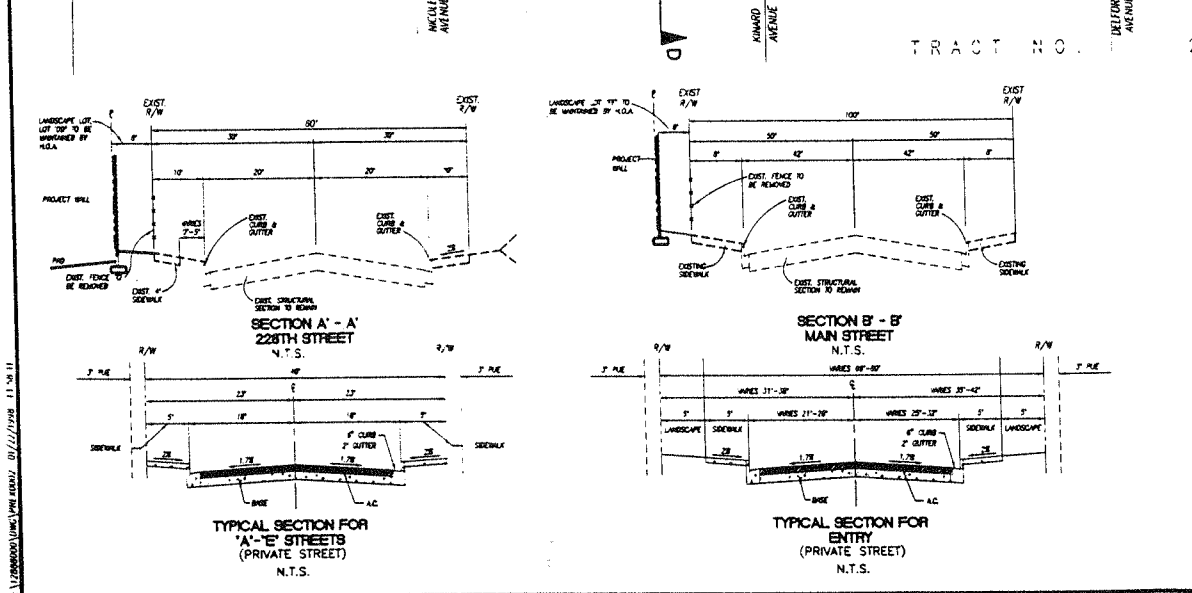
OWNER:
SIGNAL HILL PETROLEUM
2301 ORANGE AVENUE
LONG BEACH, CALIFORNIA 90807

SUBDIVIDER:
COMSTOCK CROSSER ASSOCIATES
121 12th STREET
WILMINGTON, CA 90766

SUMMARY:
ZONING: EXIST. MH-2, PROPOSED: R5
AREA: 20.7 GROSS ACRES (APPROX.)
DENSITY: 7.9 D.U./A.C. (GROSS)
NUMBER OF LOTS: RESIDENTIAL LOTS 164
LOTS 1 - 164 FOR SINGLE FAMILY RESIDENCES
LOTS A - J FOR STREET AND PUBLIC UTILITY PURPOSES.
(ALL STREETS ARE PRIVATE AND WILL CONTAIN EASEMENTS FOR PUBLIC UTILITIES)
LOTS AA - FF FOR LANDSCAPE AREAS
PROPOSED 228TH STREET RIGHT OF WAY DEDICATION: 45 AC.

- NOTES:**
- EXISTING LAND USE: PETROLEUM TANK FARM
 - PROPOSED LAND USE: RESIDENTIAL
 - ALL INTERIOR STREETS ARE PRIVATE AND CONTAIN EASEMENTS FOR INGRESS, EGRESS, SEWER, WATER, STORM DRAIN AND PUBLIC UTILITIES.
 - PROPOSED DRAINAGE: SURFACE DRAIN SITE INTO EXISTING FACILITIES IN ACCORDANCE WITH THE CITY OF CARSON AND COUNTY OF LOS ANGELES.
 - PROPOSED SEWER FACILITIES: CONNECT TO EXISTING CITY OF CARSON FACILITIES IN MAIN ST., MIDDLE AVE., AND KENNEDY AVE. SEWER TO BE PUBLIC.
 - PROPOSED WATER FACILITIES: CONNECT TO EXISTING DOMINGUEZ WATER CO. LINES WITHIN 228TH STREET; WATER TO BE PUBLIC.
 - CABLE T.V.: PARAGON CABLE
 - GAS CO.: SOUTHERN CALIFORNIA GAS CO.
 - POWER: SOUTHERN CALIFORNIA EDISON CO.
 - TELEPHONE: PACIFIC BELL
 - EXISTING STRUCTURES: ALL EXISTING STRUCTURES TO BE REMOVED.
 - ALL EXISTING UTILITIES ON-SITE TO BE REMOVED EXCEPT AS NOTED (PIPE LINES, POWER POLE & LINES, LIGHT POLES, ETC.)

REVISED: JANUARY 21, 1998



THE KEITH COMPANIES		PROJECT NO. 12888.000
Civil Engineering • Land Surveying Mapping • Environmental Services Water Resources • Land Planning		SHEET 1 OF 1
ILLUSTRATIVE SITE PLAN TENTATIVE TRACT MAP NO. 52281 228TH AND MAIN CARSON, CALIFORNIA		

