

FIGUEROA STREET BUSINESS PARK

FIGUEROA STREET
CARSON, CA 90745



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Irvine, CA 92618
T: 949 474 1775
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FIGUEROA STREET
BUSINESS PARK
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

PROJECT TEAM



NO.	DESCRIPTION	DATE
△	AGENCY PROGRESS SET	03/19/21
△	SITE PLAN & DESIGN REVIEW SUB.	03/24/21
△	SITE PLAN & DESIGN REVIEW RESUB.	05/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	08/05/21
△	SITE PLAN & DESIGN REVIEW RESUB.	10/12/21
△	SITE PLAN & DESIGN REVIEW RESUB.	02/10/22
△	SITE PLAN & DESIGN REVIEW RESUB.	08/27/22
△	SITE PLAN & DESIGN REVIEW RESUB.	11/17/22
△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

COVER
T1 TITLE SHEET
T2 PROJECT RENDERINGS

CIVIL
1 CONCEPTUAL GRADING PLAN

LANDSCAPE
L1 LANDSCAPE PLAN
L2 LANDSCAPE PLAN

ARCHITECTURAL
A1.0 SITE UTILIZATION MAP
A1.1 SITE PLAN, AND PROJECT TABULATIONS
A1.1A SITE PLAN, AND PROJECT TABULATIONS
A1.1B FIRE HYDRANT AND ACCESS PLAN PLAN
A1.2 SITE FENCE AND WALL PLAN
A1.3 SITE SECTION
A1.4 SITE MISC
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A2.1 BUILDING 1 - FLOOR PLAN
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A4.2C BUILDING 2 - ELEVATIONS - COLORED
A4.3 BUILDING 3 - ELEVATIONS
A4.3C BUILDING 3 - ELEVATIONS - COLORED

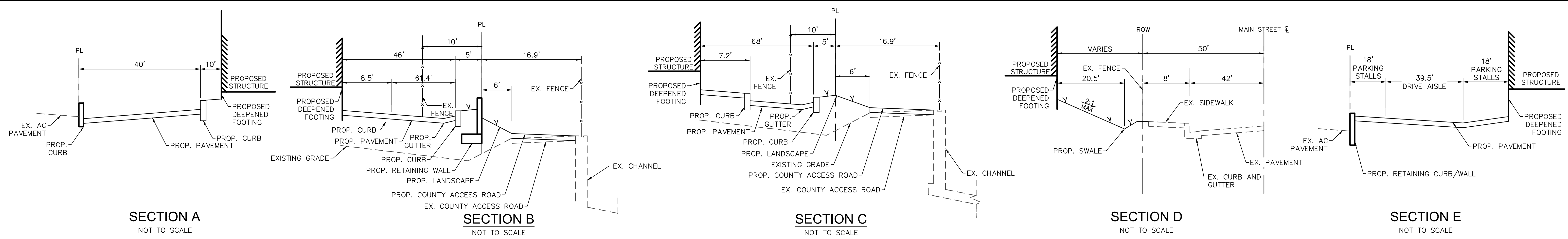
TITLE SHEET

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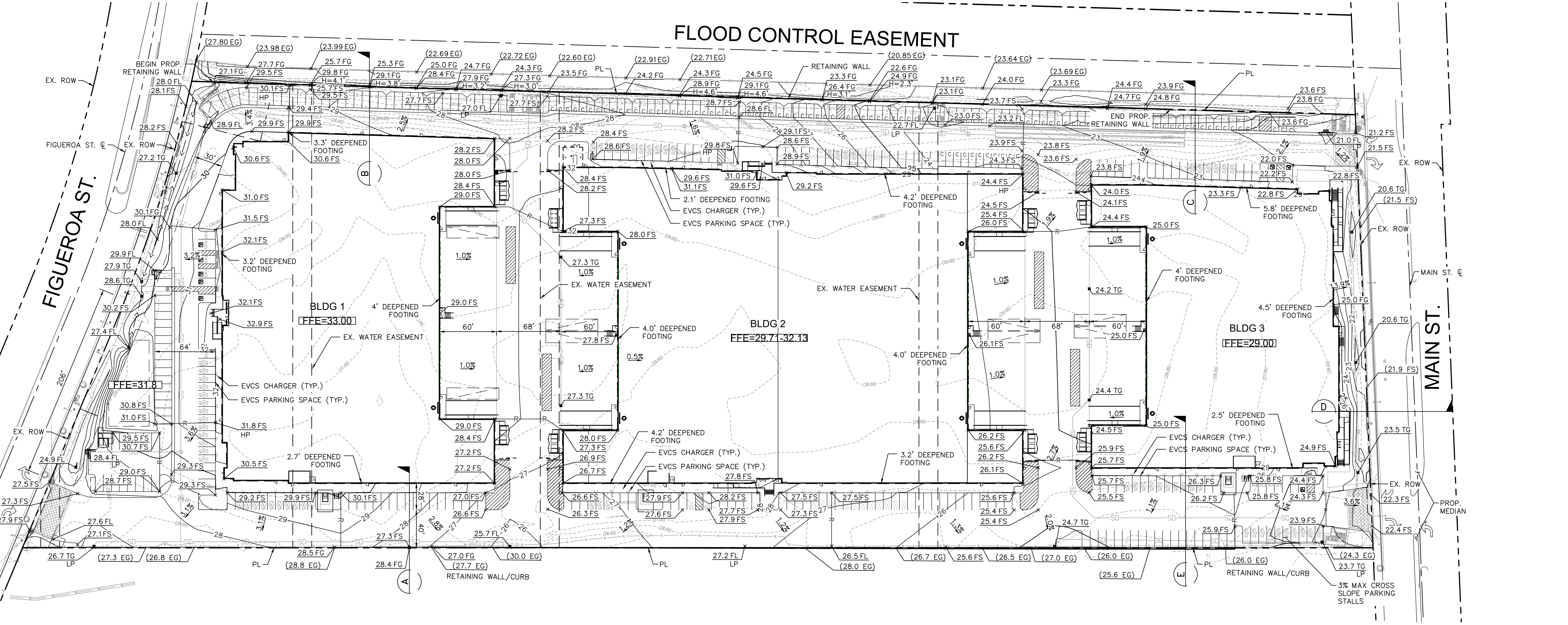
SHEET INDEX

JOB NO.	WPT004.01	SHEET NO.
DATE	12/20/23	T1
DRAWN	GAA	
FILE NAME	WPT004.01_T1	

Plotted By: Santiago, Maryn
 Sheet Set: KHA Layout: Sheet December 28, 2023 01:03:09pm K:\ORA_DEV\094904002 - XEBEC Carson\CAD\PlanSheets\CONCEPTUAL\Grading\Plan.dwg
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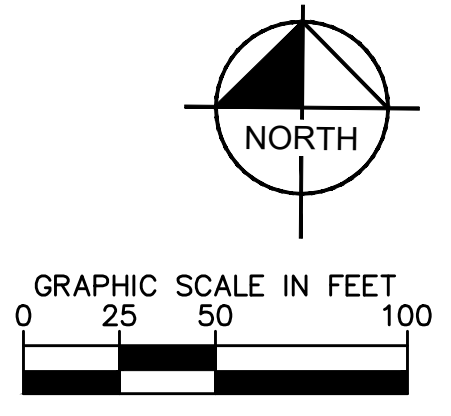


FLOOD CONTROL EASEMENT



LEGEND

	PROPERTY LINE
	CENTER LINE
	PROPOSED DEEPENED FOOTING
	PROPOSED FLOWLINE
	PROPOSED RETAINING WALL/RETAINING CURB
	PROPOSED SWALE



Kimley»Horn

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KHA PROJECT	094904002
DATE	12/29/23
SCALE AS SHOWN	
DESIGNED BY	KH
DRAWN BY	FC
CHECKED BY	JM CARSON

FIGUEROA ST. BUSINESS PARK

PREPARED FOR
 WPT ENTERPRISES, INC.

CA



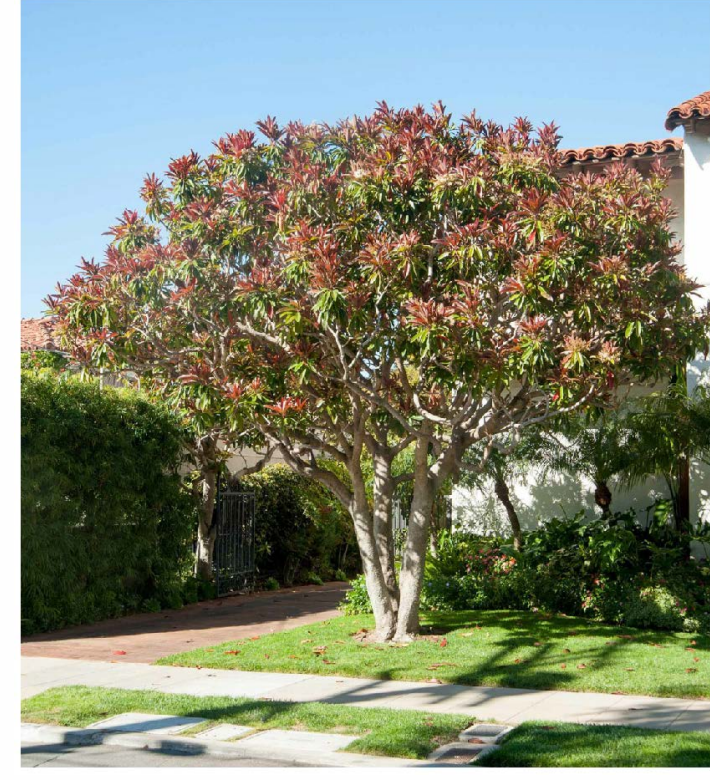
CONCEPTUAL GRADING PLAN

SHEET NUMBER	1
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TREES



Cercis canadensis 'Forest Pansy'
Eastern Redbud- Deciduous



Eriobotrya deflexa
Bronze Loquat- Evergreen

SHRUBS, GRASSES, AND ACCENT PLANTS



Arcostaphylos 'John Dourley'
John Dourley Manzanita



Bouteloua g. 'Blond Ambition'
Blue Grama Grass



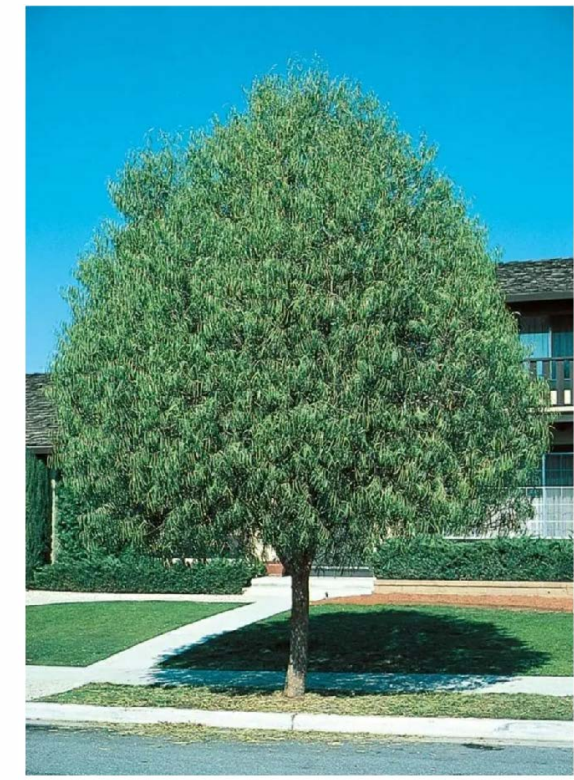
Bougainvillea 'Rosenka'
Rosenka Bougainvillea



Cistus salviifolius
Sage-Leaf Rock Rose



Lavandula 'Otto Quast'
Spanish Lavender



Geijera parviflora
Australian Willow
Evergreen



Lagerstroemia i. 'Nachez'
Crape Myrtle
Deciduous



Olea europaea 'Swan Hill'
Fruitless Olive
Evergreen



Leucophyllum frutescens 'Green Cloud'
Green Cloud Texas Ranger



Muhlenbergia rigens
Deer Grass



Senna (Cassia) artimisioides
Feathery Cassia



Westringia fruticosa 'Morning Light'
Variegated Coast Rosemary



Yucca filamentosa 'Color Guard'
Colorguard Yucca

PLANTER POTS



Elevare Concrete Pot
40" sq. x 36" high
Mfg: QCP Corp.
Shown in French Grey



Dracena draco - Dragons Blood Tree



Rosemarinus prostrata
Trailing Rosemary



Arris Concrete Pot
42" dia. x 44" high
Mfg: QCP Corp.
Shown in Slate Grey



Yucca rostrata
Beaked Yucca



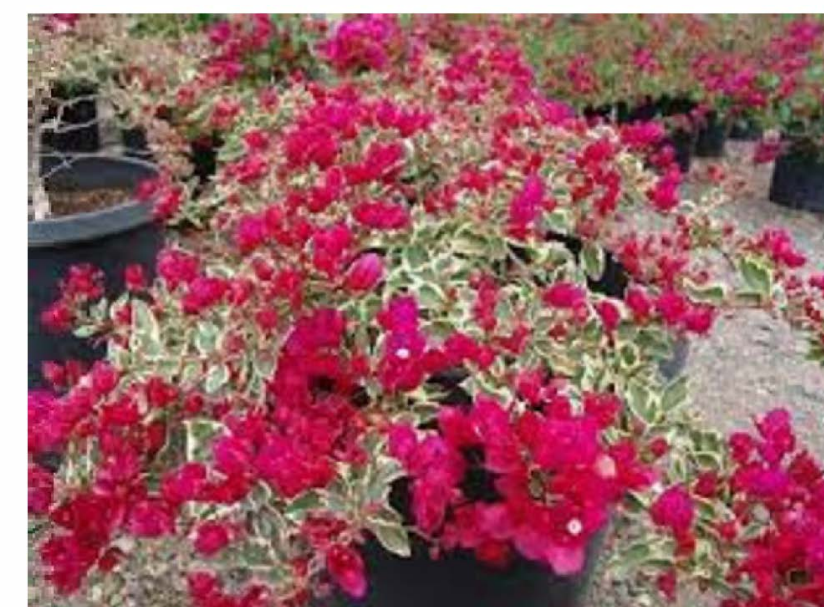
Sedum morgainvianum
Donkey Tail



Knitts Concrete Pot
36" dia. x 22" high
Mfg: QCP Corp.
Shown in Mission White



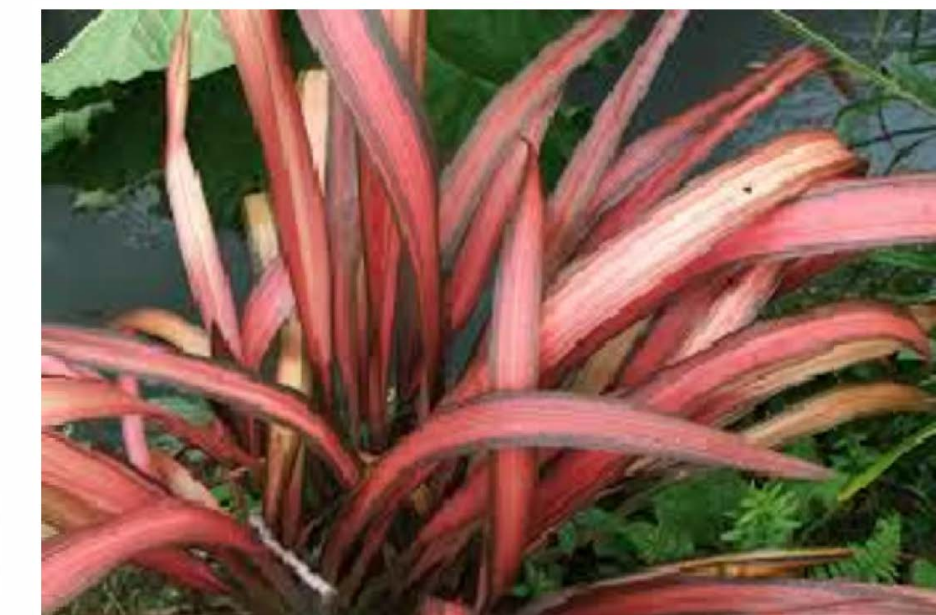
Olea europaea 'Montra'
Little Ollie



Bougainvillea 'Raspberry Ice'



Nevis Concrete Pot
23" dia. x 30" high
Mfg: QCP Corp.
Shown in French Grey



Phormium tenax 'Maori Maiden'



Gazania rigens
Trailing Gazania



Bayamo Rectangle Concrete Pot
24" wide x 24" high x 48" long.
Mfg: QCP Corp.
Shown in Bungalow



Aloe ferox - Bitter Aloe



Bayamo Concrete Pot
24" sq. x 24" high.
Mfg: QCP Corp.
Shown in Bungalow



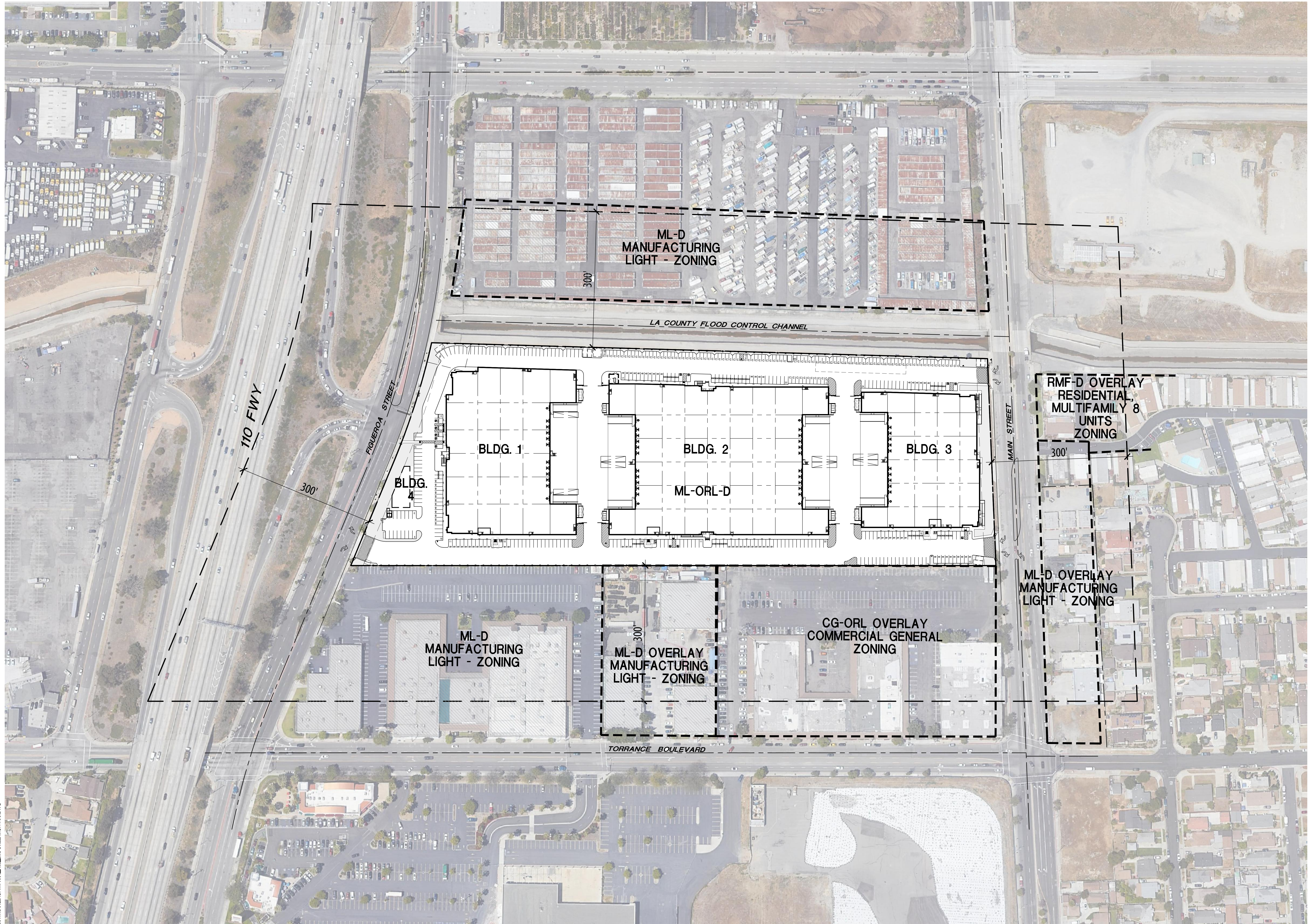
Agave attenuata - Foxtail Agave

FIGUEROA STREET BUSINESS PARK: CONCEPTUAL PLANT PALETTES AND POTS

FIGUEROA STREET
BUSINESS PARK

FIGUEROA STREET
CARSON, CA 90745

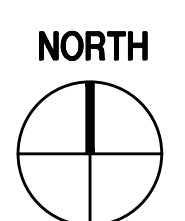
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CARSON MAIN STREET, LLC



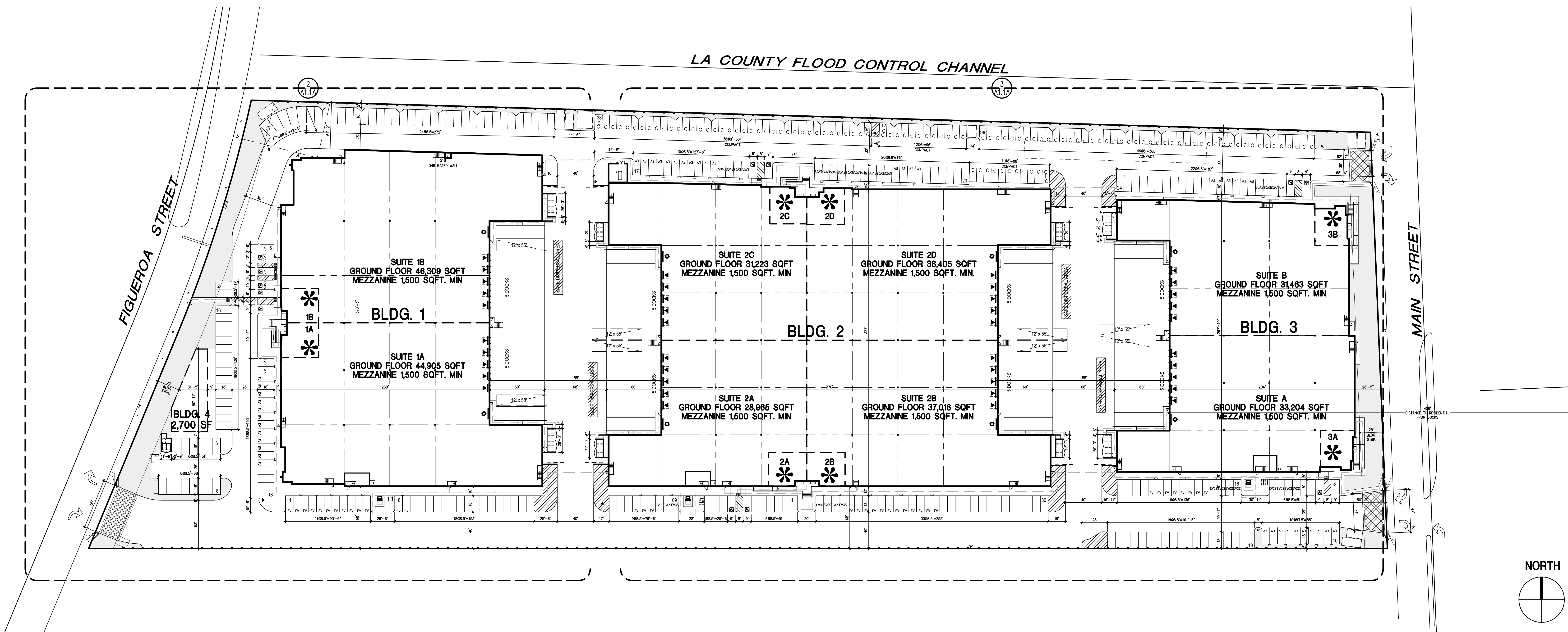
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SITE UTILIZATION
MAP

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JOB NO. WPT004.01	SHEET NO.
DATE 12/20/23	A10
DRAWN GAA	
FILE NAME WPT004.01_A10	



SITE PLAN 1"=50'-0" 3

KEYNOTES

- 1.0 GENERAL
- 1.1 PROPERTY LINE / R.O.W. - REFER TO CIVIL DRAWINGS
 - 1.2 EASEMENT - REFER TO CIVIL DRAWINGS
 - 1.3 STANDARD PARKING STALL(S) - TYP.
 - 1.4 ADA-ACCESSIBLE PARKING STALL(S)
 - 1.5 EV PARKING STALL(S) PER CALGREEN 5.106.5.2
 - 1.6 COMPACT PARKING STALL(S)
 - 1.7 2-WAY DRIVE AISLE: 28'W MIN.
 - 1.8 PRIVATE DRIVEWAY AND FIRE LANE - 28' W MIN.
 - 1.9 SAFE DISPERSAL AREA
 - 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE BUILDING WALL
 - 3.2 STAIR W/ HANDRAIL & 42" GUARDRAIL
 - 3.3 STAIR W/ HANDRAIL
 - 3.4 TILT-UP CONCRETE SCREEN WALL, PTD.
 - 3.5 TILT-UP CONCRETE TRASH ENCLOSURE, 6' TALL TYP.
 - 3.6 TILT-UP CONCRETE GUARDRAIL T.O.W. 42" ABOVE HIGH SIDE
 - 5.0 METAL FABRICATIONS
 - 5.1 STEEL PIPE BOLLARD, REFER TO 1/AO.2
 - 12.0 FURNISHINGS
 - 12.1 BICYCLE RACK PER COUNTY CODE 9165.3 OR CALGREEN WHICHEVER IS HIGHER - REFER TO TABULATIONS- SHORT TERM
 - 12.2 BICYCLE RACK PER COUNTY CODE 9165.3 OR CALGREEN WHICHEVER IS HIGHER - REFER TO TABULATIONS- LONG TERM
 - 21.0 FIRE SUPPRESSION - REFER TO FIRE PROTECTION DRAWINGS
 - 21.1 FIRE PUMP HOUSE.
 - 32.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.
 - 32.1 LANDSCAPE PLANTING AREA
 - 32.2 CONCRETE WALKWAY
 - 32.3 CONCRETE CURB, TYP.
 - 32.4 PRECAST CONCRETE WHEEL STOP
 - 32.5 ENHANCED CONCRETE PAVING
 - 32.6 VEHICULAR PAVING
 - 32.7 CONCRETE TRUCK DOCK APRON
 - 32.8 MANUAL TUBE STEEL GATE WITH KNOX PADLOCK - 8' TALL - SEE NOTE#5
 - 32.9 TUBE STEEL FENCE ON TOP OF RETAINING WALL OR CURB - 8' TALL MAX.
 - 32.10 EXISTING 6' TALL TUBE STEEL FENCE IN ADJACENT PROPERTY
 - 32.11 HARDSCAPE AREA - SEE LANDSCAPE PLAN
 - 32.12 MODULAR WETLANDS - SEE CIVIL PLAN
 - 33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL
 - 33.1 ELECTRICAL TRANSFORMER
 - 33.2 (E) FIRE HYDRANT
 - 33.3 PRIVATE FIRE HYDRANT
 - 33.4 PUBLIC FIRE HYDRANT
 - 33.5 STORM WATER TREATMENT DEVICE - SEE CIVIL PLANS

GENERAL NOTES

1. GUARDS SHALL BE LOCATED ALONG OPEN SIDE OF WALKING SURFACES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS ARE NOT REQUIRED ON THE LOADING SIDE OF LOADING DOCKS (CBC 1013.2).
2. THE RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2.083%).
3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM.
4. THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.
5. ALL PROPOSED GATES SHALL BE EQUIPPED WITH FIRE DEPT. APPROVED LOCKING DEVICE(S).

SITE PLAN - LEGEND

- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.), AND 1:48 MAX CROSS SLOPE
- ACCESSIBLE PARKING STALL(S), TYP.
- PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- COMPACT PARKING STALL(S), TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
- 12' X 14' SECTIONAL GRADE DOOR, REFER TO ELEVATIONS
- 9' X 10' SECTIONAL DOCK HIGH DOOR, REFER TO ELEVATIONS
- POTENTIAL OFFICE T.I.

CALGREEN NOTES

- PROJECT SITE IS LARGER THAN ONE ACRE - A STORM WATER POLLUTION PLAN IS REQUIRED (CG 5.106.1).
- VISITOR BICYCLE PARKING RACKS SHALL BE PROVIDED WITHIN 200 FEET OF BUILDING ENTRANCES, FOR A MINIMUM OF 5% NEW VISITOR VEHICULAR PARKING (CG 5.106.4.1).
- IN BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, SECURE, LONG-TERM BICYCLE ENCLOSURES OR LOCKERS SHALL BE PROVIDED ON-SITE, FOR A MINIMUM OF 5% NEW TENANT VEHICULAR PARKING (CG 5.106.5.1). COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT INDOORS IN AMOUNTS PROPORTIONAL TO THE PARKING REQUIRED FOR EACH TENANT IMPROVEMENT.
- "CLEAN AIR" PARKING SPACES SHALL BE PROVIDED ON SITE FOR CARPOOLS & FUEL-EFFICIENT VEHICLES, FOR A MINIMUM NUMBER OF SPACES PROPORTIONAL TO REQUIRED VEHICLE PARKING PER CALGREEN TABLE (CG5.106.5.2).
- LIGHTING DESIGN SHALL LIMIT GLARE AND UPLIGHT AND COMPLY WITH LOCAL CODES AND CALGREEN (CG 5.106.8).
- THIS PROJECT'S PLUMBING FIXTURES SHALL BE 20% WATER-CONSERVING (CG 5.303.2). BEING A SHELL BUILDING, COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT.
- FOR PROJECTS WITH OVER 1,000 S.F. OF LANDSCAPING, SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR OUTDOOR POTABLE WATER USE, AND IRRIGATION SYSTEM SHALL HAVE WEATHER- OR SOIL MOISTURE-BASED AUTOMATIC CONTROLLERS (CG 5.304.2&3).
- A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE DEVELOPED, DEMONSTRATING A MINIMUM OF 50% RECYCLING AND/OR SALVAGING OF NON-HAZARDOUS CONSTRUCTION WASTE AND COMPLYING WITH CALGREEN REQUIREMENTS (CG 5.408.1).
- 100% OF LAND-CLEARED SOILS AND VEGETATION SHALL BE REUSED OR RECYCLED (CG 5.408.3).
- PER SECTION 5.410.2, EXCEPTIONS 1 & 2, COMMISSIONING IS NOT REQUIRED FOR DRY STORAGE WAREHOUSES OR AREAS USED FOR OFFICES LESS THAN 10,000 SF IN DRY STORAGE WAREHOUSES (CG 5.410.2).
- ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE VOC AND TOXIN LIMITS LISTED (CG 5.504).
- SMOKING SHALL BE PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS (CG 5.504.7).

CITY DEVELOPMENT AGREEMENT NOTES:

THE PROJECT SHALL BE COMPRISED OF EIGHT TOTAL LIGHT INDUSTRIAL BUSINESS PARK UNITS ("TENANT SUITES") ALLOCATED ACROSS THREE CONCRETE TILT-UP BUILDINGS. SUBJECT TO THE OVERALL CAP ON TOTAL SQUARE FOOTAGE, EACH TENANT SUITE SHALL RANGE IN SQUARE FOOTAGE FROM APPROXIMATELY 30,000-50,000 GROSS SQUARE FEET OF TOTAL SQUARE FOOTAGE, INCLUDING ANY MEZZANINE SPACE. SQUARE FOOTAGE IN EACH TENANT SUITE MAY BE FREELY ALLOCATED BY DEVELOPER BETWEEN LIGHT INDUSTRIAL, OFFICE, AND MEZZANINE SPACE AS LONG AS EACH TENANT SUITE CONTAINS AT LEAST 3,000 SQUARE FOOTAGE OF OFFICE SPACE. MEZZANINE SPACE SHALL BE DEVELOPED PREDOMINANTLY AS OFFICE. EACH TENANT SUITE SHALL FEATURE CONCRETE PERMANENT DEMISING WALLS THAT CANNOT BE MODIFIED TO COMBINE UNITS OR CHANGE THE SIZE OF THE UNITS AND NO SINGLE TENANT SHALL OCCUPY MORE THAN ONE TENANT SUITE AT THE PROPERTY AT ANY ONE TIME, FOR SO LONG AS THE PROJECT IS IN OPERATION EXISTENCE. EACH TENANT SUITE MAY HAVE A MAXIMUM OF FIVE TRUCK DOORS.

SITE AREA		SF	ACRES
Gross		628,045	14.42
Street Dedication		0	0.00
NET SITE AREA		628,045	14.42

BUILDING	SUITE	OFFICE (MIN.)	INDUSTRIAL	RETAIL	TOTAL BUILDING FOOTPRINT	MEZZANINE OFFICE (MIN.)	TOTAL BUILDING AREA
BUILDING 1	Suite 1A	1,500	43,405	0	44,905	1,500	46,405
	Suite 1B	1,500	44,809	0	46,309	1,500	47,809
	TOTAL BUILDING 1	3,000	88,214	0	91,214	3,000	94,214
BUILDING 2	Suite 2A	1,500	27,465	0	28,965	1,500	30,465
	Suite 2B	1,500	35,516	0	37,016	1,500	38,516
	Suite 2C	1,500	29,723	0	31,223	1,500	32,723
TOTAL BUILDING 2	6,000	129,609	0	135,609	6,000	141,609	
BUILDING 3	Suite 3A	1,500	31,704	0	33,204	1,500	34,704
	Suite 3B	1,500	29,983	0	31,483	1,500	32,983
	Suite 3C	3,000	61,667	0	64,667	3,000	67,667
TOTAL BUILDING 3	6,000	123,354	0	128,354	6,000	134,354	
BUILDING 4	Suite 4A	0	0	2,700	2,700	0	2,700
	TOTAL BUILDING AREA	12,000	279,490	2,700	294,190	12,000	306,190

COVERAGE	FAR (80% Max)
Parking Required	48.8%
Parking Provided	48.8%

PARKING REQUIRED	STANDARD STALLS	ADA STALLS	COMPACT STALLS (Max. 33%)	TOTAL PARKING PROVIDED
Office	1/200	40	0	40
Manufacturing	1/500	0	0	0
Warehouse	1/1500	0	187	187
Retail	1/300	0	0	0
TOTAL PARKING REQUIRED	40	187	0	227

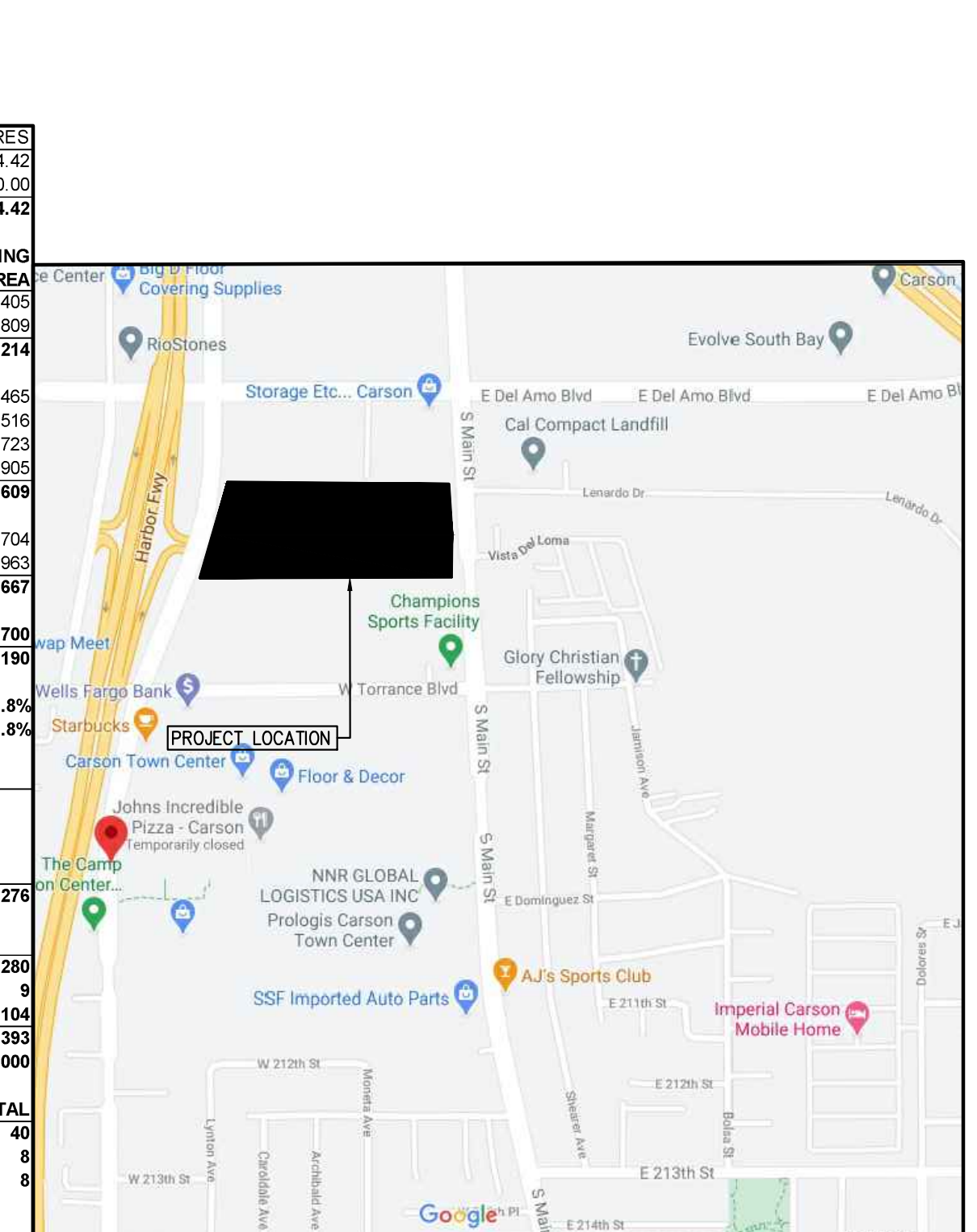
PARKING PROVIDED	STANDARD STALLS	ADA STALLS	COMPACT STALLS (Max. 33%)	TOTAL PARKING PROVIDED
Standard Stalls	280	0	0	280
ADA Stalls	0	104	0	104
Compact Stalls (Max. 33%)	0	0	385	385
TOTAL PARKING PROVIDED	280	104	385	1,310

PARKING RATIO	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4	TOTAL
DOCK DOORS	10	20	10	0	40
GRADE DOORS	2	4	2	0	8
TRAILER STALLS	2	4	2	0	8

NOTE - DEVELOPMENT AGREEMENT (DA) STATES EACH BUILDING CAN INCREASE IN SIZE BY 5% ADMINISTRATIVELY



AERIAL MAP NTS 2



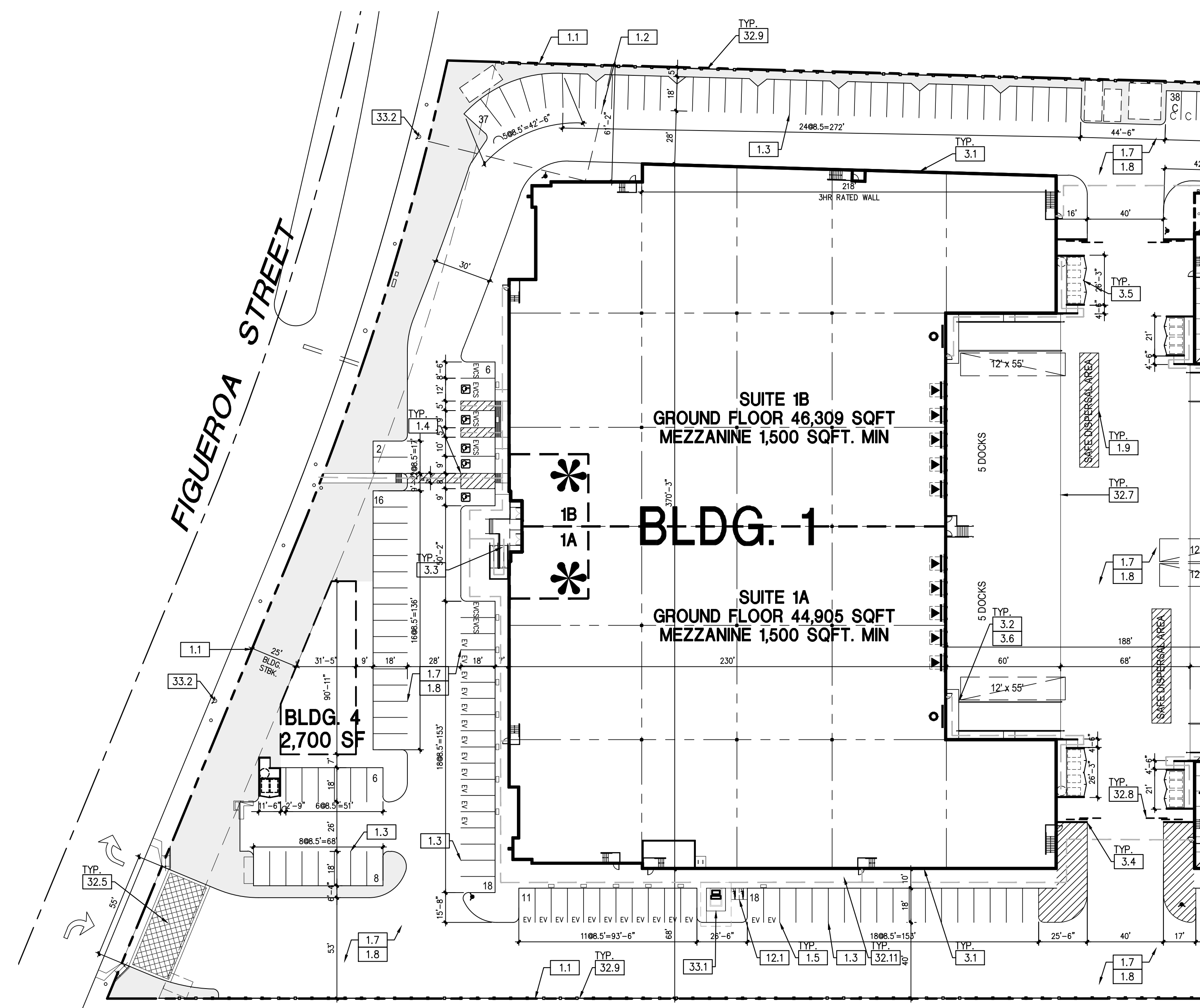
VICINITY MAP NTS 1

NO.	DESCRIPTION	DATE
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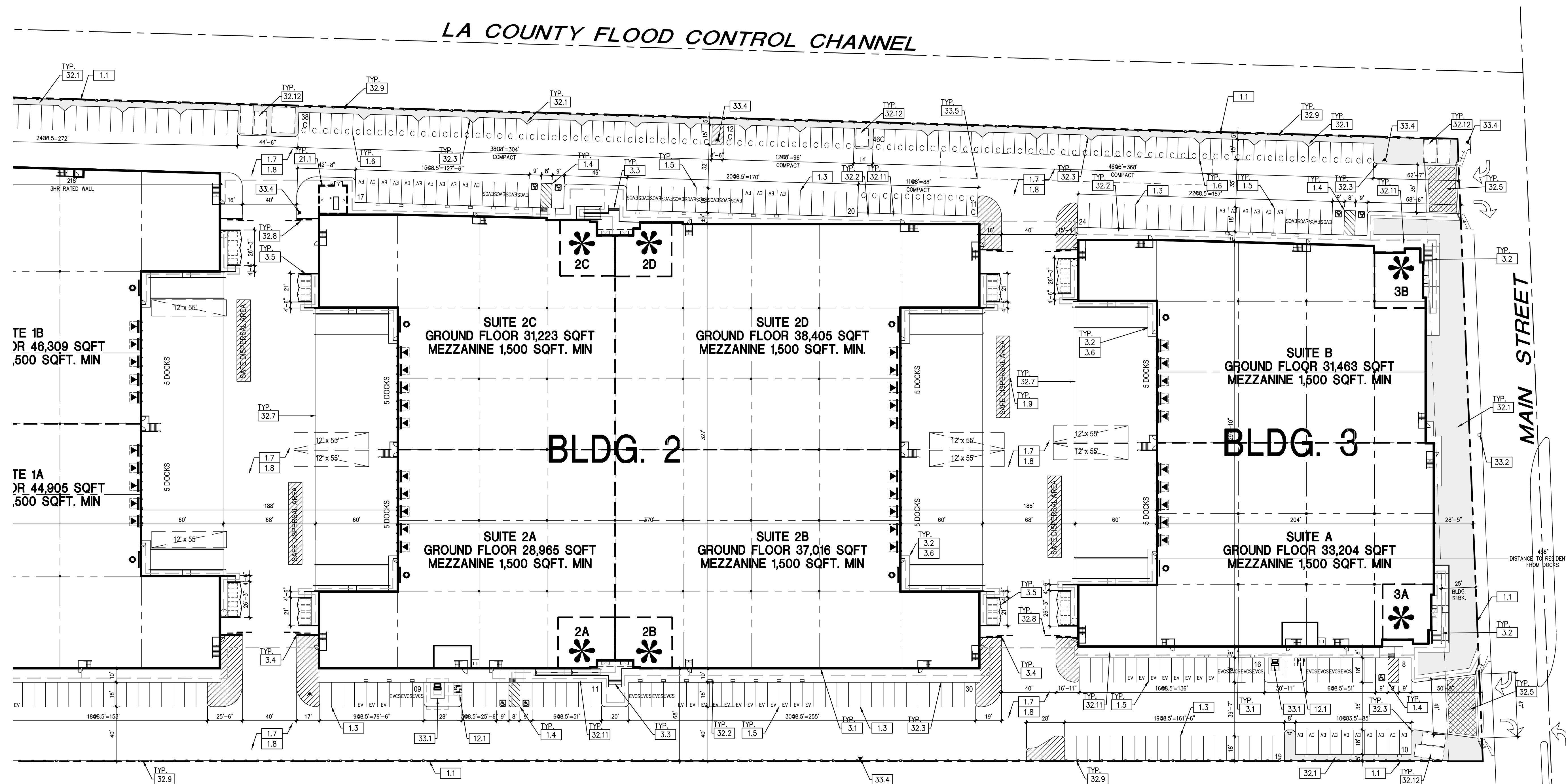
SITE PLAN PROJECT TABULATIONS

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JOB NO:	WP7004.01	SHEET NO:	A1.1
DATE:	12/20/23		
DRAWN:	GAA		
FILE NAME:	WP7004_01_A1.1		



ENLARGED SITE PLAN - BLDG 1 1"=40'-0" 2



ENLARGED SITE PLAN -BLDG 2 & 3 1"=40'-0" 3

- ### KEYNOTES
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 - EASEMENT - REFER TO CIVIL DRAWINGS
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 - STAR W/ HANDRAIL
 - TILT-UP CONCRETE SCREEN WALL, PTD.
 - TILT-UP CONCRETE TRASH ENCLOSURE, 6' TALL TYP.
 - TILT-UP CONCRETE GUARDRAIL 11.0.W. 42" ABOVE HIGH SIDE
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- FIRE PUMP HOUSE
- 32.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.
- LANDSCAPE PLANTING AREA
 - CONCRETE WALKWAY
 - CONCRETE CURB, TYP.
 - PRECAST CONCRETE WHEEL STOP
 - ENHANCED CONCRETE PAVING
 - VEHICULAR PAVING
 - CONCRETE TRUCK DOCK APRON
 - MANUAL TUBE STEEL GATE WITH KNOX PADLOCK - 8' TALL - SEE NOTE#5
 - TUBE STEEL FENCE ON TOP OF RETAINING WALL OR CURB - 8' TALL MAX.
 - EXISTING 6' TALL TUBE STEEL FENCE IN ADJACENT PROPERTY
 - HARDSCAPE AREA - SEE LANDSCAPE PLAN
 - MODULAR WETLANDS - SEE CIVIL PLAN
- 33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL
- ELECTRICAL TRANSFORMER
 - (E) FIRE HYDRANT
 - PRIVATE FIRE HYDRANT
 - PUBLIC FIRE HYDRANT
 - STORM WATER TREATMENT DEVICE - SEE CIVIL PLANS

- ### GENERAL NOTES
- GUARDS SHALL BE LOCATED ALONG OPEN SIDE OF WALKING SURFACES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS ARE NOT REQUIRED ON THE LOADING SIDE OF LOADING DOCKS (CBC 1013.2).
 - THE RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2.083%).
 - THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM.
 - THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.
 - ALL PROPOSED GATES SHALL BE EQUIPPED WITH FIRE DEPT. APPROVED LOCKING DEVICE(S).

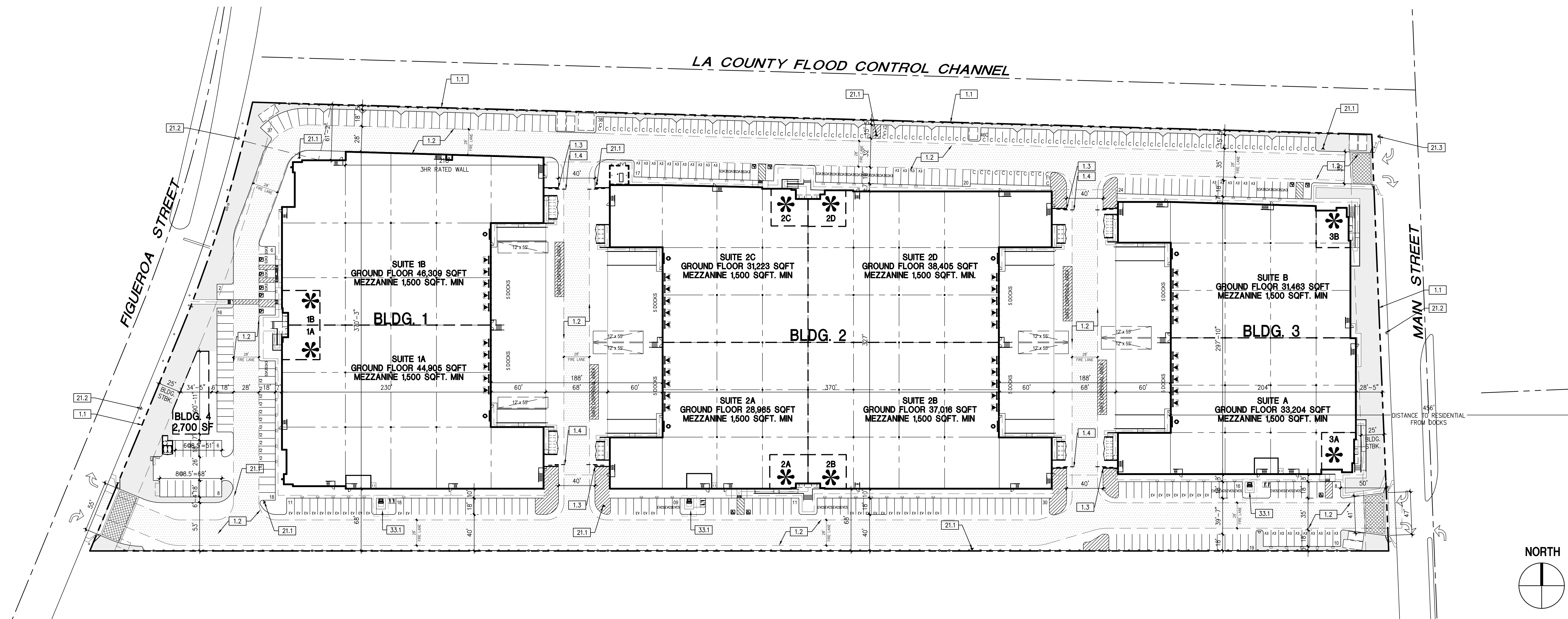
- ### SITE PLAN - LEGEND
- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.), AND 1:48 MAX CROSS SLOPE
 - ACCESSIBLE PARKING STALL(S), TYP.
 - PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
 - COMPACT PARKING STALL(S), TYP.
 - LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
 - FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
 - 12' X 14' SECTIONAL GRADE DOOR. REFER TO ELEVATIONS
 - 9' X 10' SECTIONAL DOCK HIGH DOOR. REFER TO ELEVATIONS
 - POTENTIAL OFFICE T.I.

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△	SITE PLAN & DESIGN REVIEW RESUB.	08/05/21
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△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

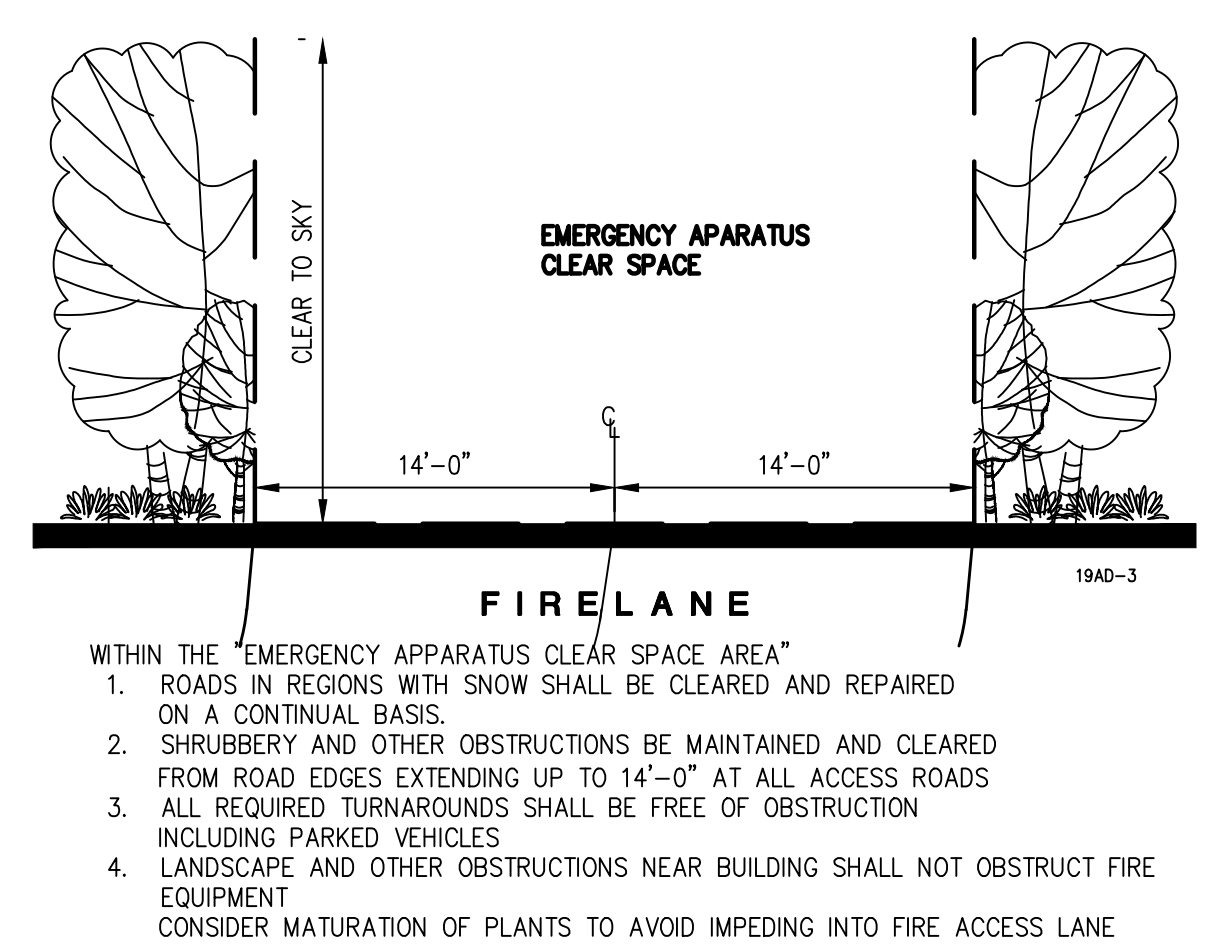
SITE PLAN PROJECT TABULATIONS

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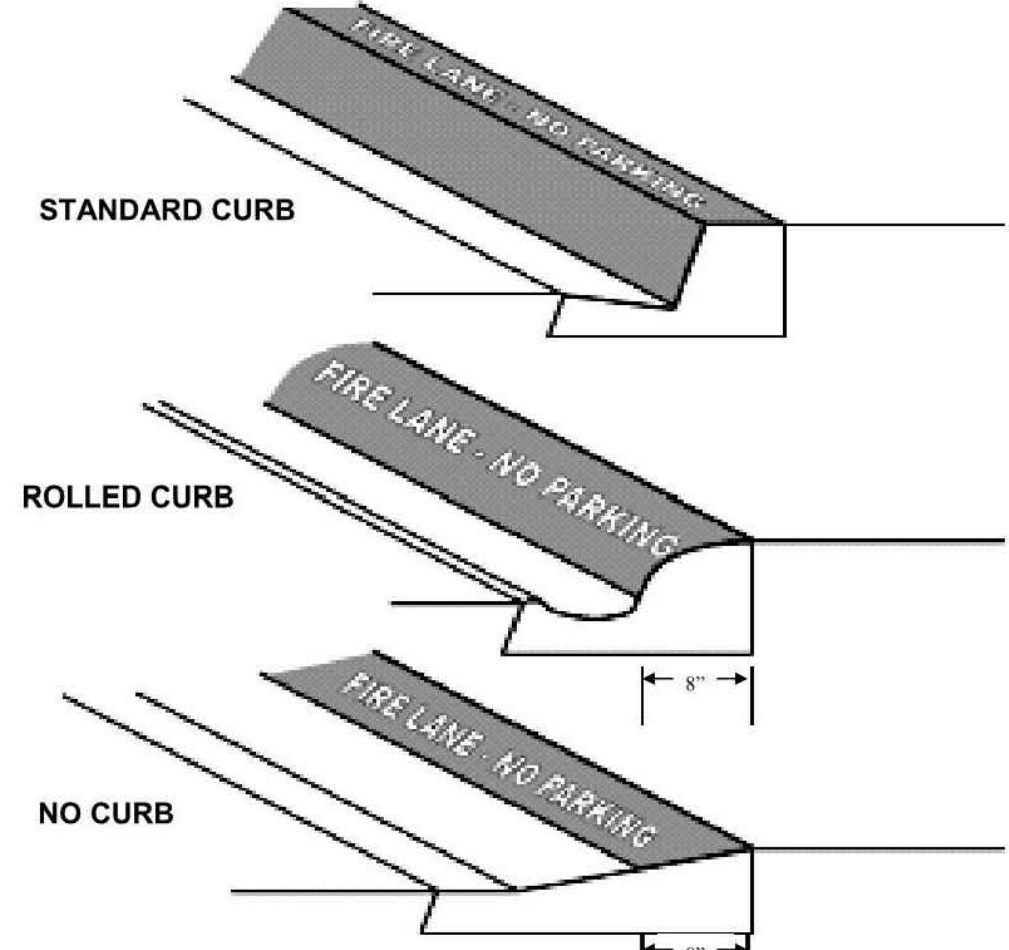
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DATE	12/20/23		
DRAWN	GAA		A1.1A
FILE NAME	WP1004.01_A1.1A		



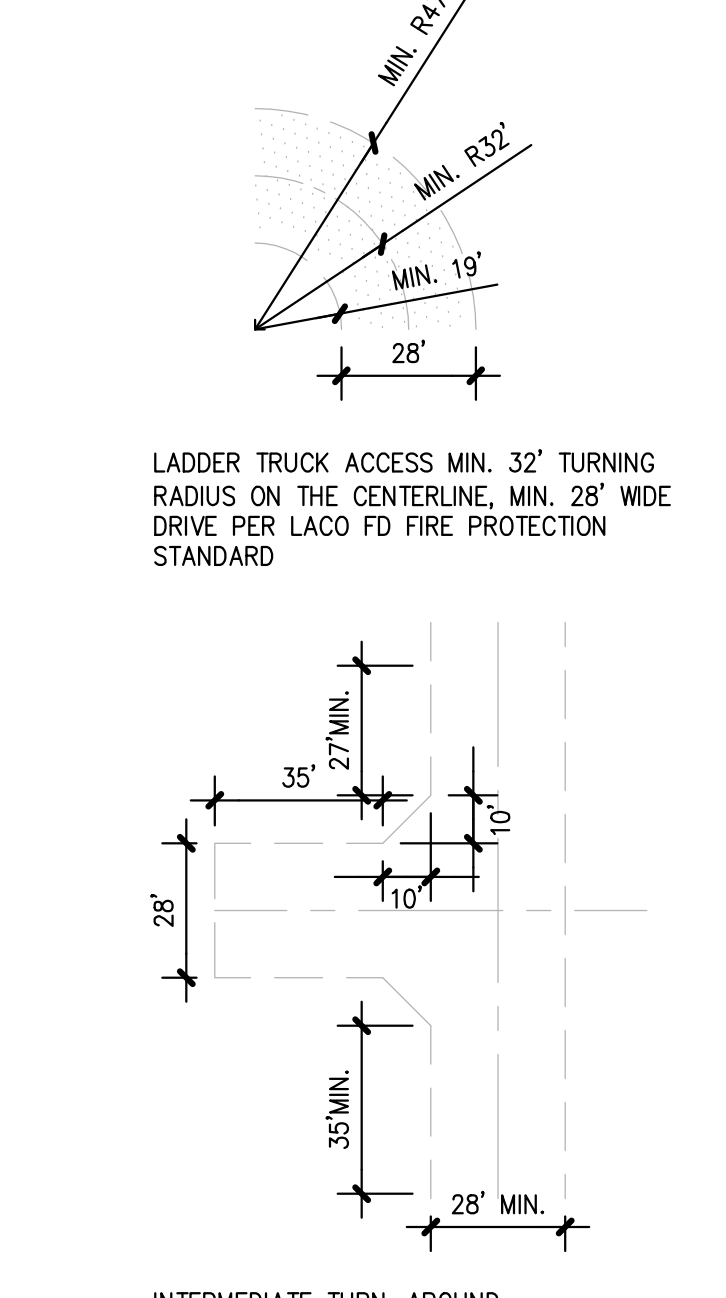
FIRE HYDRANT AND ACCESS SITE PLAN | 1"=60'-0" | 3



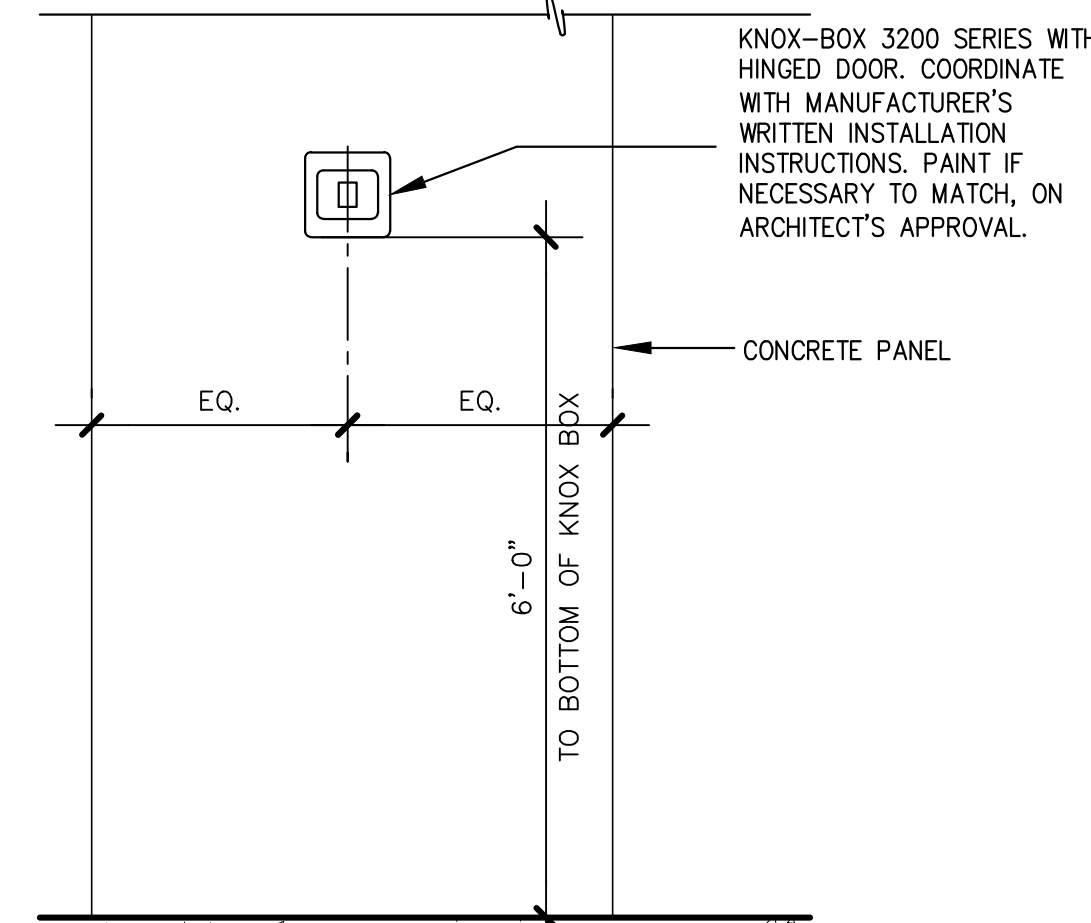
FIRE LANE CLEARANCE | N.T.S. | 7



FIRE LANE MARKING | N.T.S. | 5



LACO FIRE DEPT. STANDARDS | N.T.S. | 6



ELEVATION | N.T.S. | 4

SITE INFORMATION
SITE ADDRESS: FIGUEROA STREET CARSON, CA 90745
A.P.N.: 7336-003-043

LAND USE / ZONING
EXISTING/PROPOSED GENERAL PLAN: BUSINESS PARK
EXISTING/PROPOSED ZONING: M-L, ORL-D LIGHT MANUFACTURING
EXISTING LAND USE: VACANT

CODE ANALYSIS
2019 CBC CODE - WAREHOUSE
BUILDING OCCUPANCY: B, S-1
CONSTRUCTION TYPE: III-B
FIRE SPRINKLERS (AUTOMATIC): YES
STORIES: 1

BUILDING INFORMATION

BUILDING 1
BUILDING AREA: 91,214 S.F.
CONSTRUCTION TYPE: III-B

BUILDING 2
BUILDING AREA: 135,609 S.F.
CONSTRUCTION TYPE: III-B

BUILDING 3
BUILDING AREA: 64,667 S.F.
CONSTRUCTION TYPE: III-B

BUILDING 4
BUILDING AREA: 3,000 S.F.
CONSTRUCTION TYPE: III-B

SITE INFO | N.T.S. | 2

KEYNOTES

1.0 GENERAL
1.1 PROPERTY LINE/ R.O.W. - REFER TO CIVIL DRAWINGS
1.2 PRIVATE DRIVEWAY AND FIRE LANE - 28' W MIN.
1.3 FIRE DEPARTMENT ACCESS KNOX BOX, REFER TO 4/A1.1B
1.4 MANUAL ROLLING TUBE STEEL GATE WITH KNOX PADLOCK PER COUNTY OF LOS ANGELES REQUIREMENTS FOR EMERGENCY OPERATION AT ALL TIMES - SEE NOTE #1 BELOW

21.0 FIRE SUPPRESSION - REFER TO FIRE PROTECTION DRAWINGS
21.1 (N) PRIVATE FIRE HYDRANT
21.2 (E) PUBLIC FIRE HYDRANT-PROVIDE FIRE FLOW TEST.
21.3 (N) PUBLIC FIRE HYDRANT

33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL DRAWINGS
33.1 ELECTRICAL TRANSFORMER

NOTES:
1. ALL PROPOSED GATES SHALL BE EQUIPPED WITH FIRE DEPT. APPROVED LOCKING DEVICE(S).

SITE PLAN - LEGEND

EXISTING FIRE HYDRANT
NEW FIRE HYDRANT
FIRE LANE - 6" CONCRETE OVER 4" AGGREGATE BASE SEE CIVIL DRAWINGS - NO PARKING FIRE LANE
LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
UTILITY EASMENT, REFER TO CIVIL DRAWINGS
TUBE STEEL FENCE - 8' HEIGHT, TYPICAL

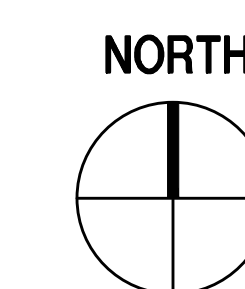
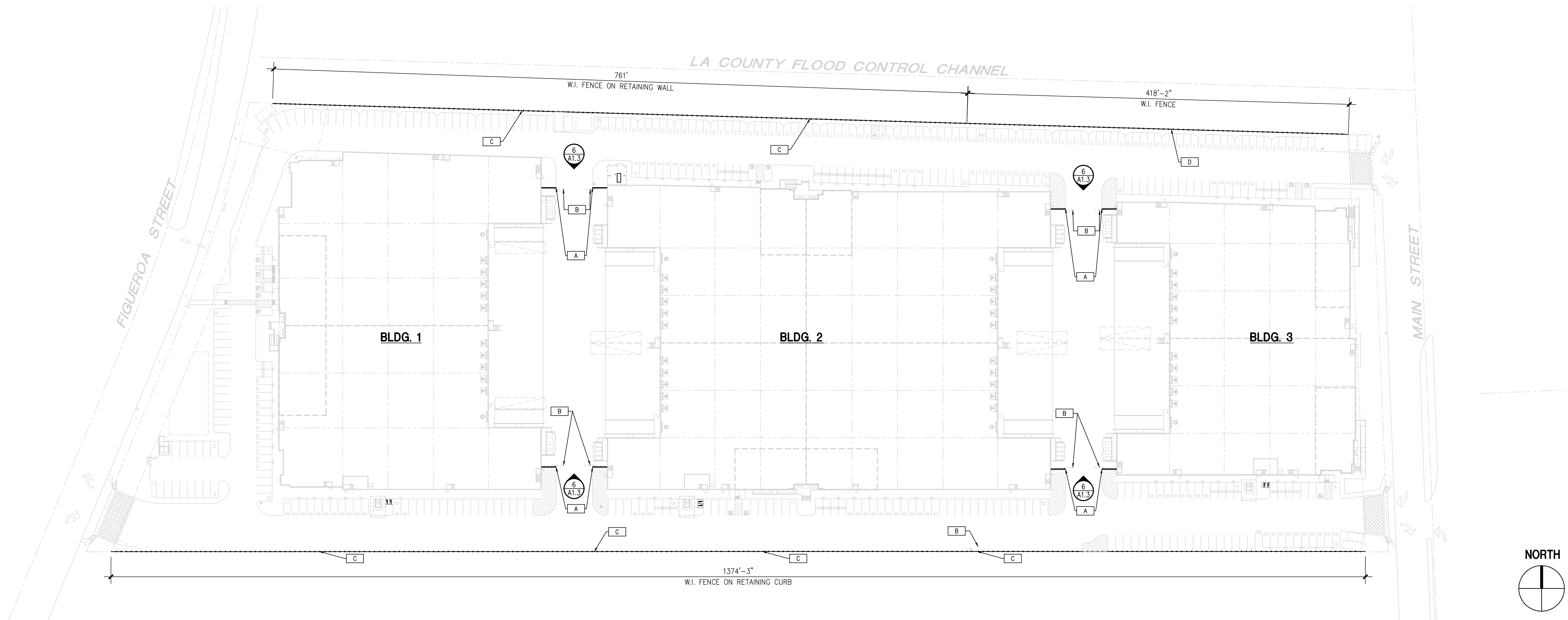
KEYNOTES | N.T.S. | 1

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FIRE HYDRANT AND ACCESS SITE PLAN

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SITE FENCE AND WALL PLAN | 1"=50'-0" | 2

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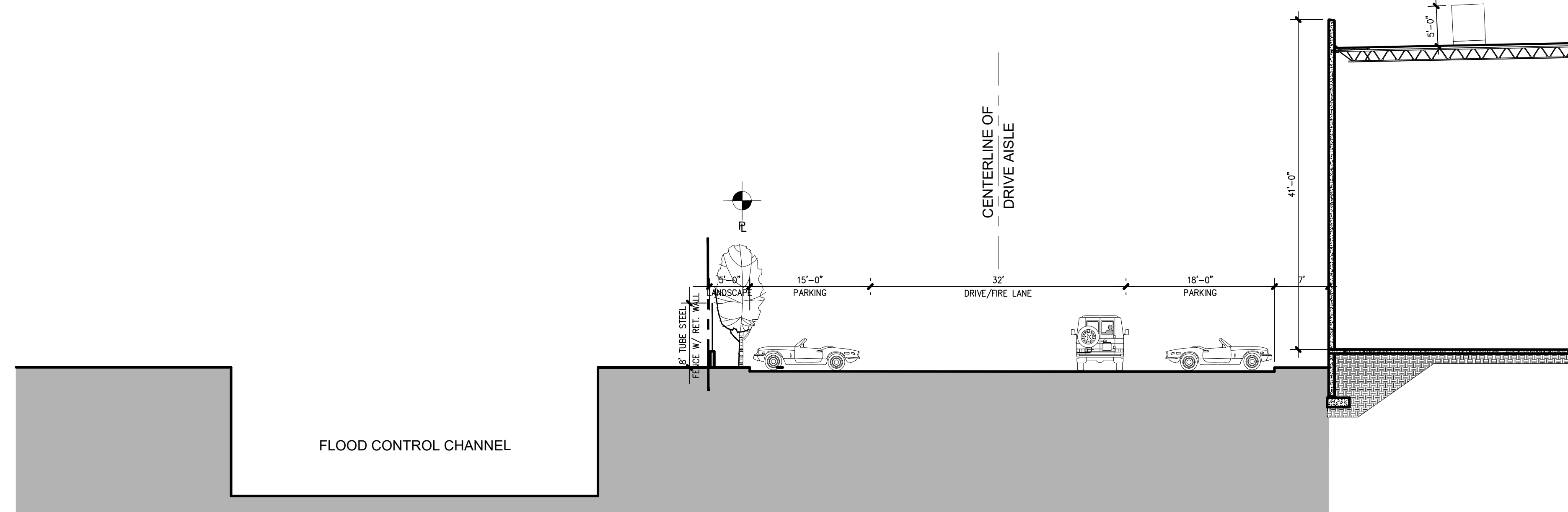
SITE FENCE AND WALL PLAN

GENERAL NOTES

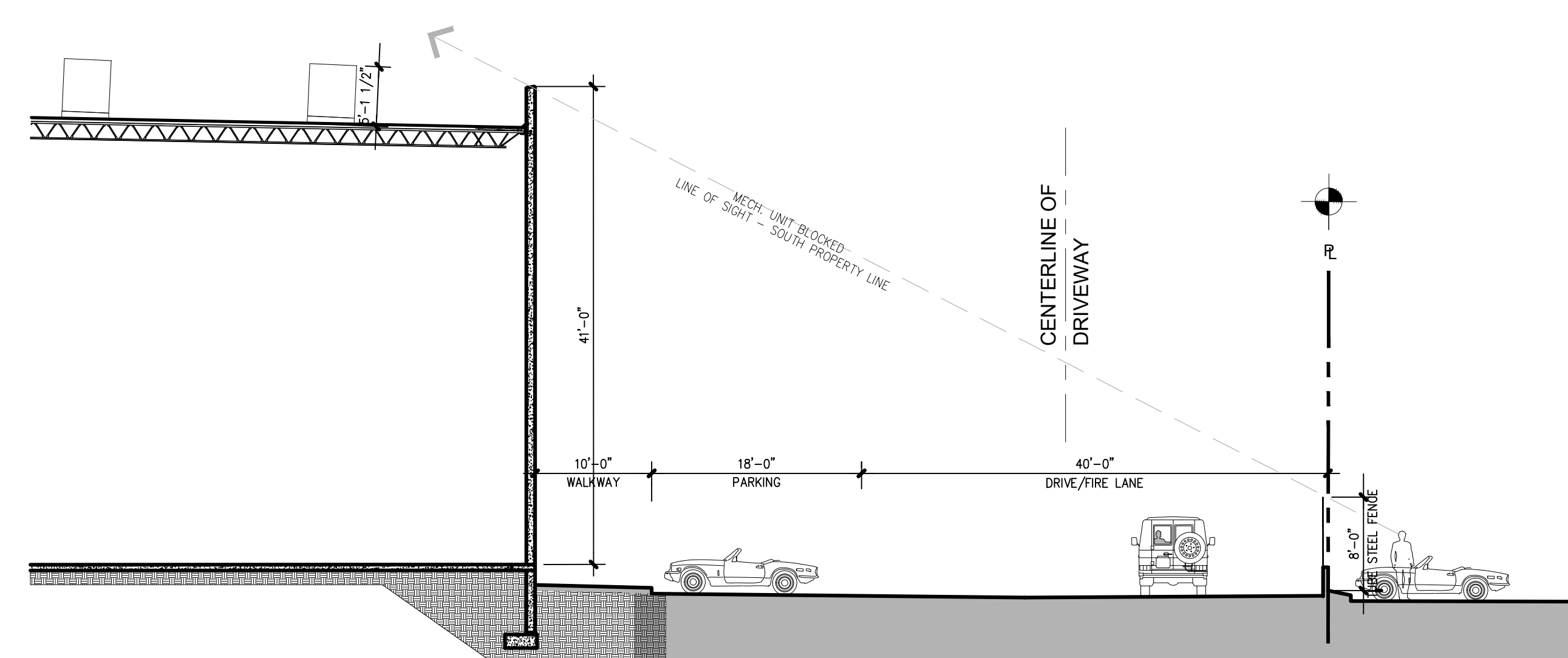
- A CONCRETE TILT-UP SCREEN WALL - 8' MAX. WALL HEIGHT. SEE 6,7/A1.3
- - - B MANUAL SLIDING TUBE STEEL TRUCK GATE W/ KNOX PADLOCK - 7' HEIGHT TYP. U.N.O. ALL PROPOSED GATES SHALL BE EQUIPPED WITH FIRE DEPT. APPROVED LOCKING DEVICE(S).
- - - C TUBE STEEL FENCE - 8' MAX. HEIGHT, TYP., ON RETAINING CURB AND/OR WALL
- - - D TUBE STEEL FENCE - 8' MAX. HEIGHT, TYP.,

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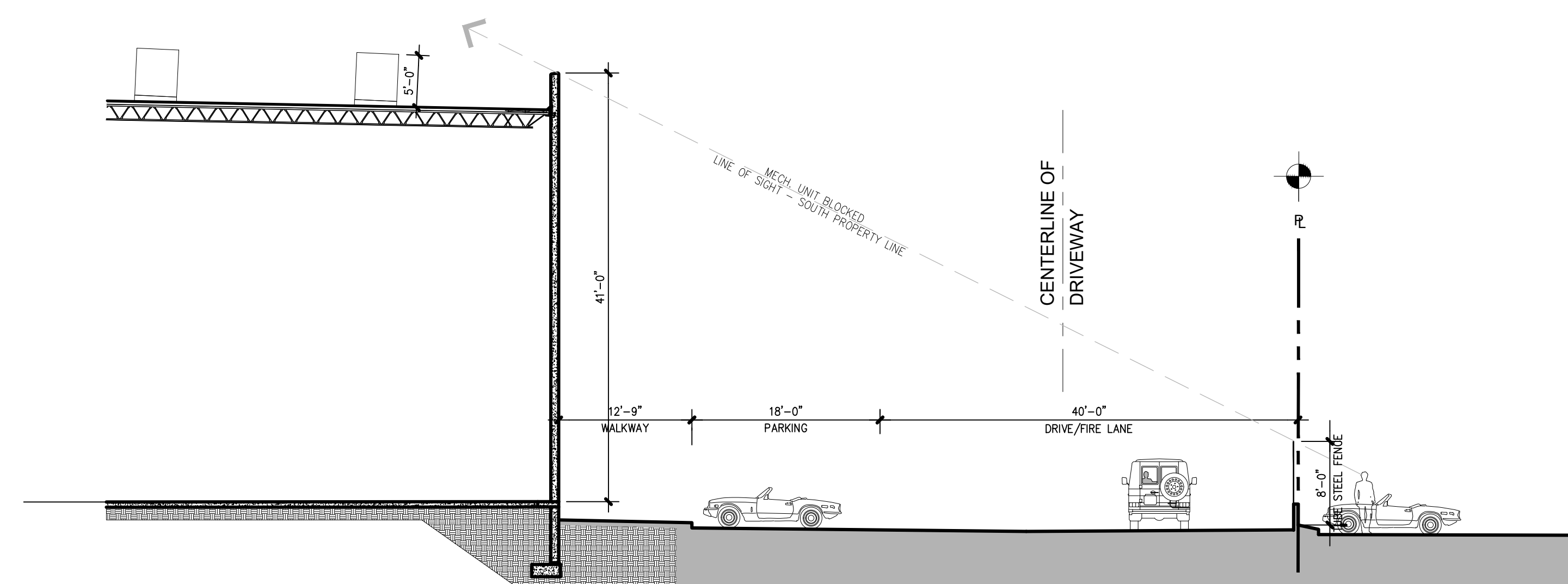
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FILE NAME	WP7004.01_A1.2		



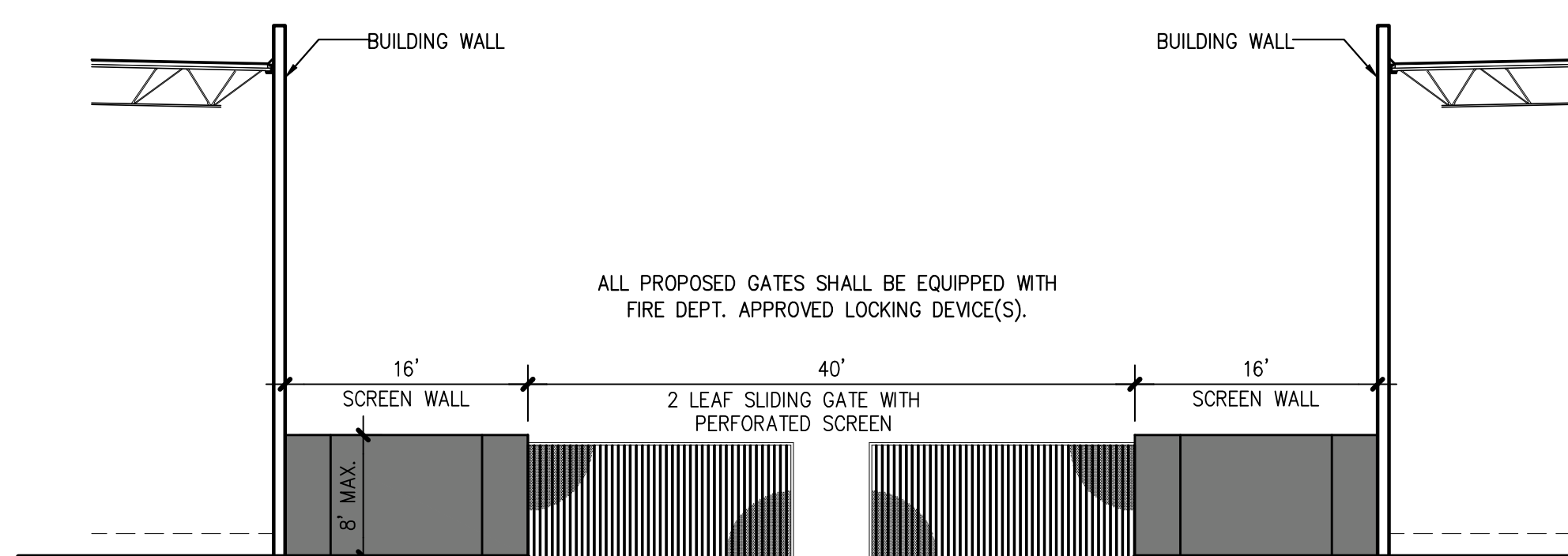
BUILDING 2 - CROSS SECTION | 1"=10'-0" | 4



BUILDING 2 - CROSS SECTION | 1"=10'-0" | 3

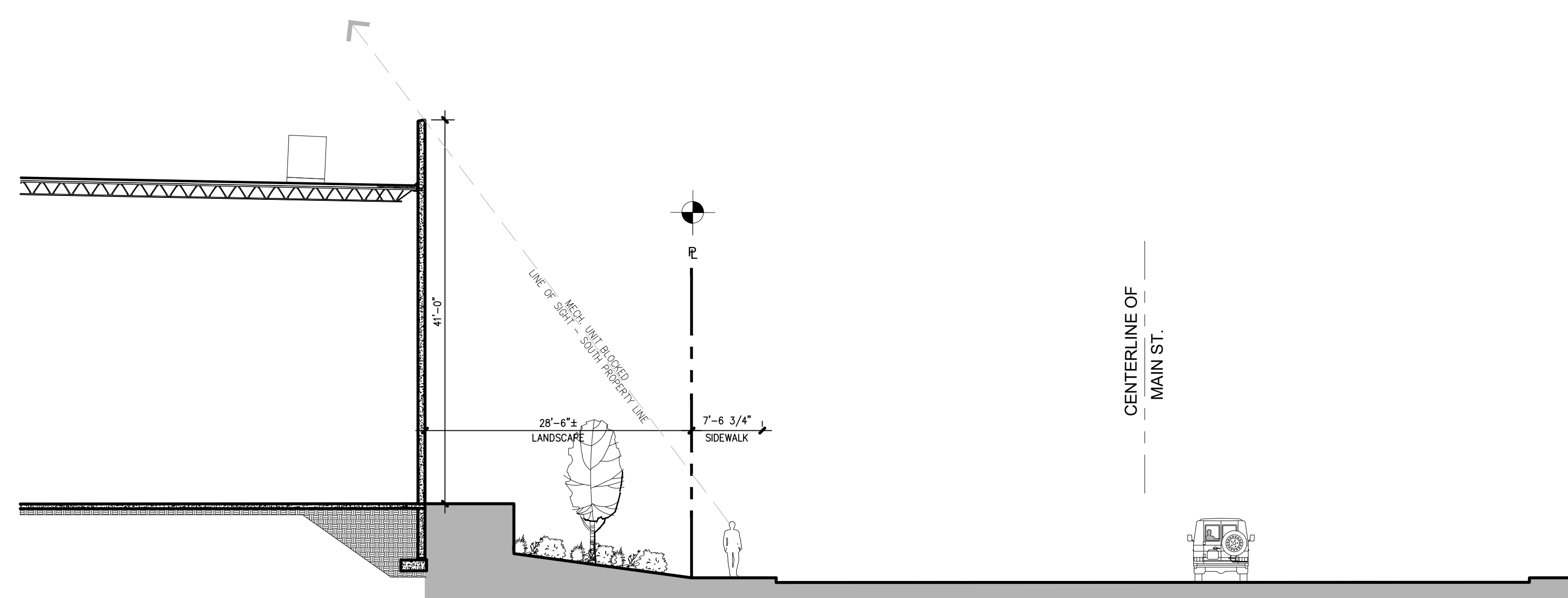


BUILDING 1 - CROSS SECTION | 1"=10'-0" | 2

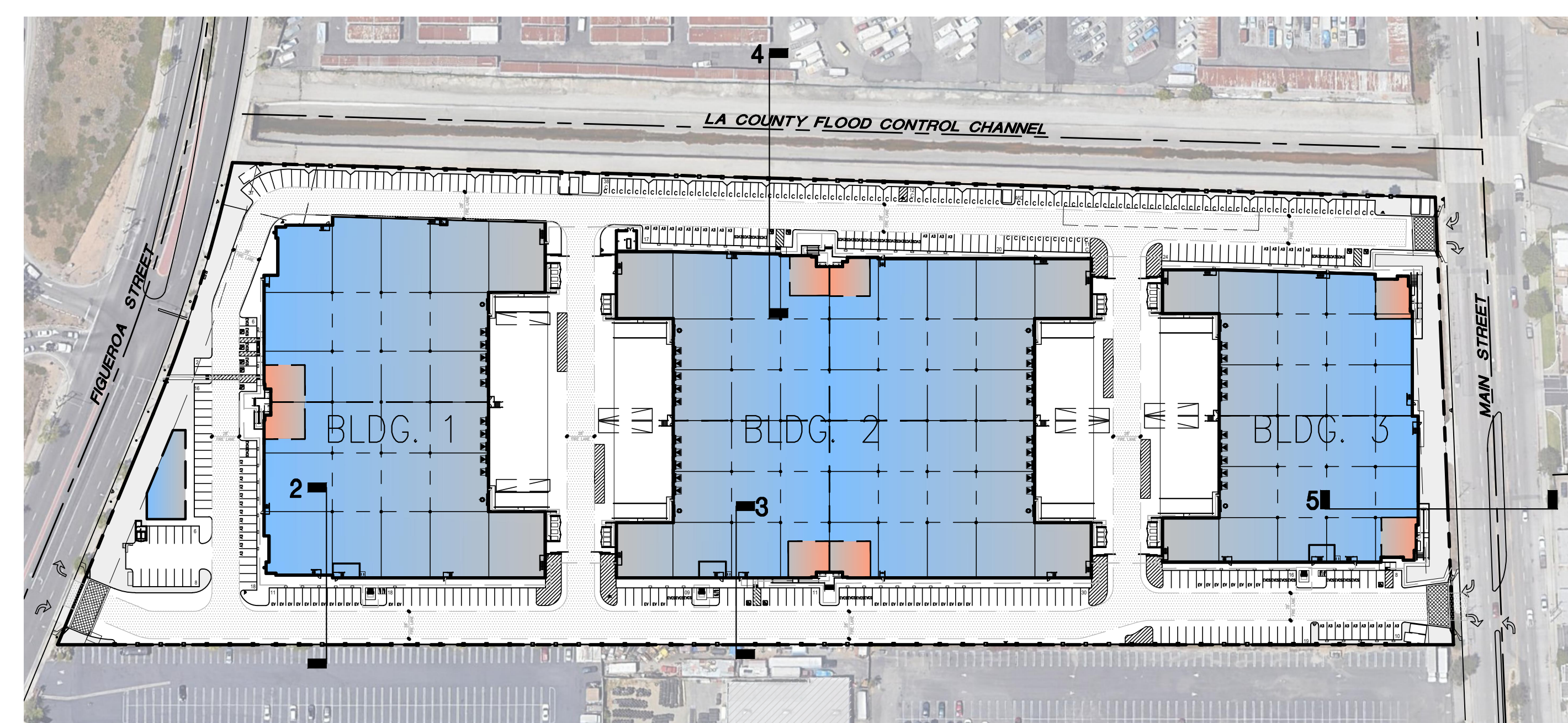


TYP. SCREEN WALL AND GATE DETAIL

TYP. SCREENWALL AND GATE BETWEEN BUILDINGS | 1"=10'-0" | 6



BUILDING 3 - CROSS SECTION | 1"=20'-0" | 5



KEY PLAN | N.T.S. | 1

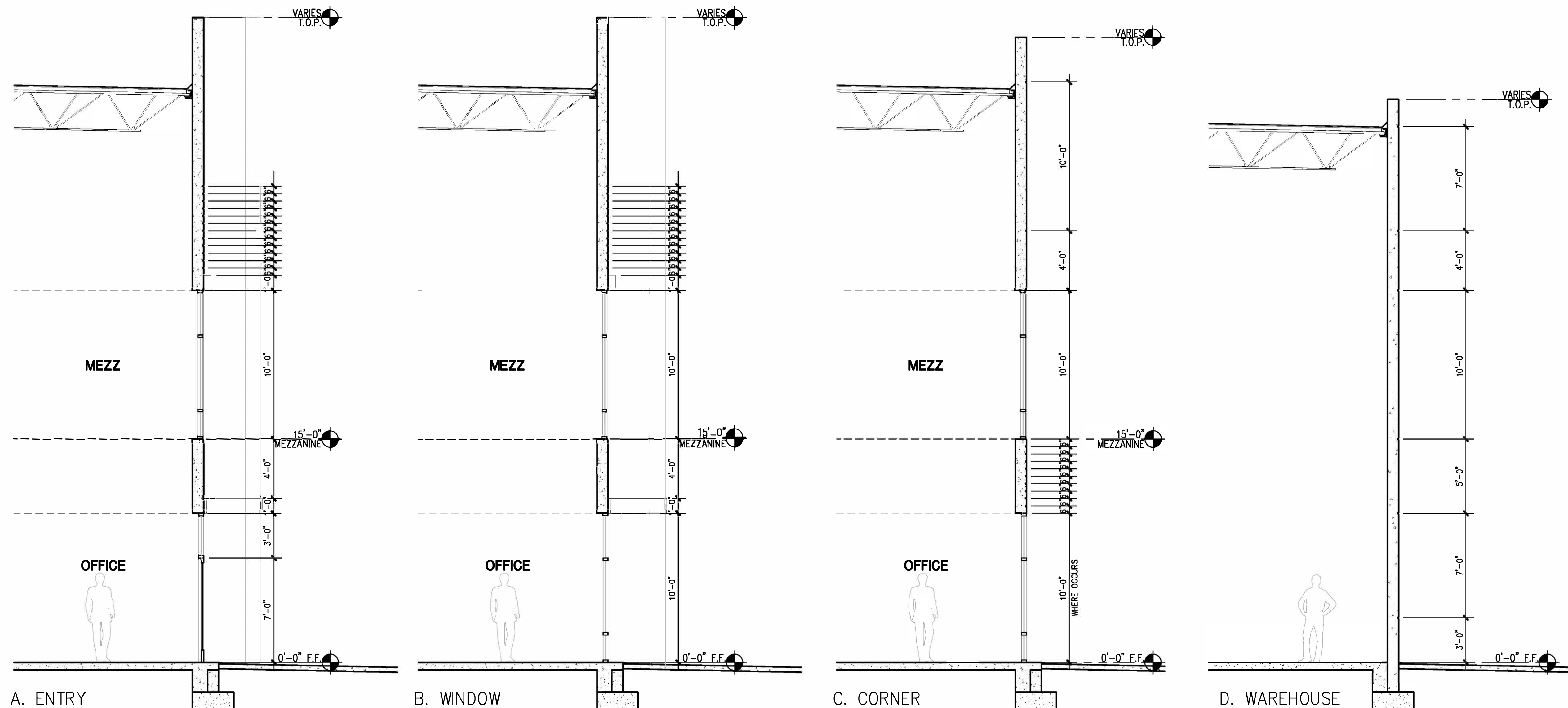
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BUSINESS PARK**
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

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△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

SITE SECTION & BUILDING CROSS SECTIONS

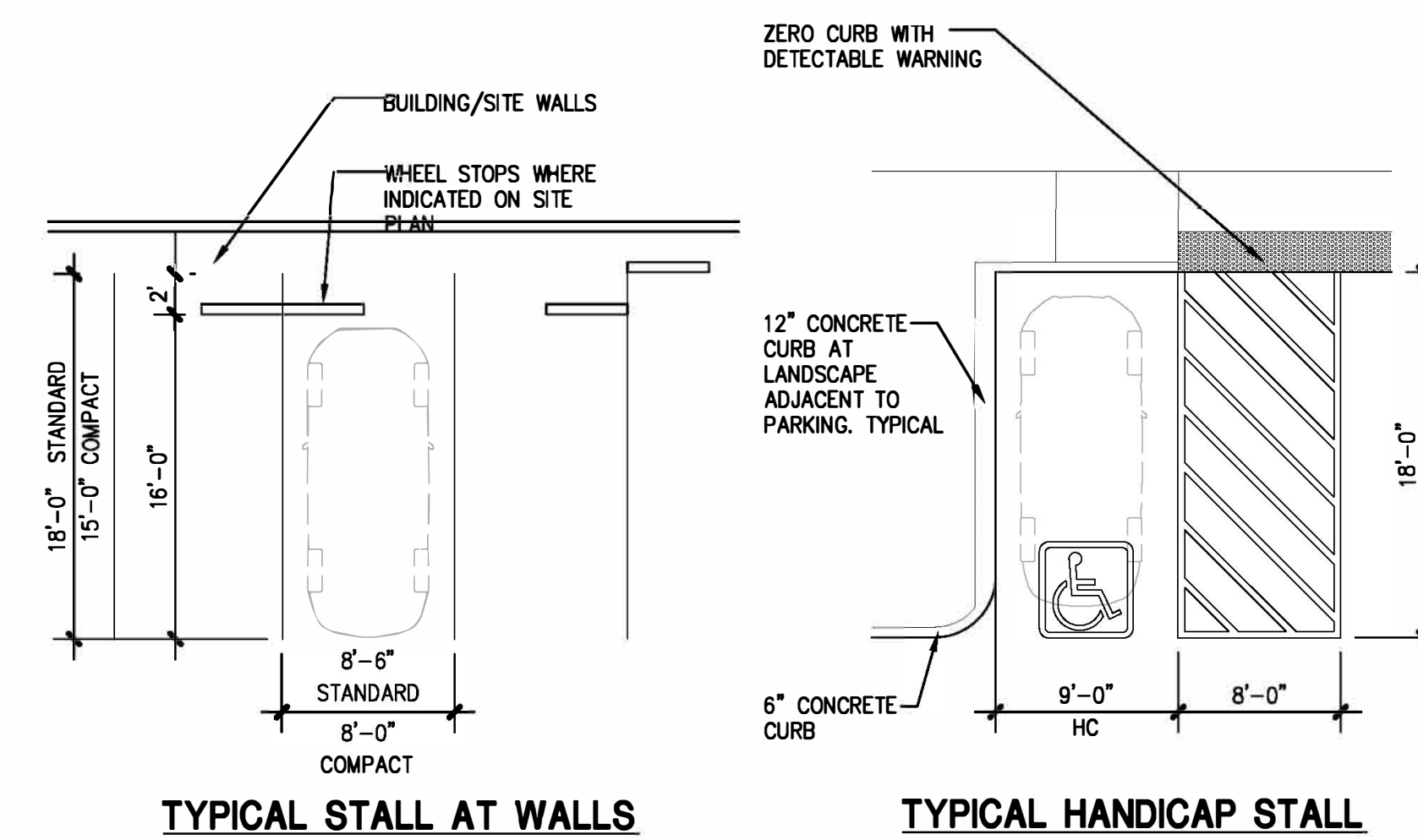
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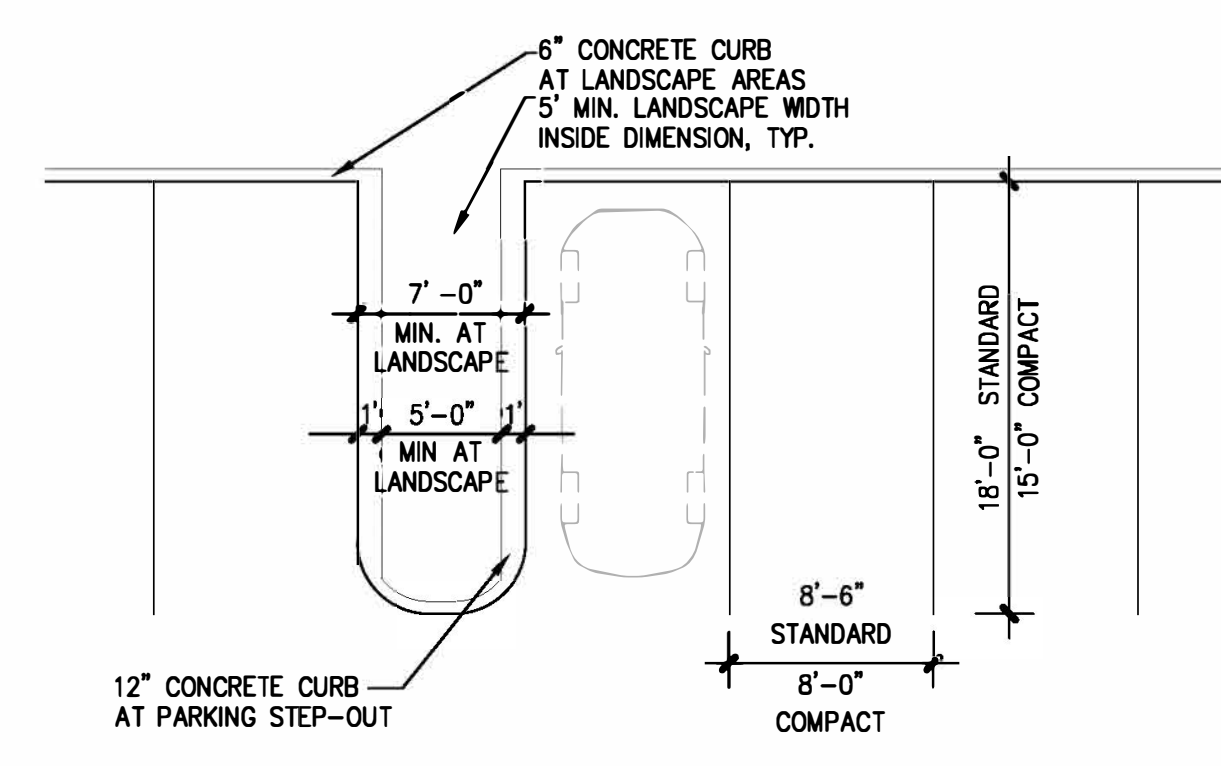


A. ENTRY B. WINDOW C. CORNER D. WAREHOUSE

WALL SECTIONS | 1/4"=1'-0" | 6

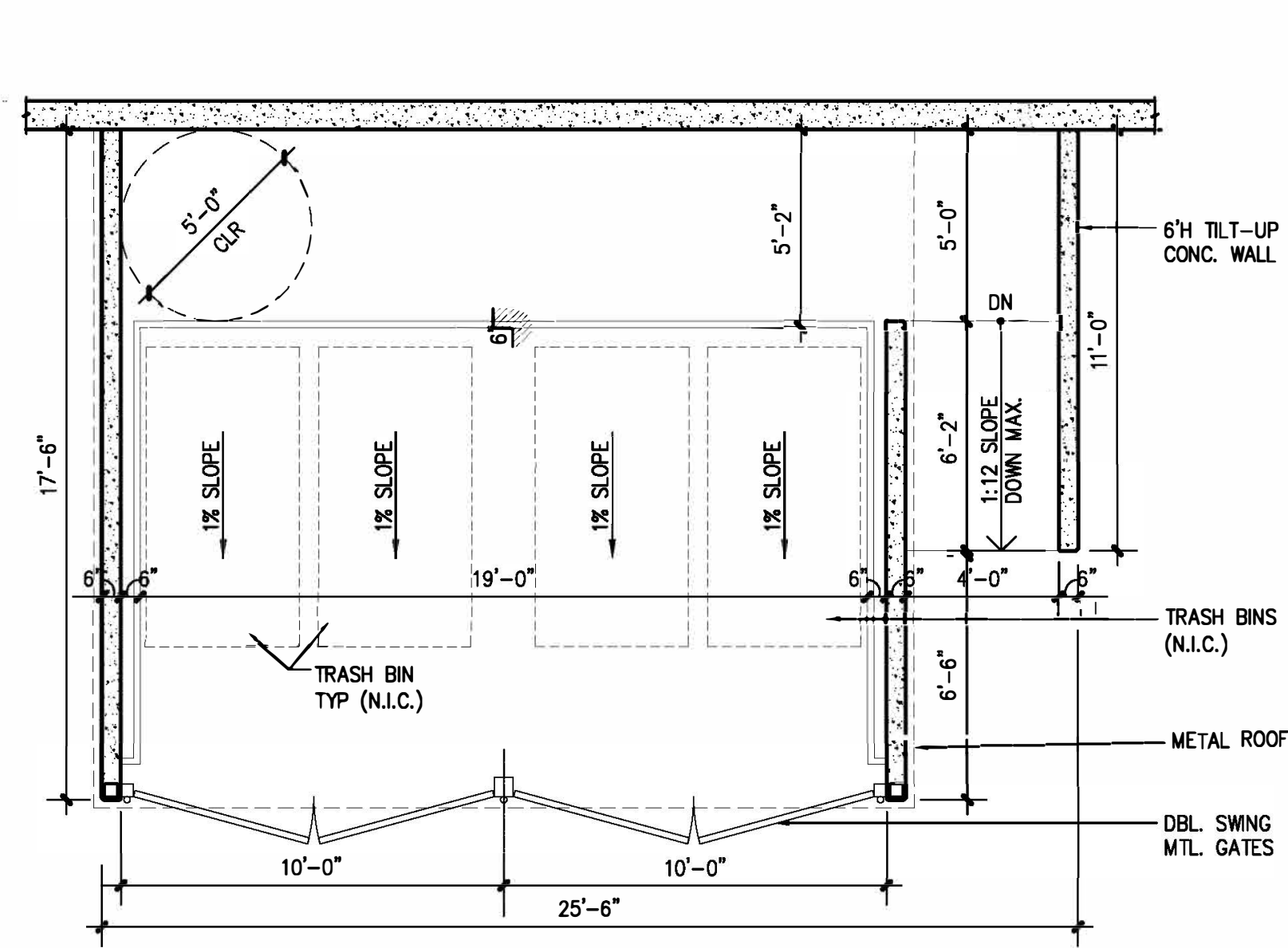


TYPICAL STALL AT WALLS TYPICAL HANDICAP STALL

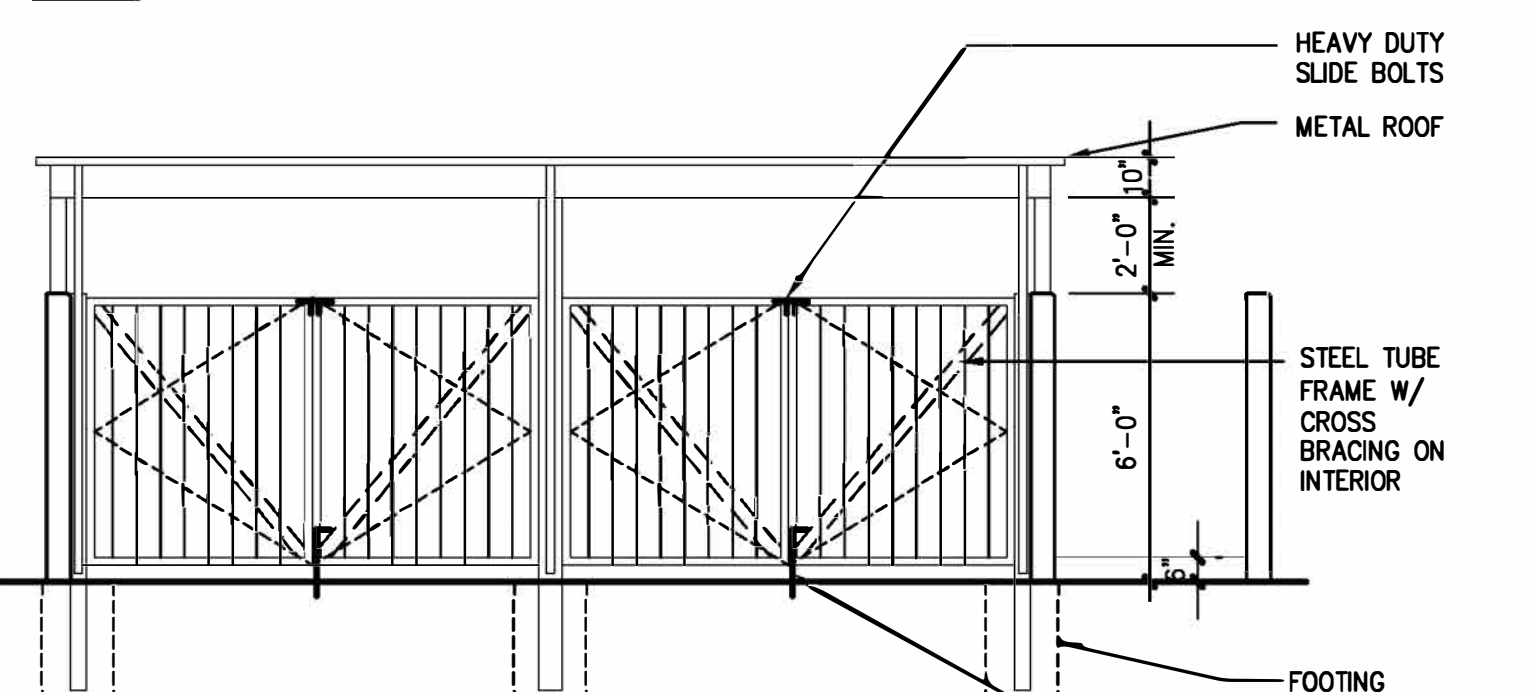


TYPICAL STALL

PARKING | 1/8"=1'-0" | 2

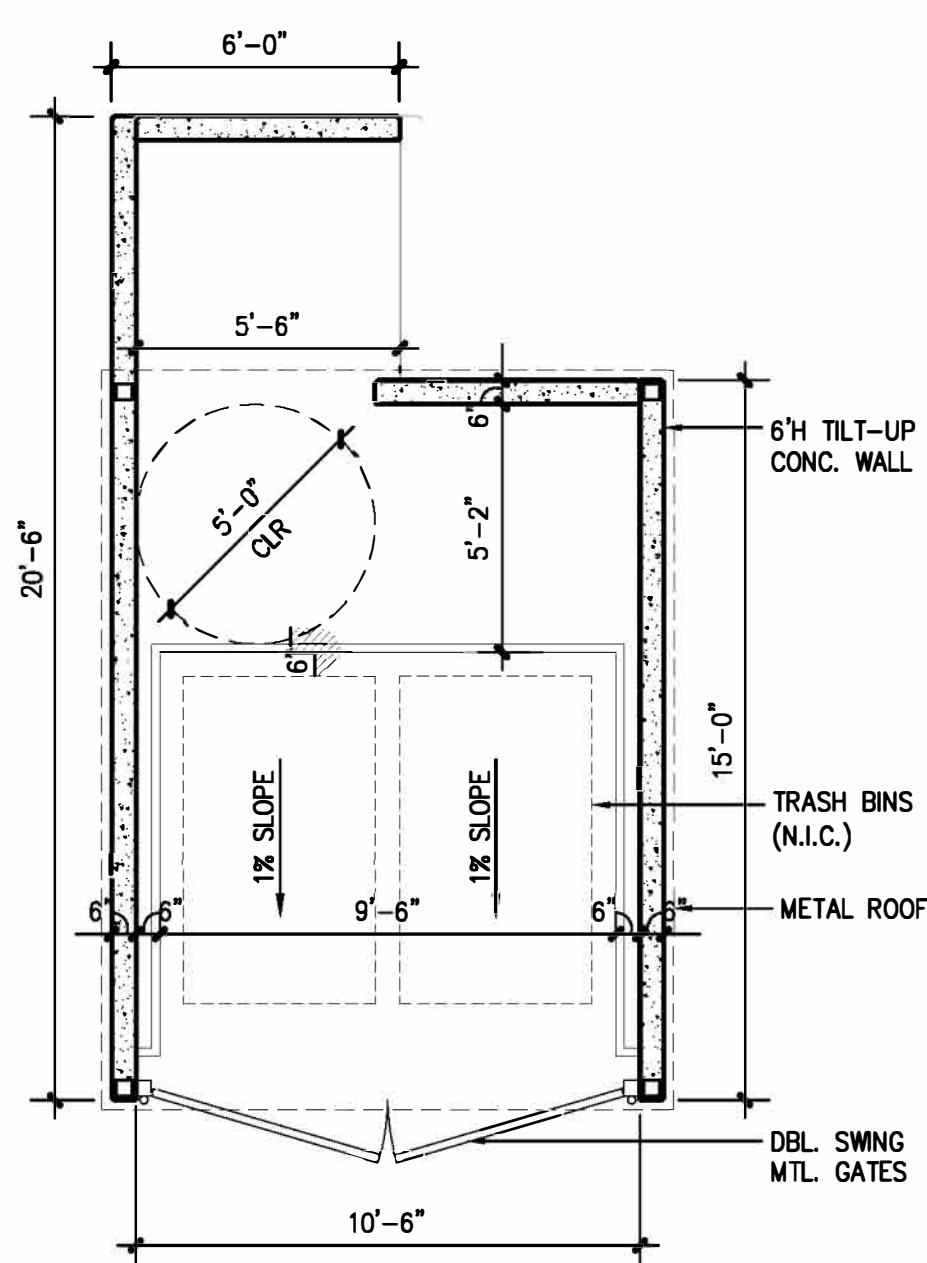


PLAN

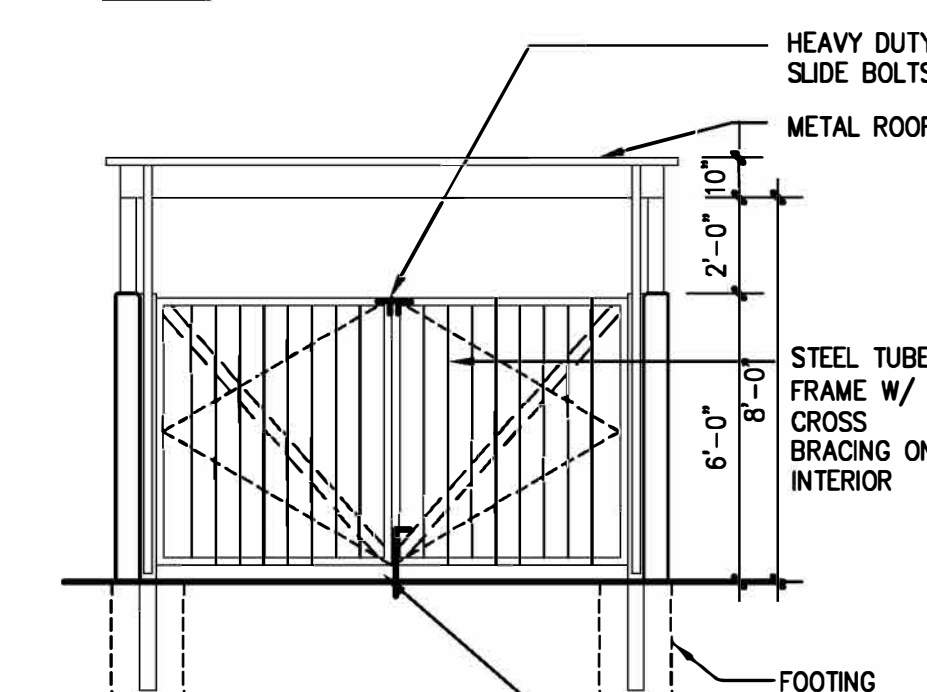


FRONT ELEVATION

4-BIN TRASH ENCLOSURE

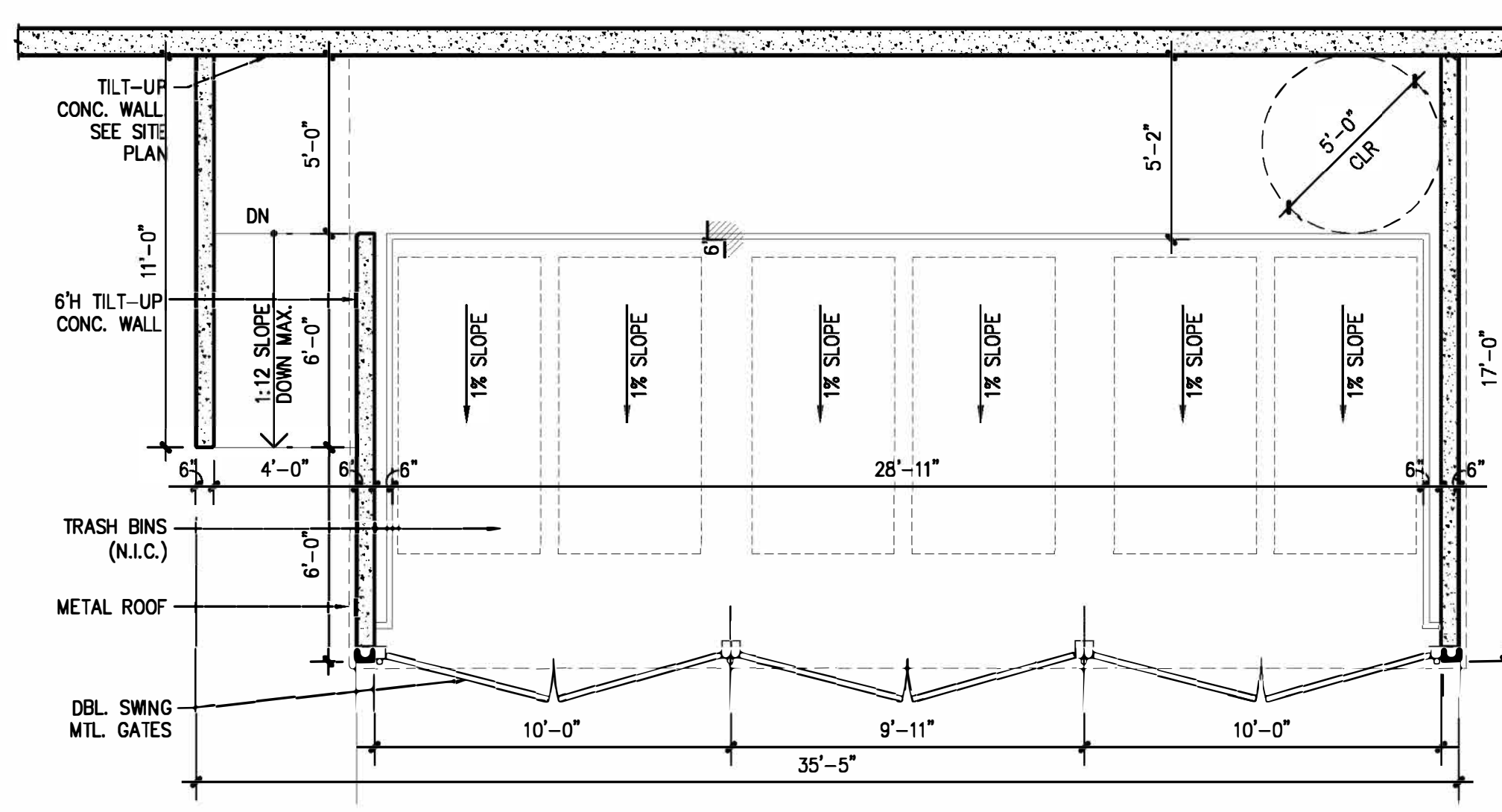


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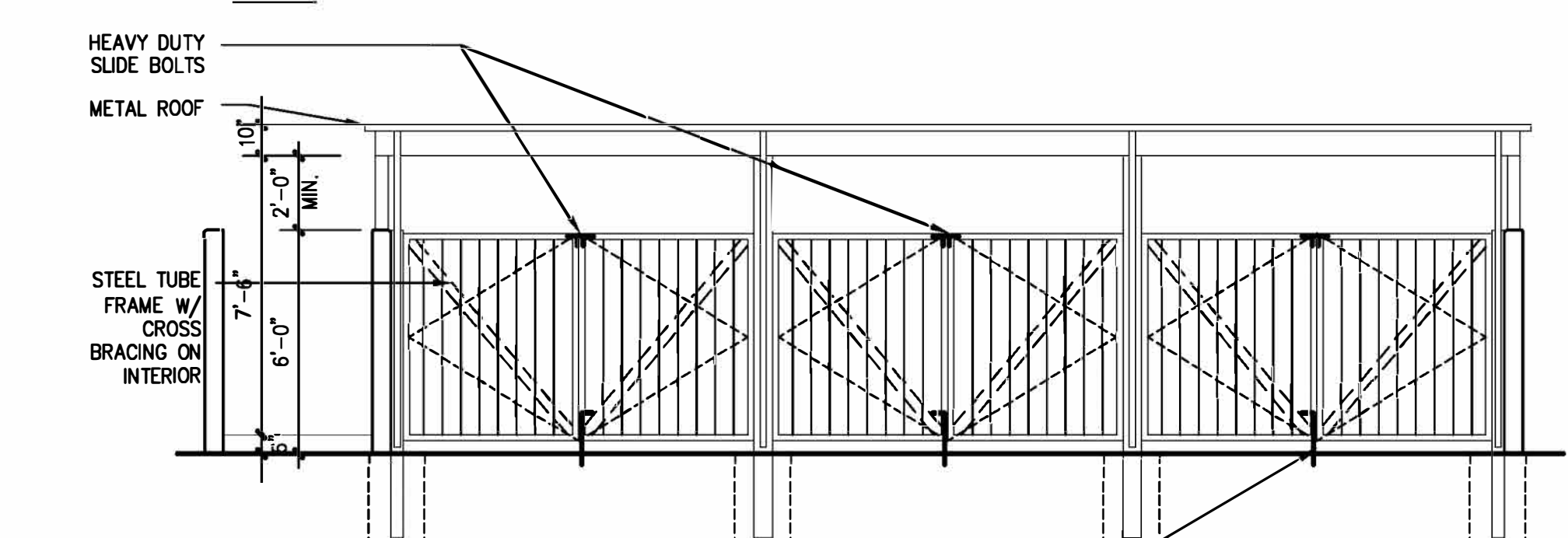


FRONT ELEVATION

2-BIN TRASH ENCLOSURE



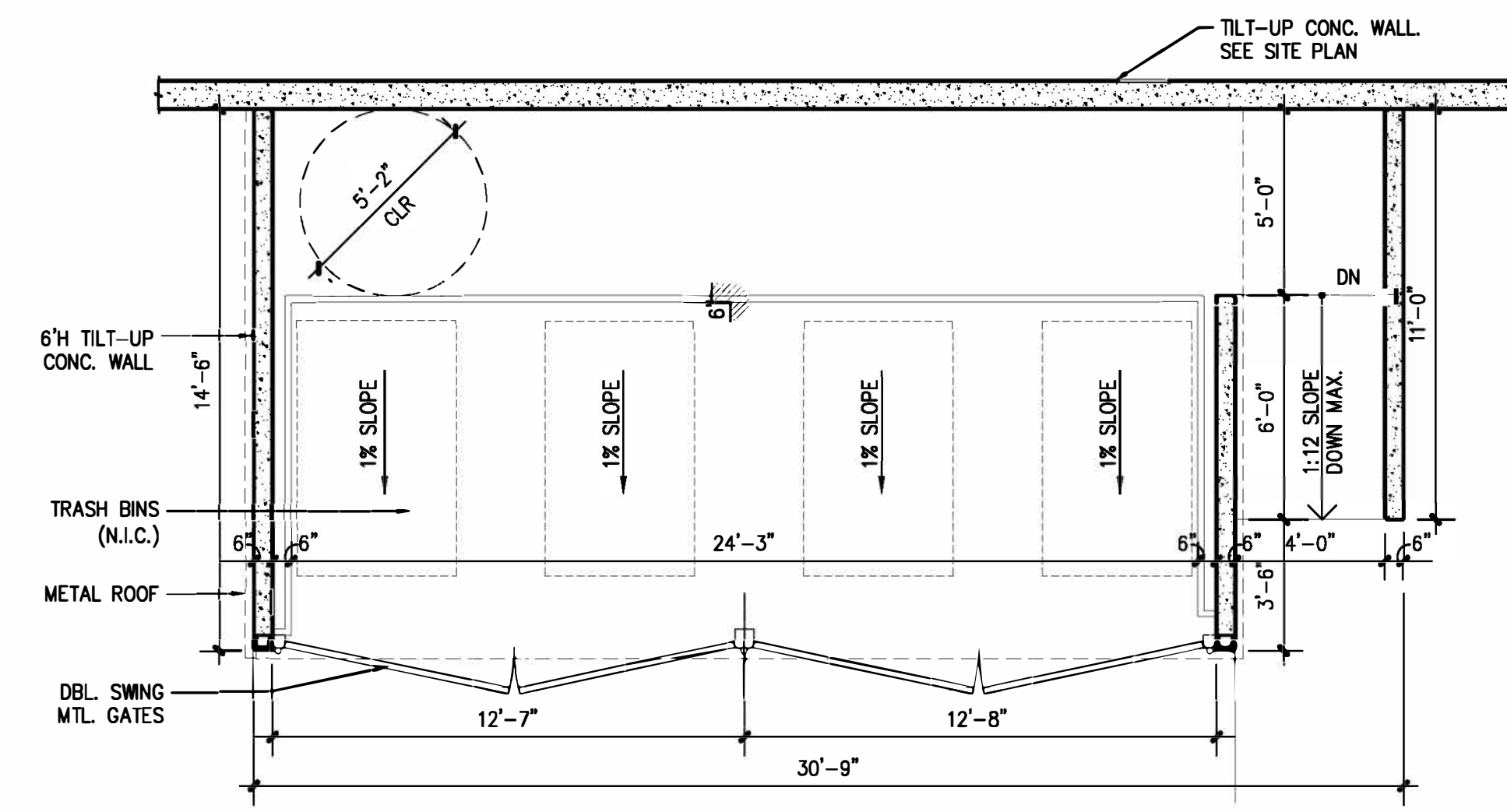
PLAN



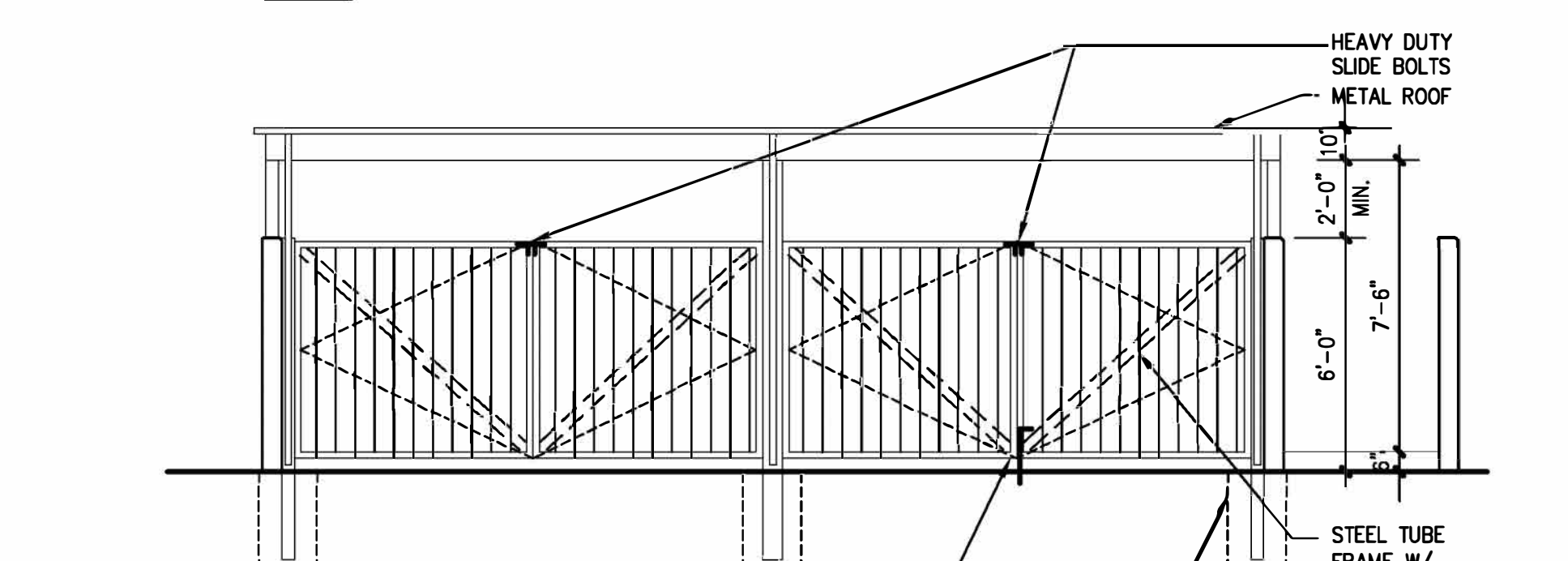
FRONT ELEVATION

6-BIN TRASH ENCLOSURE

- NOTE:
1. ALL METAL TO RECEIVE ONE COAT OF ZINC CHROMATE PRIMER AND TWO COATS OF MEDIUM ALKYLID PAINT.
 2. DECORATIVE EXTERIOR FINISH TO BE COMPATIBLE WITH BUILDING.
 3. STRUCTURAL DESIGN TO WITHSTAND 90 MPH MIN. WIND LOAD.
 4. SOLID ROOF TO MEET ARCHITECTURAL AND STRUCTURAL DESIGN CRITERIA FROM PLANNING AND BUILDING DEPARTMENTS.
 5. REFER TO CITY OF ONTARIO COMMERCIAL REFUSE AND RECYCLING ENCLOSURE DETAIL FOR REFERENCE.
 6. SIGNAGE IDENTIFYING COLLECTION AREA AND THE MATERIALS ACCEPTED FOR RECYCLING SHALL BE POSTED ADJACENT TO POINT OF ACCESS OF ENCLOSURE.



PLAN



FRONT ELEVATION

4-BIN TRASH ENCLOSURE

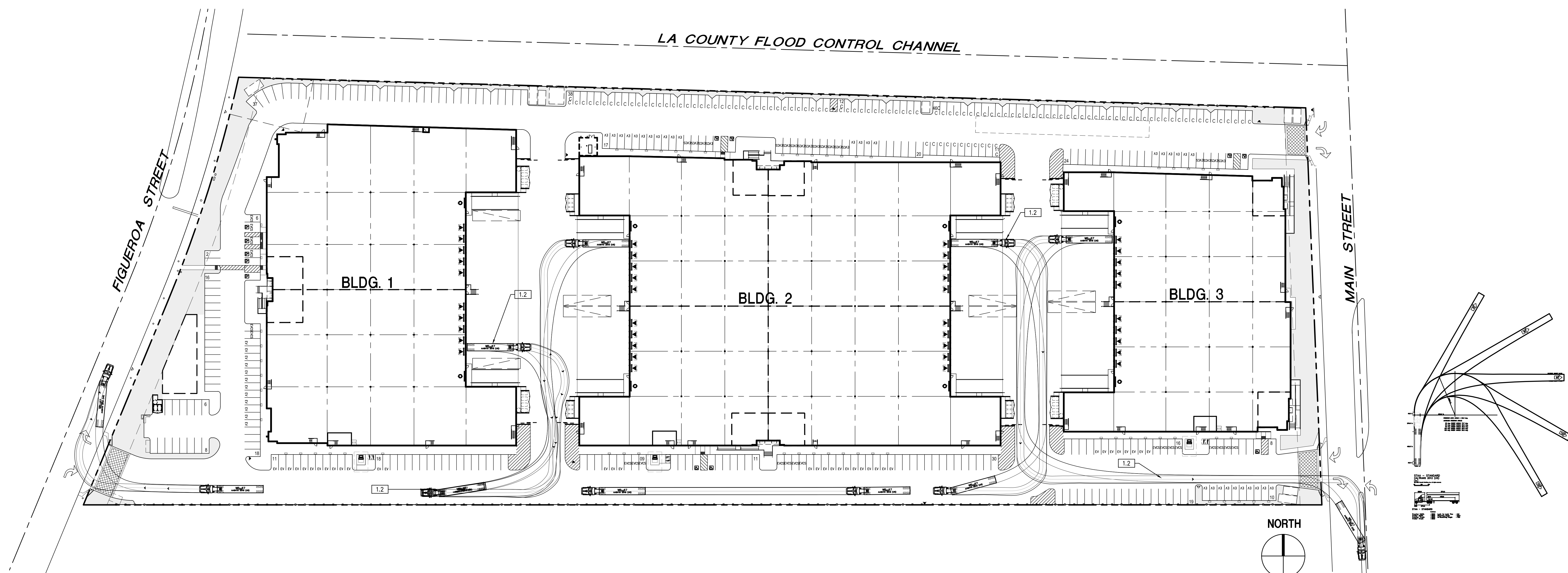
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SITE MISC.

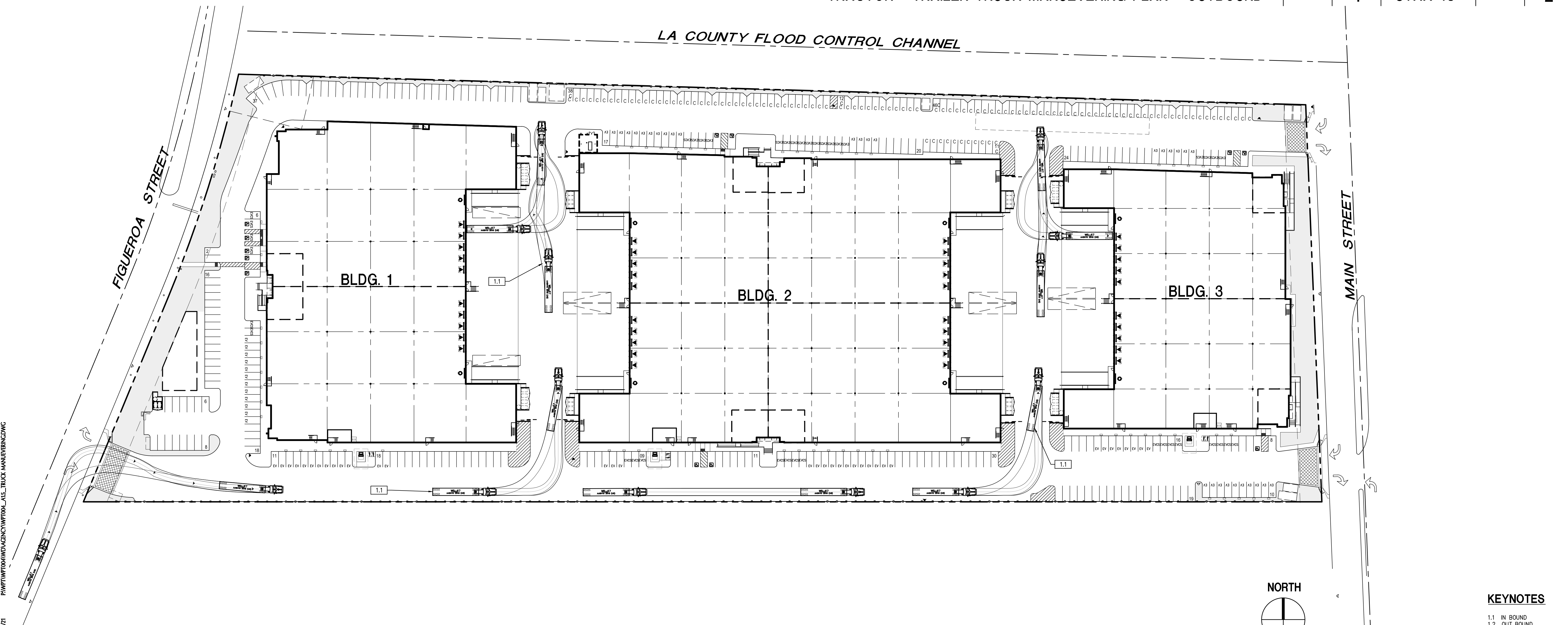
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TRACTOR - TRAILER TRUCK MANUEVERING PLAN - OUTBOUND 1"=60'-0" 4 | STAA-48 | - | 2



TRACTOR - TRAILER TRUCK MANUEVERING PLAN - IN BOUND 1"=60'-0" 3 | NOTE | - | 1

NO.	DESCRIPTION	DATE
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TRUCK MANUEVERING PLAN

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DATE 12/20/23	A15
DRAWN GAA	
FILE NAME WP1004.01_A15	

KEYNOTES
1.1 IN BOUND
1.2 OUT BOUND

P:\WP1004\WP1004_01_A15_TRUCK MANUEVERING.DWG
PLOT DATE 3/19/21

KEYNOTES

- 1.0 GENERAL
 - 1.1 PROPOSED GROUND FLOOR OFFICE
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE BUILDING WALL
 - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
 - 3.3 CONCRETE STAIR W/ HANDRAIL
 - 3.4 PERMANENT DEMISING WALL
- 5.0 METALS
 - 5.1 CONCRETE-FILLED STEEL PIPE PROTECTION BOLLARD, PAINTED, TYPICAL
 - 5.2 STRUCT. STEEL COLUMN, TYPICAL - SHOP PRIMED (FIELD PAINTED)
 - 5.3 METAL CANOPY ABOVE
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR
 - 8.3 HOLLOW METAL MAN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED
 - 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 9.0 FINISHES
 - 9.1 INTERIOR PARTITION TYP.
- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MANUFACTURER & STRUCTURAL DRAWINGS
- 12.0 FURNISHINGS
 - 12.1 BICYCLE RACK PER CAL GREEN LONG-TERM REQUIREMENTS

GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYOR SYSTEMS.
2. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF FINISHED WALL (U.N.O.).
3. WAREHOUSE INTERIOR WALLS TO BE PAINTED WHITE; COLUMNS TO BE PRIME.
4. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
5. STEEL ORDERS, TRUSSES AND LEDGERS SHALL BE PRIMED LIGHT GRAY.
6. PROVIDE SIGN ON INSIDE OF EXTERIOR DOORS STATING "EXIT CONTAINS A STAIR" AT ALL REQUIRED AND NON-REQUIRED EXITS THAT ARE NOT ACCESSIBLE BY A RAMP. EXIT ONLY DOORS WHICH ARE NOT ACCESSIBLE TO THE DISABLED SHALL NOT HAVE ENTRY HARDWARE.
7. PROVIDE A "NO SMOKING WITHIN 25 FEET OF BUILDING" SIGN AT BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS (EXCEPT EMERGENCY EXIT ONLY AND ELECTRICAL/UTILITY ROOMS).
8. ADEQUATE NUMBER OF PLUMBING FIXTURES SHALL BE PROVIDED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE TABLE 422.1 PRIOR TO CERTIFICATE OF OCCUPANCY OF THE BUILDING OR THE RESPECTIVE TENANT SPACE.
9. BUILDING SIGNAGE UNDER SEPARATE PERMIT.
10. FIRE EXTINGUISHERS SHALL BE PROVIDED PER 2013 IFC.
11. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
12. REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN WHERE OCCURS.
13. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
14. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED W/ SECONDARY POWER SOURCE.
15. ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1-FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.
16. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM FOR THE FOLLOWING AREAS:
 - A. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS
 - B. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
17. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1-FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1-FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

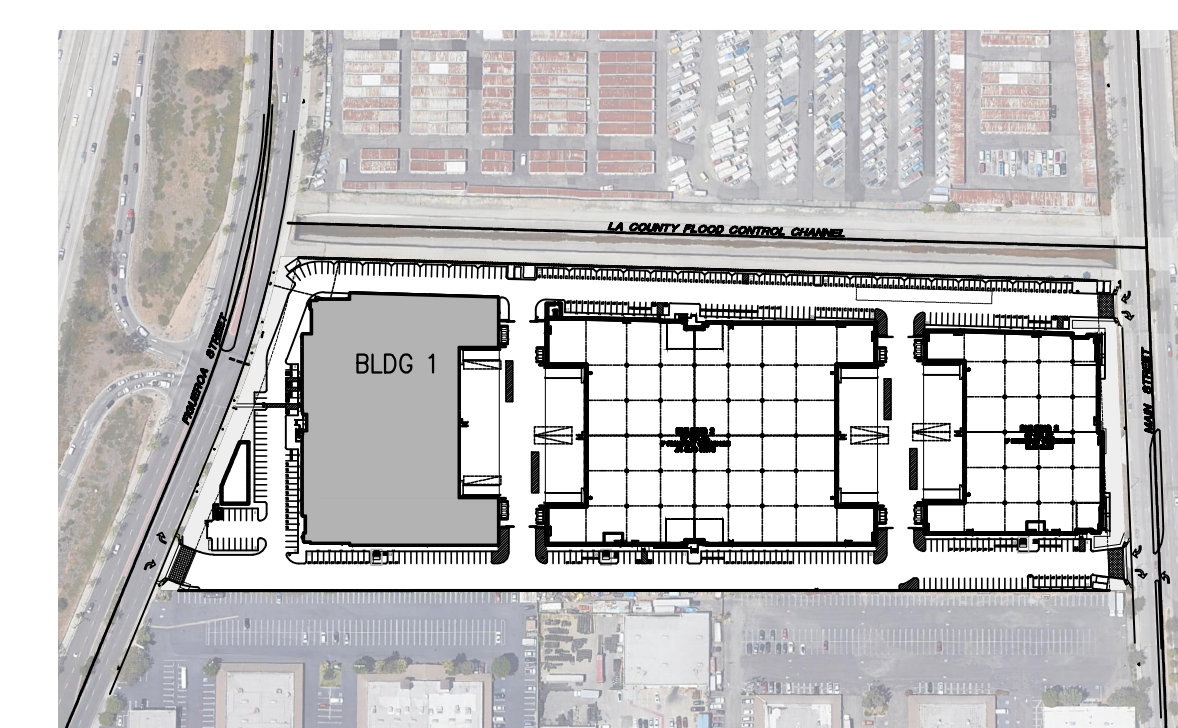
KEYNOTES - 4



OFFICE RENDERING - 3



OFFICE RENDERING - 2



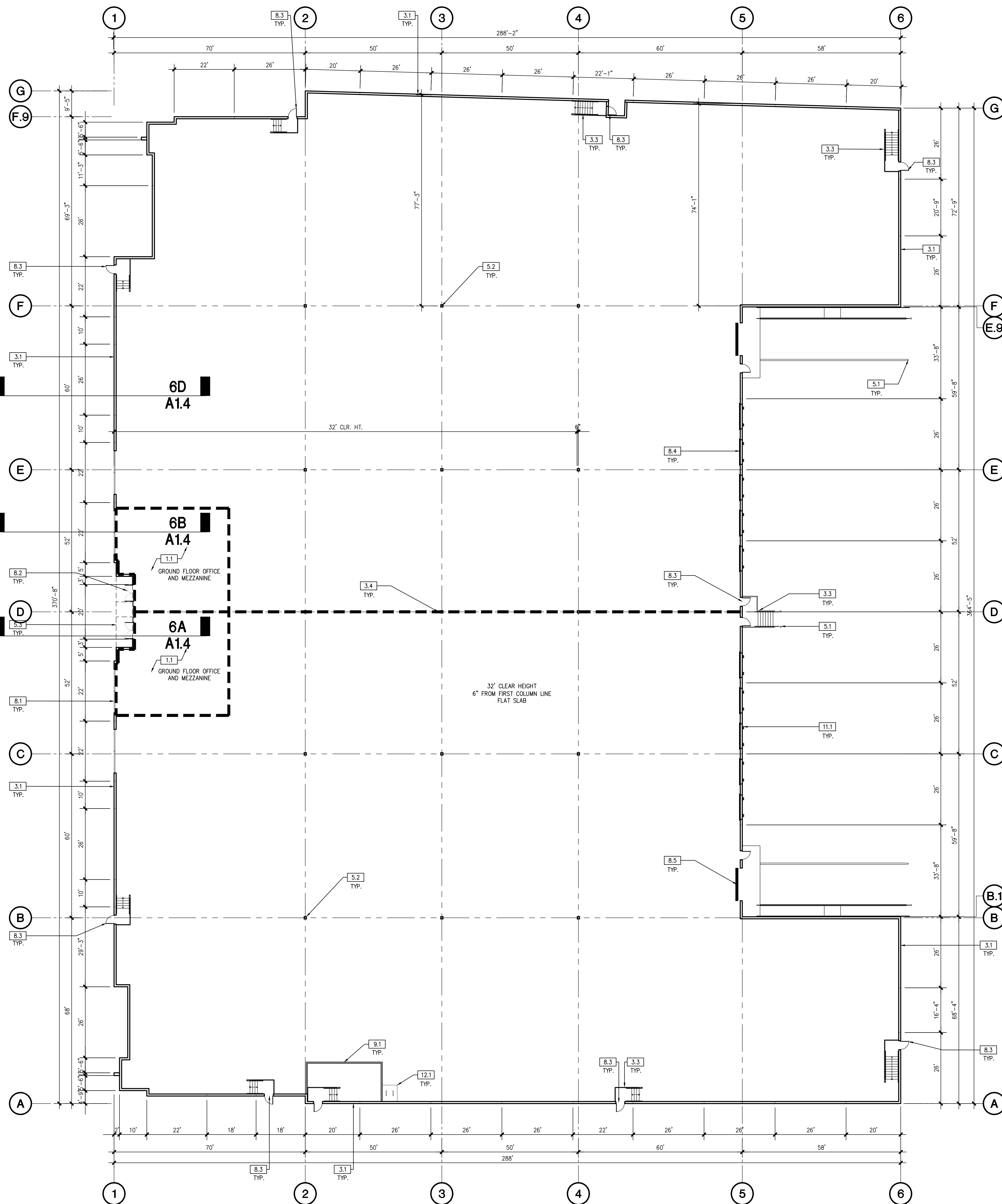
KEYPLAN - 1

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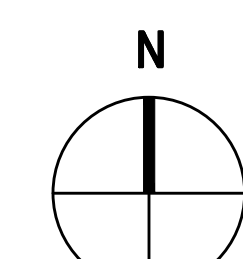
BUILDING 1 FLOOR PLAN

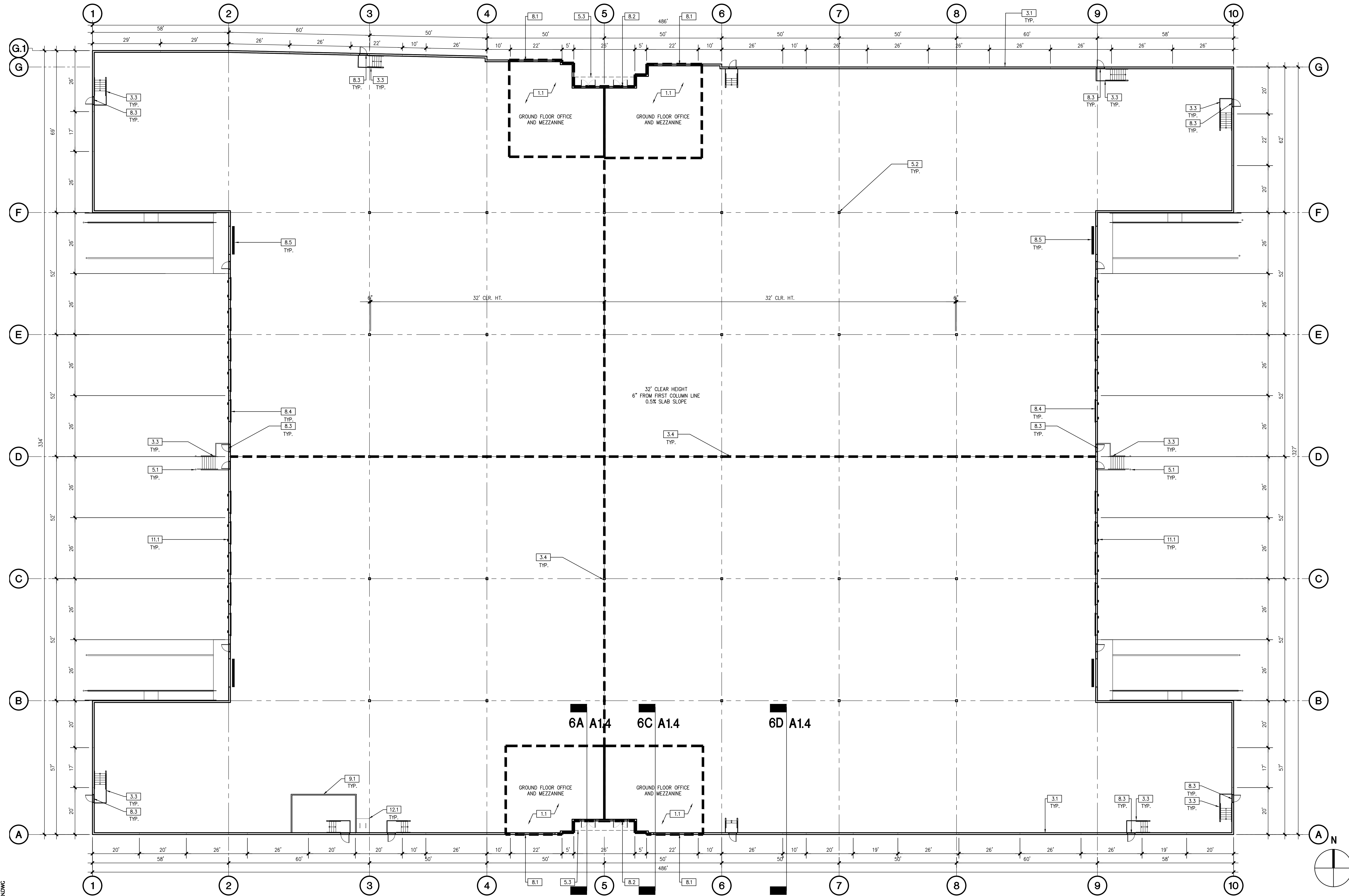
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FILE NAME:	WPT004_A2_1		



BUILDING 1 FLOOR PLAN 1/16"=1'-0" 5





BUILDING 2 FLOOR PLAN | 1/16"=1'-0" | 4

KEYNOTES

- 1.0 GENERAL
 - 1.1 PROPOSED GROUND FLOOR OFFICE
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE BUILDING WALL
 - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
 - 3.3 CONCRETE STAIR W/ HANDRAIL
 - 3.4 PERMANENT DEMISING WALL
- 5.0 METALS
 - 5.1 CONCRETE-FILLED STEEL PIPE PROTECTION BOLLARD, PAINTED, TYPICAL
 - 5.2 STRUCT. STEEL COLUMN, TYPICAL - SHOP PRIMED (FIELD PAINTED)
 - 5.3 METAL CANOPY ABOVE
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR
 - 8.3 HOLLOW METAL MAN DOOR, PAINTED
 - 8.4 9"W x 10'H OVERHEAD SECTIONAL DOOR, PAINTED
 - 8.5 12"W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 9.0 FINISHES
 - 9.1 INTERIOR PARTITION TYP.
- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MANUFACTURER & STRUCTURAL DRAWINGS

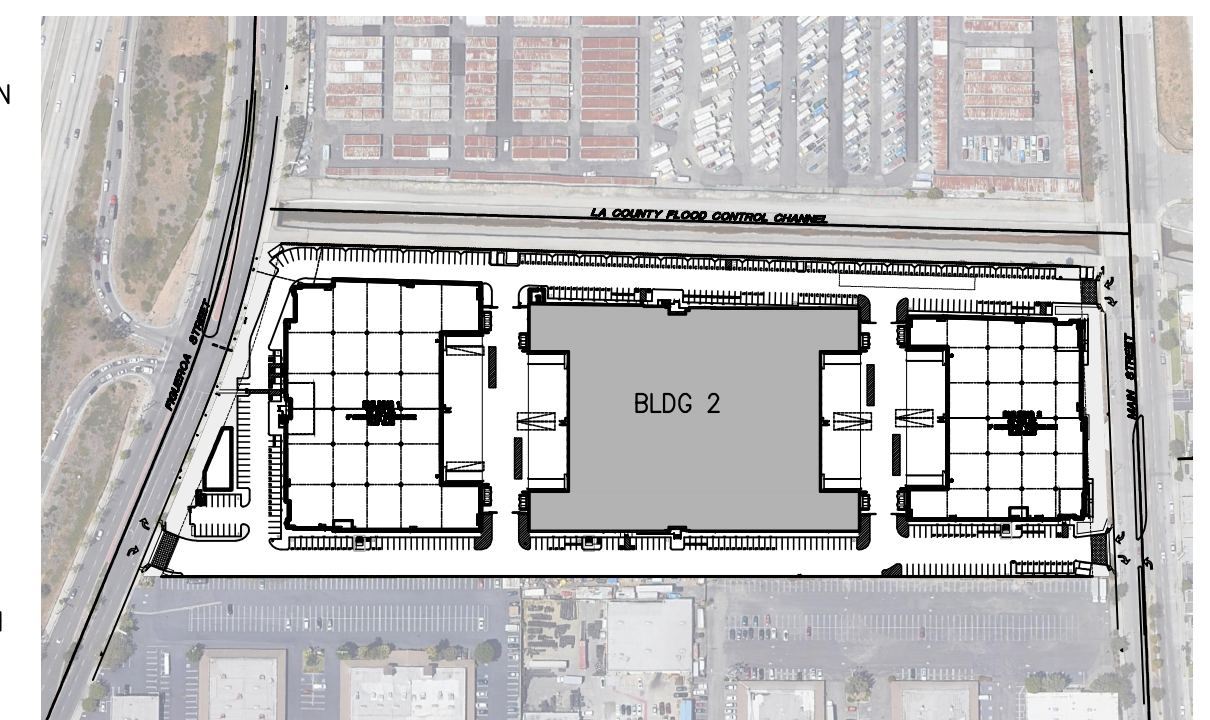
GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYOR SYSTEMS.
2. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF FINISHED WALL (U.N.O.).
3. WAREHOUSE INTERIOR WALLS TO BE PAINTED WHITE; COLUMNS TO BE PRIMED.
4. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "SD" DRAWINGS FOR POUR STRIP LOCATION.
5. STEEL GIRDERS, TRUSSES AND LEDGERS SHALL BE PRIMED LIGHT GRAY.
6. PROVIDE SIGN ON INSIDE OF EXTERIOR DOORS STATING "EXIT CONTAINS A STAIR" AT ALL REQUIRED AND NON-REQUIRED EXITS THAT ARE NOT ACCESSIBLE BY A RAMP. EXIST ONLY DOORS WHICH ARE NOT ACCESSIBLE TO THE DISABLED SHALL NOT HAVE ENTRY HARDWARE.
7. PROVIDE A "NO SMOKING WITHIN 25 FEET OF BUILDING" SIGN AT BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS (EXCEPT EMERGENCY EXIT ONLY AND ELECTRICAL/UTILITY ROOMS).
8. ADEQUATE NUMBER OF PLUMBING FIXTURES SHALL BE PROVIDED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE TABLE 422.1 PRIOR TO CERTIFICATE OF OCCUPANCY OF THE BUILDING OR THE RESPECTIVE TENANT SPACE.

9. BUILDING SIGNAGE UNDER SEPARATE PERMIT.
10. FIRE EXTINGUISHERS SHALL BE PROVIDED PER 2013 OFC.
11. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
12. REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN WHERE OCCURS.
13. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
14. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED W/ SECONDARY POWER SOURCE.
15. ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1-FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.
16. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM FOR THE FOLLOWING AREAS:
 - A. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS
 - B. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
17. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1-FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1-FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.



OFFICE RENDERING | 3



KEYPLAN | 1

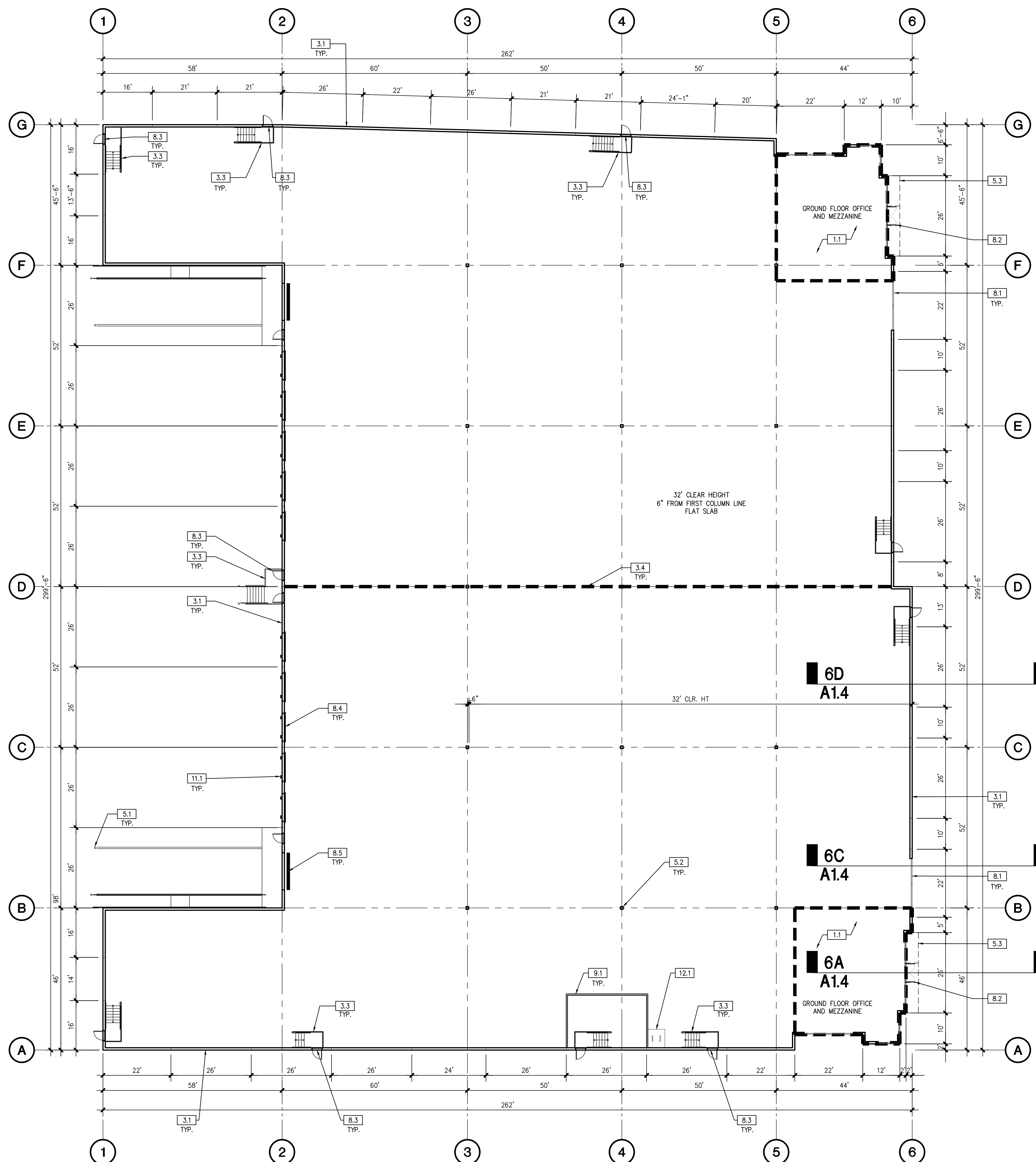
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BUILDING 2 FLOOR PLAN

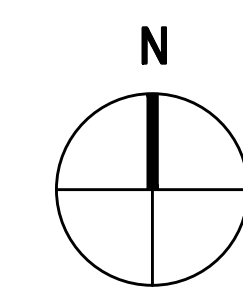
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P:\WP\PROJECTS\WPT004\WPT004_A2_BLDG_2 FLOOR PLAN.DWG
PLOT DATE: 3/8/24



NO.	DESCRIPTION	DATE
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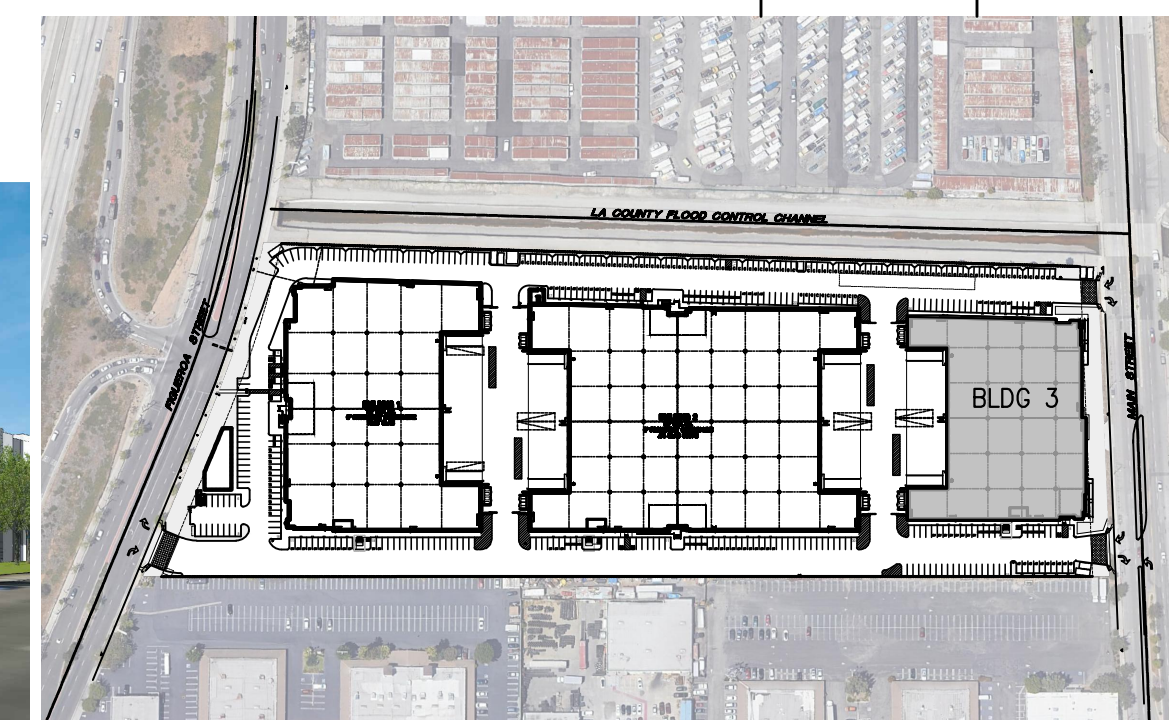
BUILDING 3 FLOOR PLAN 1/16"=1'-0" 4

KEYNOTES

- 1.0 GENERAL
 - 1.1 PROPOSED GROUND FLOOR OFFICE
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE BUILDING WALL
 - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
 - 3.3 CONCRETE STAIR W/ HANDRAIL
 - 3.4 PERMANENT DEMISING WALL
- 5.0 METALS
 - 5.1 CONCRETE-FILLED STEEL PIPE PROTECTION BOLLARD, PAINTED, TYPICAL
 - 5.2 STRUCT. STEEL COLUMN, TYPICAL - SHOP PRIMED (FIELD PAINTED)
 - 5.3 METAL CANOPY ABOVE
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR
 - 8.3 HOLLOW METAL MAIN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED

- 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
 - 9.0 FINISHES
 - 9.1 INTERIOR PARTITION TYP.
 - 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MANUFACTURER & STRUCTURAL DRAWINGS
 - 12.0 FURNISHINGS
 - 12.1 BICYCLE RACK PER CAL GREEN LONG-TERM REQUIREMENTS
- GENERAL NOTES**
1. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYOR SYSTEMS.
 2. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF FINISHED WALL (U.N.D.).
 3. WAREHOUSE INTERIOR WALLS TO BE PAINTED WHITE; COLUMNS TO BE PRIMED.

4. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
5. STEEL ORDERS, TRUSSES AND LEDGERS SHALL BE PRIMED LIGHT GRAY.
6. PROVIDE SIGN ON INSIDE OF EXTERIOR DOORS STATING "EXIT CONTAINS A STAIR" AT ALL REQUIRED AND NON-REQUIRED EXITS THAT ARE NOT ACCESSIBLE BY A RAMP. EXIT ONLY DOORS WHICH ARE NOT ACCESSIBLE TO THE DISABLED SHALL NOT HAVE ENTRY HARDWARE.
7. PROVIDE A "NO SMOKING WITHIN 25 FEET OF BUILDING" SIGN AT BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS (EXCEPT EMERGENCY EXIT ONLY AND ELECTRICAL/UTILITY ROOMS).
8. ADEQUATE NUMBER OF PLUMBING FIXTURES SHALL BE PROVIDED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE TABLE 422.1 PRIOR TO CERTIFICATE OF OCCUPANCY OF THE BUILDING OR THE RESPECTIVE TENANT SPACE.
9. BUILDING SIGNAGE UNDER SEPARATE PERMIT.
10. FIRE EXTINGUISHERS SHALL BE PROVIDED PER 2013 CFC.
11. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
12. REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN WHERE OCCURS.
13. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
14. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED W/ SECONDARY POWER SOURCE.
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17. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1-FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1-FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

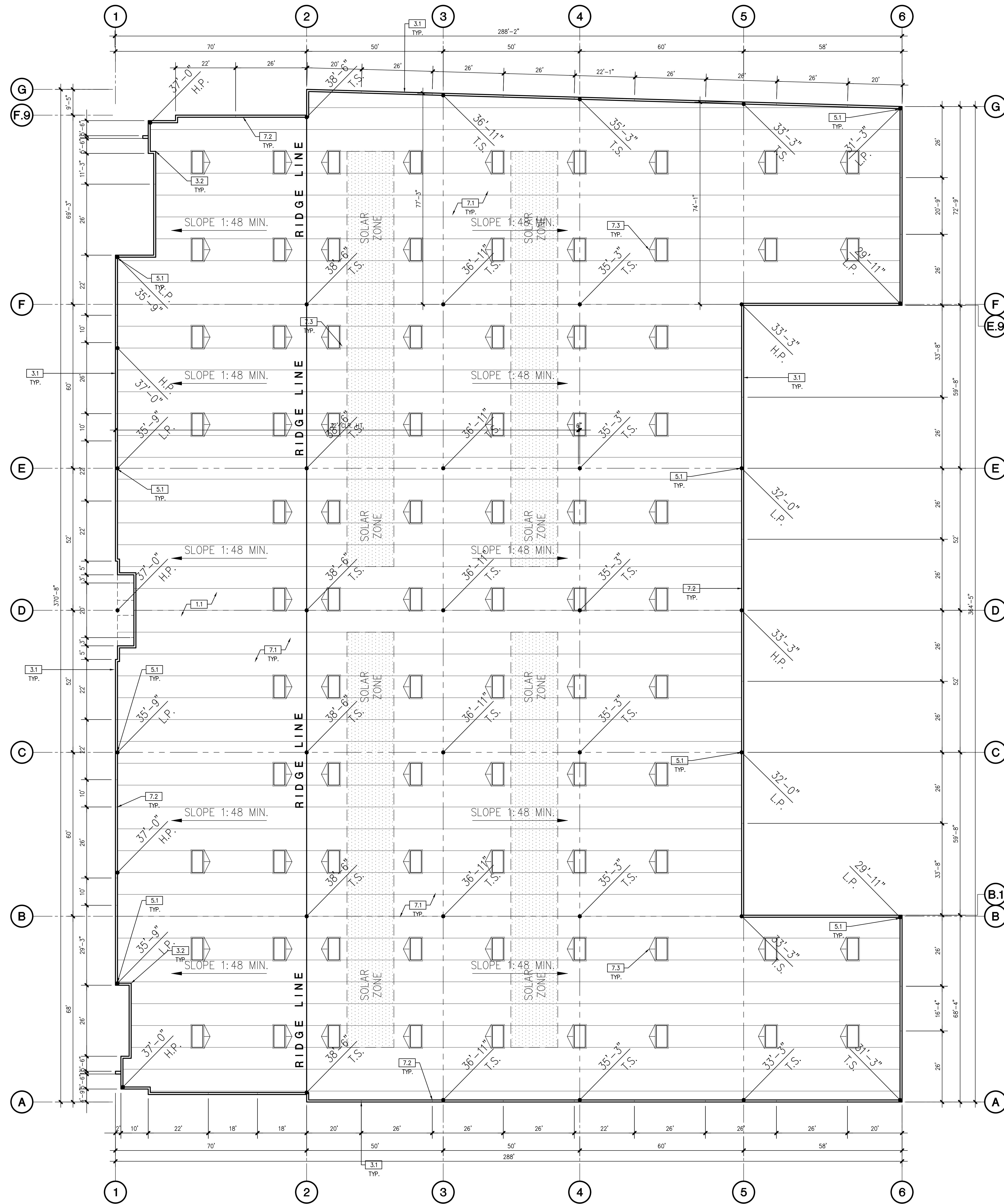


BUILDING 3 FLOOR PLAN

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DRAWN:	GAA		A2.3
FILE NAME:	WP1004_A2.3		

P:\WP1004\GEN\CONTR\A2_3_BLDG 3 FLOOR PLAN.DWG
PLOT DATE: 3/8/24



BUILDING 1 ROOF PLAN | 1/16"=1'-0" | **5**

- KEYNOTES**
- 1.0 GENERAL
 - 1.1 POSSIBLE LOCATION OF FUTURE MECHANICAL EQUIPMENT. EQUIPMENT SIZE AND LOCATION PER TENANT.
 - 1.2 NOT USED
 - 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 CONCRETE PARAPET RETURN
 - 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL
 - 7.0 THERMAL AND MOISTURE PROTECTION
 - 7.1 4 PLY MINERAL CAP SHEET FACED BUILT-UP ROOF (CLASS A, U.L. 790) OVER WOOD SHEATHING
 - 7.2 BASE FLASHING WITH 4" FIBER CANT WITH PRE-FABRICATED COUNTER FLASHING
 - 7.3 CRICKET TYP.

- LEGEND**
- BRISTOL MODEL - T4896-SSL-CM-1-HS1-MF
4'x8' LOUVERED SKYLIGHT W/ CRICKET AS REQUIRED, REFER TO 14/D3
 - ROOF DRAIN WITH OVERFLOW SCUPPER, REFER TO 2,6,12/D3
 - ROOF DRAIN AND OVERFLOW DRAIN, REFER TO 5/D3
 - EXHAUST FAN - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
 - HVAC UNIT - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
 - 30" X 36" ROOF HATCH W/ CRICKET AS REQUIRED, REFER TO 15/D3
 - DENOTES ROOF AREA DESIGNED FOR ADDITIONAL OFFICE/ HVAC EQUIPMENT LOADS. REFER TO STRUCTURAL

- GENERAL NOTES**
1. ALL PENETRATIONS, CONDUITS, PIPES, ETC. BY ALL TRADES AND DISCIPLINES SHALL CONFORM TO THE TYPICAL DETAILS.
 2. COORDINATE INSTALLATION OF ROOFING MATERIALS WITH OWNER'S ROOFING CONSULTANT IF ANY.
 3. PAINT INSIDE OF PARAPET.
 4. COORDINATE LOCATION OF SKYLIGHTS WITH ROOF JOIST SHOP DRAWINGS AND FIRE SPRINKLER SHOP DRAWINGS. NOTIFY ARCHITECT AND OWNER IF SKYLIGHTS ARE TO BE MOVED MORE THAN 24" FROM LOCATION SHOWN.
 5. THE LOCATIONS OF BEAMS, CURBS AND PLATFORMS BELOW MECHANICAL UNITS AND MECHANICAL PENETRATIONS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR.

**FIGUEROA STREET
BUSINESS PARK**

FIGUEROA STREET
CARSON, CA 90745

DEVELOPED FOR:
CARSON MAIN STREET, LLC

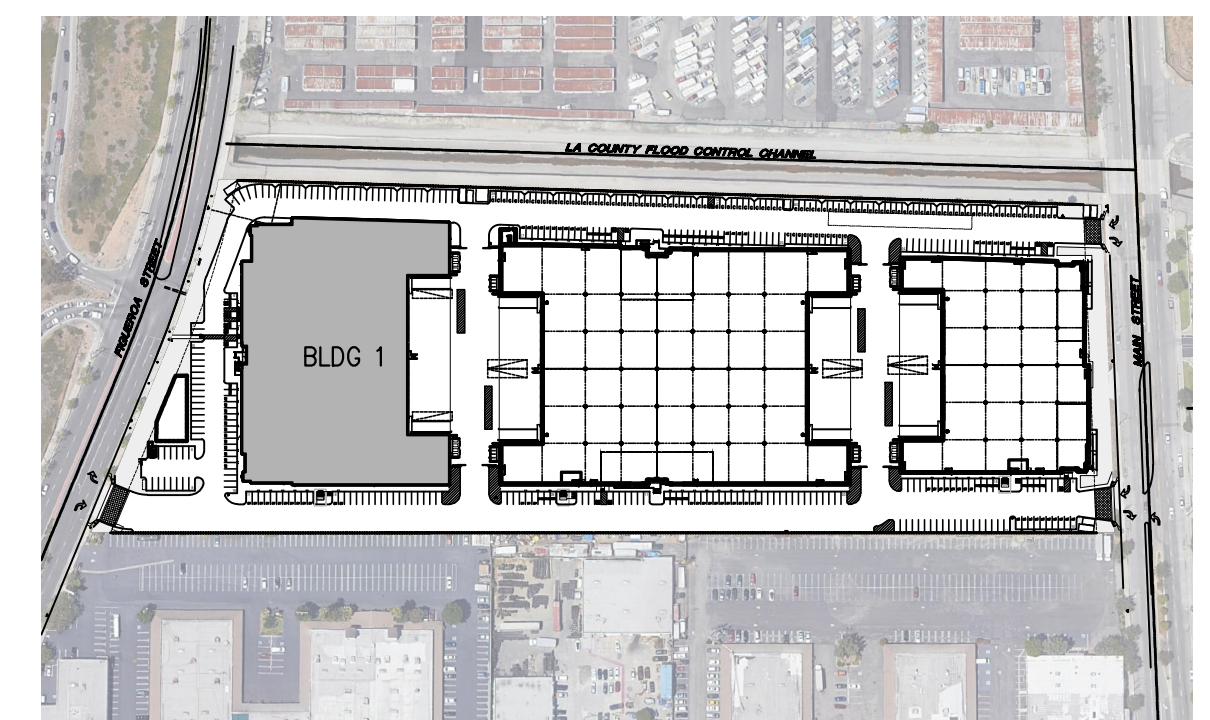
KEYNOTES | - | **4**



OFFICE RENDERING | - | **3**



OFFICE RENDERING | - | **2**



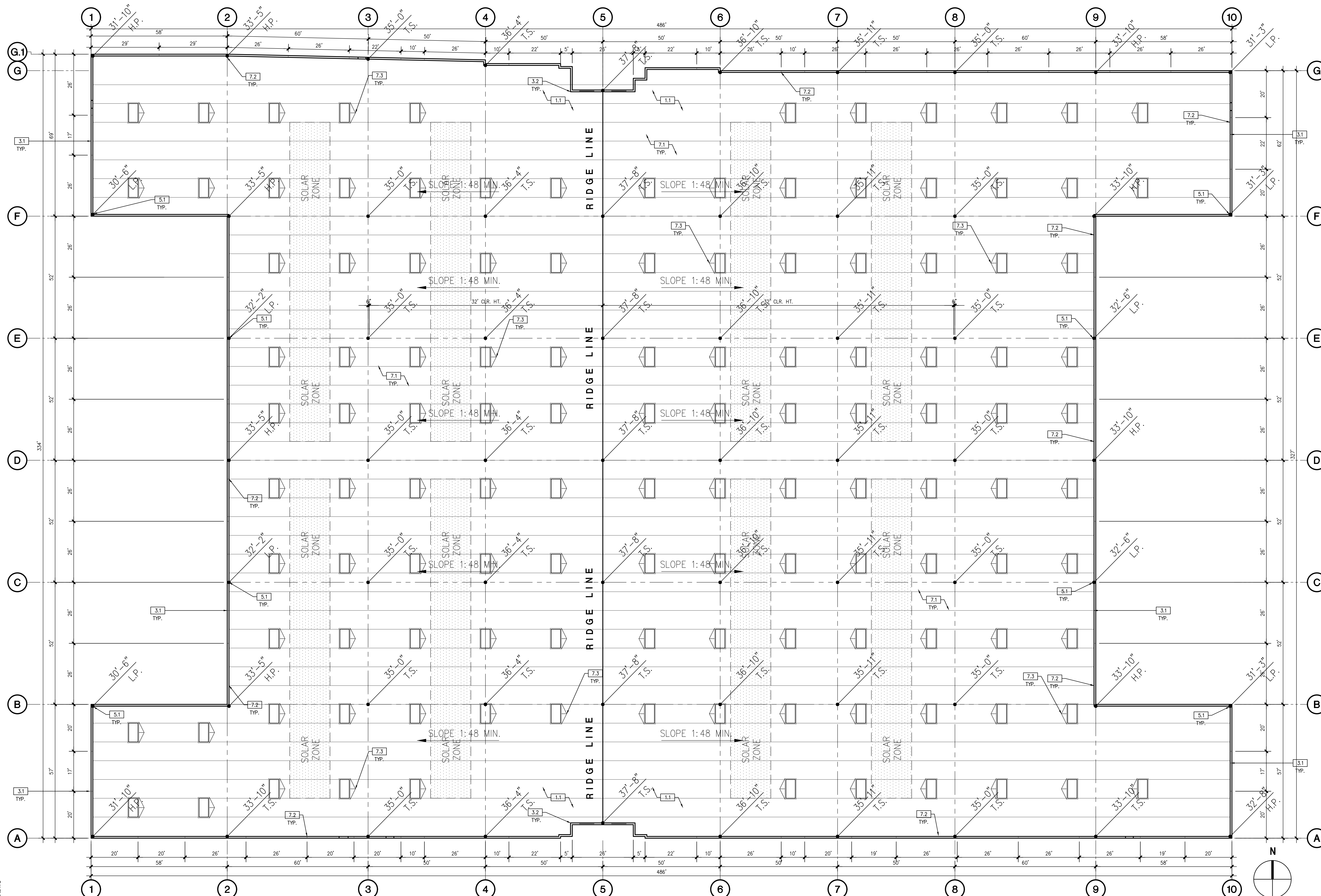
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**BUILDING 1
ROOF PLAN**

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DRAWN:	GAA		A3.1
FILE NAME:	WP7004.01A3.1		



BUILDING 2 ROOF PLAN | 1/16"=1'-0" | 5

KEYNOTES

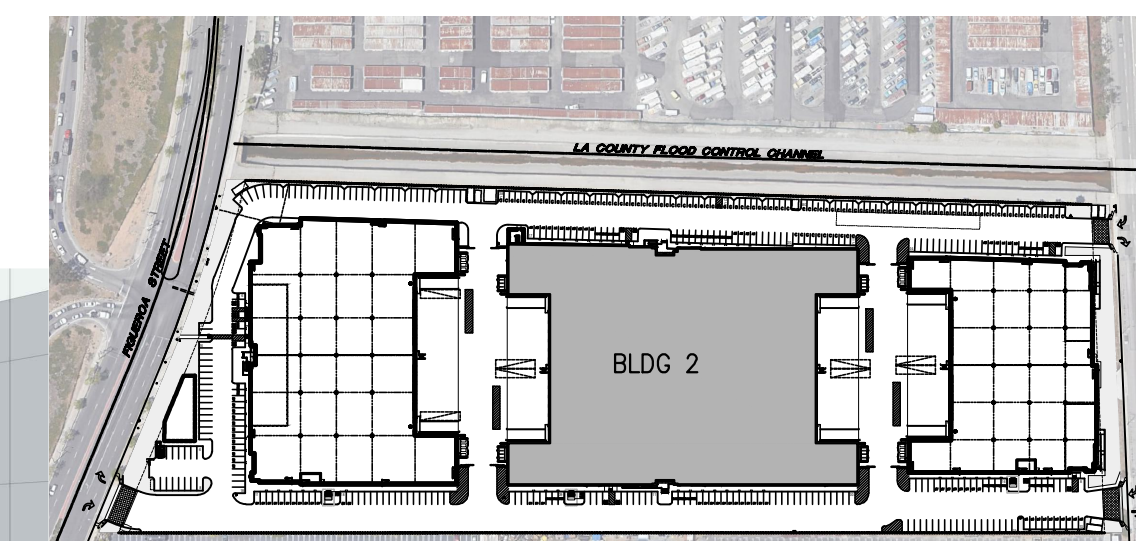
- 1.0 GENERAL
 - 1.1 POSSIBLE LOCATION OF FUTURE MECHANICAL EQUIPMENT. EQUIPMENT SIZE AND LOCATION PER TENANT.
 - 1.2 NOT USED
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 CONCRETE PARAPET RETURN
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL
- 7.0 THERMAL AND MOISTURE PROTECTION
 - 7.1 4 PLY MINERAL CAP SHEET FACED BUILT-UP ROOF (CLASS A, U.L. 790) OVER WOOD SHEATHING
 - 7.2 BASE FLASHING WITH 4" FIBER CANT WITH PRE-FABRICATED COUNTER FLASHING
 - 7.3 CRICKET TYP.

LEGEND

- BRISTOLTITE MODEL - T4896-SSL-CM-1-HSI-MF
- 4x8 LOUVERED SKYLIGHT W/ CRICKET AS REQUIRED, REFER TO 14/D3
- ROOF DRAIN WITH OVERFLOW SCUPPER, REFER TO 2,6,12/D3
- ROOF DRAIN AND OVERFLOW DRAIN, REFER TO 5/D3
- EXHAUST FAN - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
- HVAC UNIT - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
- 30" X 36" ROOF HATCH W/ CRICKET AS REQUIRED, REFER TO 15/D3
- DENOTES ROOF AREA DESIGNED FOR ADDITIONAL OFFICE/ HVAC EQUIPMENT LOADS. REFER TO STRUCTURAL

GENERAL NOTES

1. ALL PENETRATIONS, CONDUITS, PIPES, ETC. BY ALL TRADES AND DISCIPLINES SHALL CONFORM TO THE TYPICAL DETAILS.
2. COORDINATE INSTALLATION OF ROOFING MATERIALS WITH OWNER'S ROOFING CONSULTANT IF ANY.
3. PAINT INSIDE OF PARAPET.
4. COORDINATE LOCATION OF SKYLIGHTS WITH ROOF JOIST SHOP DRAWINGS AND FIRE SPRINKLER SHOP DRAWINGS. NOTIFY ARCHITECT AND OWNER IF SKYLIGHTS ARE TO BE MOVED MORE THAN 24" FROM LOCATION SHOWN.
5. THE LOCATIONS OF BEAMS, CURBS AND PLATFORMS BELOW MECHANICAL UNITS AND MECHANICAL PENETRATIONS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR.



BUILDING 2 ROOF PLAN

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DRAWN:	GAA		A3.2
FILE NAME:	WP1004.01_A3.2		

KEYNOTES

- 1.0 GENERAL
 - 1.1 POSSIBLE LOCATION OF FUTURE MECHANICAL EQUIPMENT. EQUIPMENT SIZE AND LOCATION PER TENANT.
 - 1.2 NOT USED
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 CONCRETE PARAPET RETURN
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL
- 7.0 THERMAL AND MOISTURE PROTECTION
 - 7.1 4 PLY MINERAL CAP SHEET FACED BUILT-UP ROOF (CLASS A, U.L. 790) OVER WOOD SHEATHING
 - 7.2 BASE FLASHING WITH 4" FIBER CANT WITH PRE-FABRICATED COUNTER FLASHING
 - 7.3 CRICKET TYP.

LEGEND

- BRISTOL MODEL - T4896-SSL-CM-1-HS1-MF
4'x8' LOUVERED SKYLIGHT W/ CRICKET AS REQUIRED, REFER TO 14/D3
- ROOF DRAIN WITH OVERFLOW SCUPPER, REFER TO 2.6,12/D3
- ROOF DRAIN AND OVERFLOW DRAIN, REFER TO 5/D3
- EXHAUST FAN - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
- HVAC UNIT - REFER TO MECHANICAL DRAWINGS, REFER TO 21,22/D3
- 30" X 36" ROOF HATCH W/ CRICKET AS REQUIRED, REFER TO 15/D3
- DENOTES ROOF AREA DESIGNED FOR ADDITIONAL OFFICE/ HVAC EQUIPMENT LOADS. REFER TO STRUCTURAL

GENERAL NOTES

1. ALL PENETRATIONS, CONDUITS, PIPES, ETC. BY ALL TRADES AND DISCIPLINES SHALL CONFORM TO THE TYPICAL DETAILS.
2. COORDINATE INSTALLATION OF ROOFING MATERIALS WITH OWNER'S ROOFING CONSULTANT IF ANY.
3. PAINT INSIDE OF PARAPET.
4. COORDINATE LOCATION OF SKYLIGHTS WITH ROOF JOIST SHOP DRAWINGS AND FIRE SPRINKLER SHOP DRAWINGS. NOTIFY ARCHITECT AND OWNER IF SKYLIGHTS ARE TO BE MOVED MORE THAN 24" FROM LOCATION SHOWN.
5. THE LOCATIONS OF BEAMS, CURBS AND PLATFORMS BELOW MECHANICAL UNITS AND MECHANICAL PENETRATIONS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE MECHANICAL CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR.

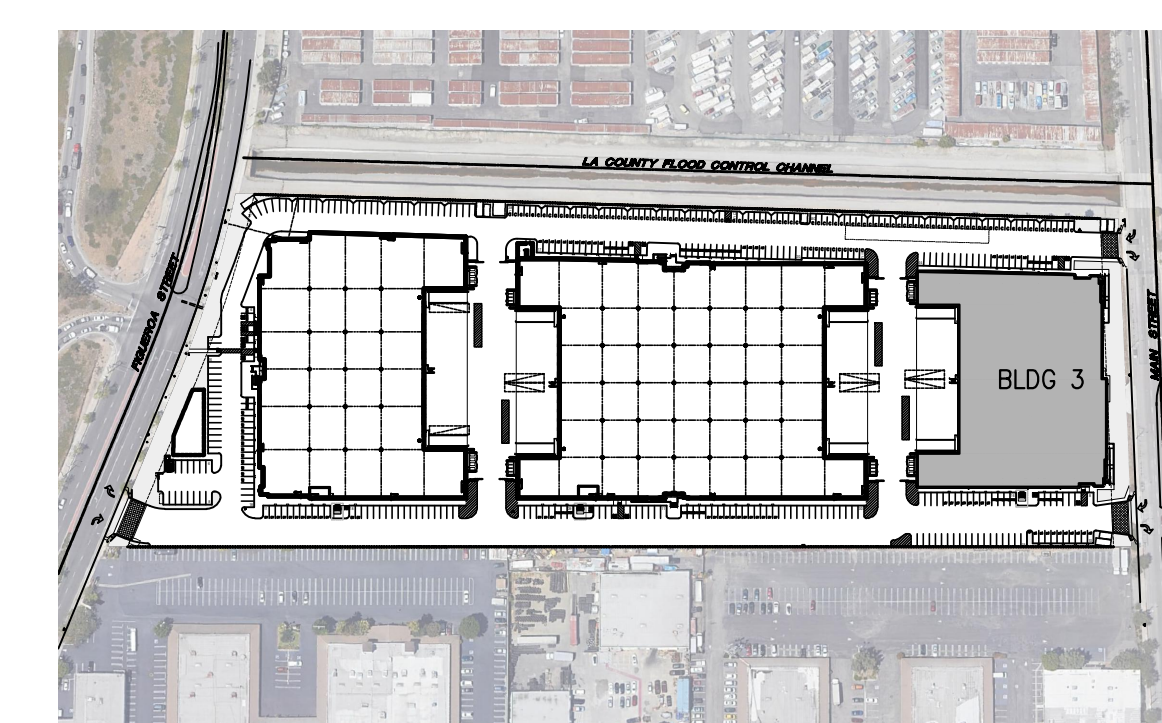
KEYNOTES - 4



OFFICE RENDERING - 3



OFFICE RENDERING - 2



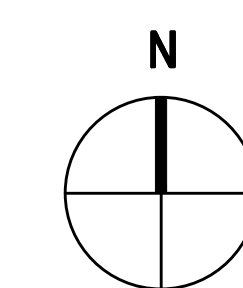
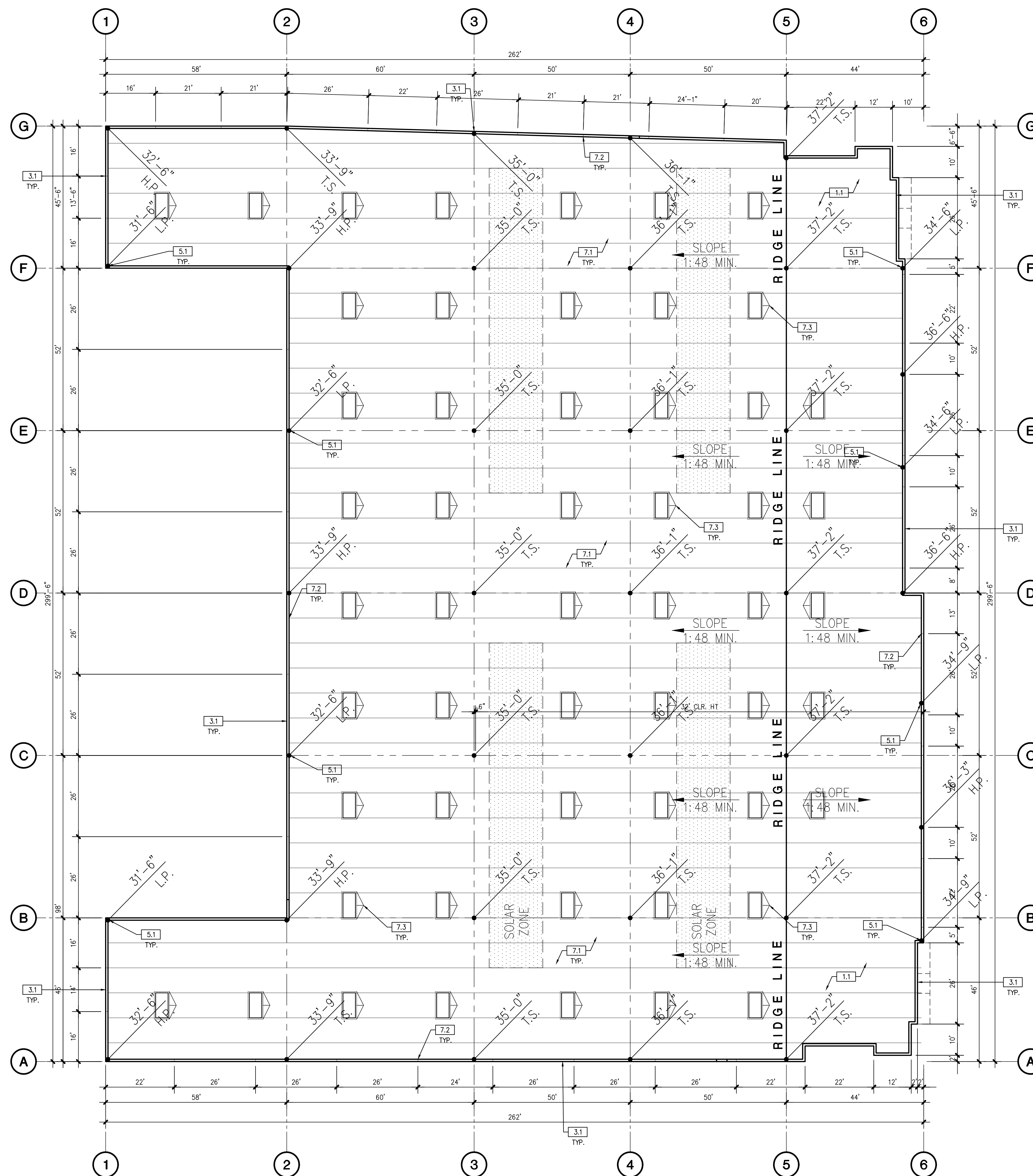
KEYPLAN - 1

NO.	DESCRIPTION	DATE
△	AGENCY PROGRESS SET	03/19/21
△	SITE PLAN & DESIGN REVIEW SUB.	03/24/21
△	SITE PLAN & DESIGN REVIEW RESUB.	05/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	08/05/21
△	SITE PLAN & DESIGN REVIEW RESUB.	10/12/21
△	SITE PLAN & DESIGN REVIEW RESUB.	02/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	09/27/22
△	SITE PLAN & DESIGN REVIEW RESUB.	11/17/22
△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

BUILDING 3 ROOF PLAN

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JOB NO.	WP1004.01	SHEET NO.	A3.3
DATE	12/20/23		
DRAWN	GAA		
FILE NAME	WP1004.01_A3_3		



BUILDING 3 ROOF PLAN 1/16"=1'-0" 5

KEYNOTES

- 1.0 GENERAL
 - 1.1 LINE OF ROOF BEYOND
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 PANEL JOINT
 - 3.3 PANEL REVEAL. REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
 - 3.4 CONCRETE STAIRS W/ HANDRAIL & 42" HIGH GUARDRAIL
 - 3.5 TILT-UP CONCRETE SCREEN WALL PANEL (PAINTED ALL SIDES)
 - 3.6 TILT-UP CONCRETE WALL PANEL W/ FORM-LINER
 - 3.7 CONCRETE WALL PANEL - K.O. PANEL
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER
 - 5.2 ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL
 - 5.3 METAL CANOPY
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR - REFER TO DOOR SCHEDULE
 - 8.3 HOLLOW METAL MAIN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED
 - 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 10.0 SPECIALTIES
 - 10.1 STREET ADDRESS - SIZE AS REQUIRED BY GOVERNING AGENCY BUT NOT LESS THAN 12"
 - 10.2 BUILDING/ TENANT SIGNAGE (N.I.C.)
- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MFR & STRUCTURAL DRAWINGS. SIZE AS NEEDED TO PREVENT TOP OF TRAILER FROM STRIKING BUILDING WALL.
- 22.0 PLUMBING
 - 22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

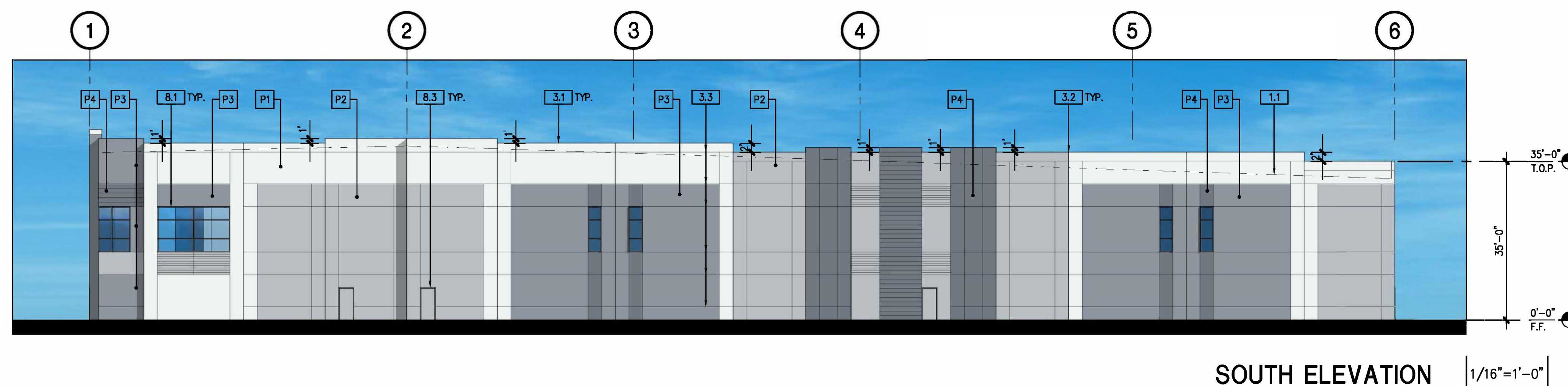
GENERAL NOTES

1. MECHANICAL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.
2. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE. REVEAL COLOR TO MATCH THE ADJACENT FIELD COLOR.
3. PROVIDE 8"-0" WIDE COLOR SAMPLE ON BUILDING, FULL HEIGHT FROM BASE TO PARAPET FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PAINTING.
4. ALL PAINT, STAIN, SANDBLAST, ETC. FINISHES AND JOINTS/REVEALS SHOWN IN ELEVATION VIEW SHALL RETURN TO THE NEAREST INSIDE CORNER OR INTO WINDOW JAMBES.
5. ALL WALL PAINT FINISHES ARE TO BE FLAT, METAL PAINT TO BE SEMI-GLOSS UNLESS NOTED OTHERWISE.
6. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
7. T.O.P. = TOP OF PARAPET ELEVATION
8. F.F. = FINISH FLOOR ELEVATION
9. MEZZ. = MEZZANINE FLOOR ELEVATION
10. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

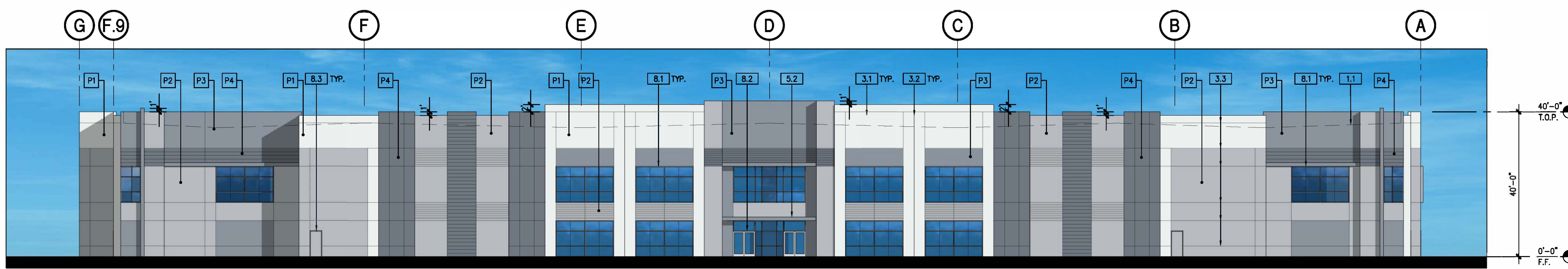
COLOR SCHEDULE / MATERIALS

- | | | |
|----|----------|--|
| G1 | GLAZING | MEDIUM PERFORMANCE BLUE |
| M1 | CANOPY | METAL CANOPY |
| M2 | MULLIONS | ALUMINUM CLEAR ANODIZED |
| P1 | PAIN 1 | SHERWIN-WILLIAMS "OLYMPUS WHITE" SW6253 |
| P2 | PAIN 2 | MAIN BUILDING COLOR - WHITE |
| P3 | PAIN 3 | SHERWIN-WILLIAMS "MORNING FOG" SW6255 |
| P4 | PAIN 4 | BASE BUILDING & BAND COLOR - MEDIUM GREY |
| | | SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256 |
| | | SHERWIN-WILLIAMS "COLLATERAL" SW6257 |
| | | ACCENT COLOR - DARK GREY |

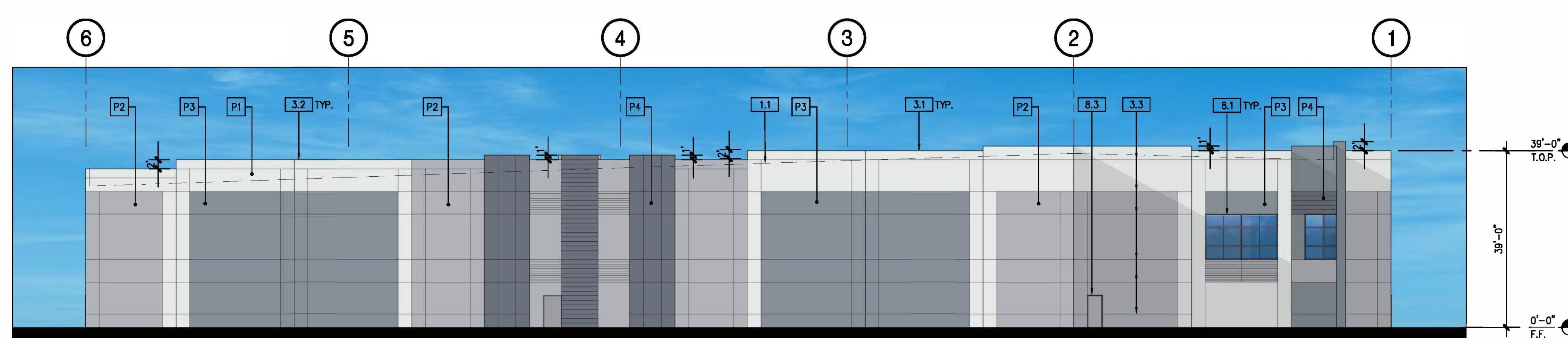
DOORS TO MATCH ADJACENT BUILDING COLOR



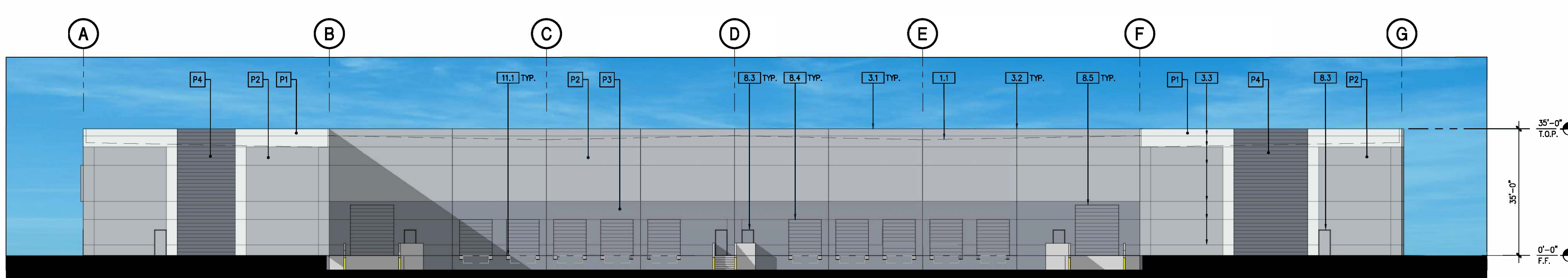
SOUTH ELEVATION | 1/16"=1'-0" | 8



WEST ELEVATION | 1/16"=1'-0" | 7



NORTH ELEVATION | 1/16"=1'-0" | 6



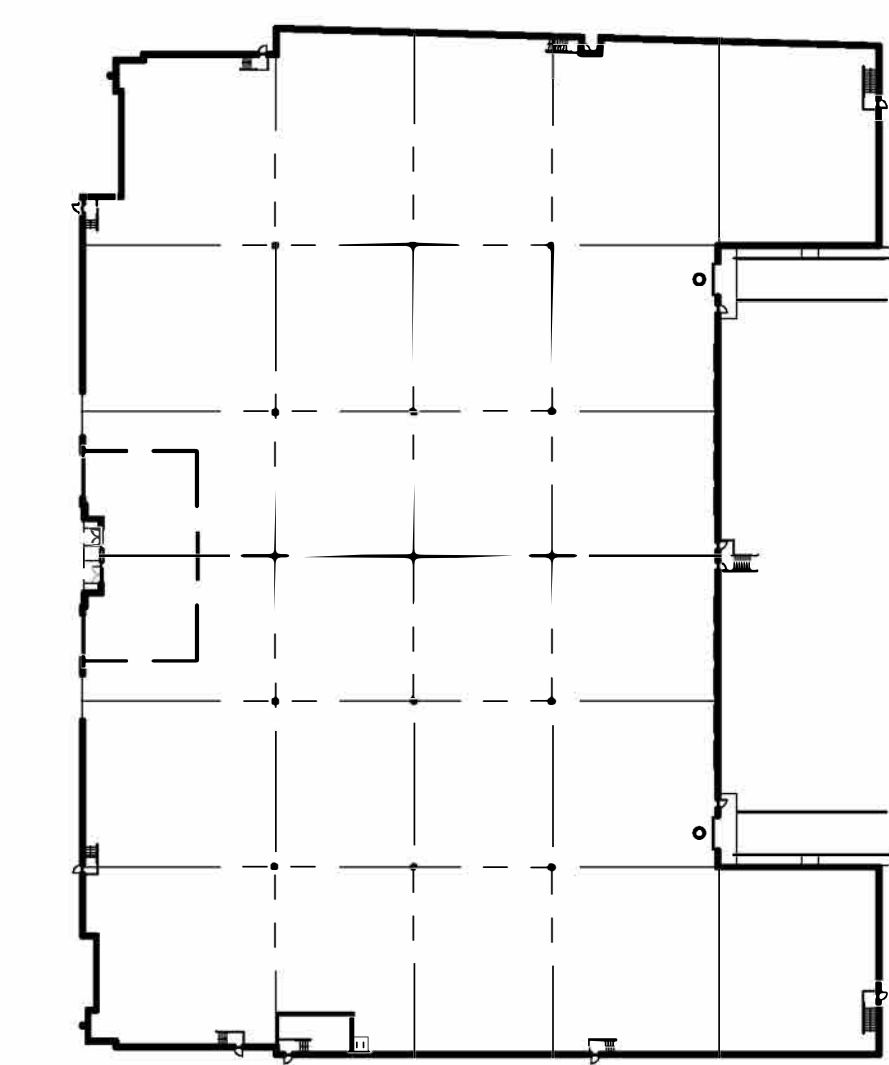
EAST ELEVATION | 1/16"=1'-0" | 5



BUILDING AERIAL | 3



ENTRY PERSPECTIVE | 2



KEYMAP | NTS | 1

NO.	DESCRIPTION	DATE
△	AGENCY PROGRESS SET	03/19/21
△	SITE PLAN & DESIGN REVIEW SUB.	03/24/21
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△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

BUILDING 1 ELEVATIONS

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DATE	12/20/23		
DRAWN	GAA		A4.1
FILE NAME	WP1004_A4.1		



SOUTH ELEVATION | 1/16"=1'-0" | 4



WEST ELEVATION | 1/16"=1'-0" | 3



NORTH ELEVATION | 1/16"=1'-0" | 2



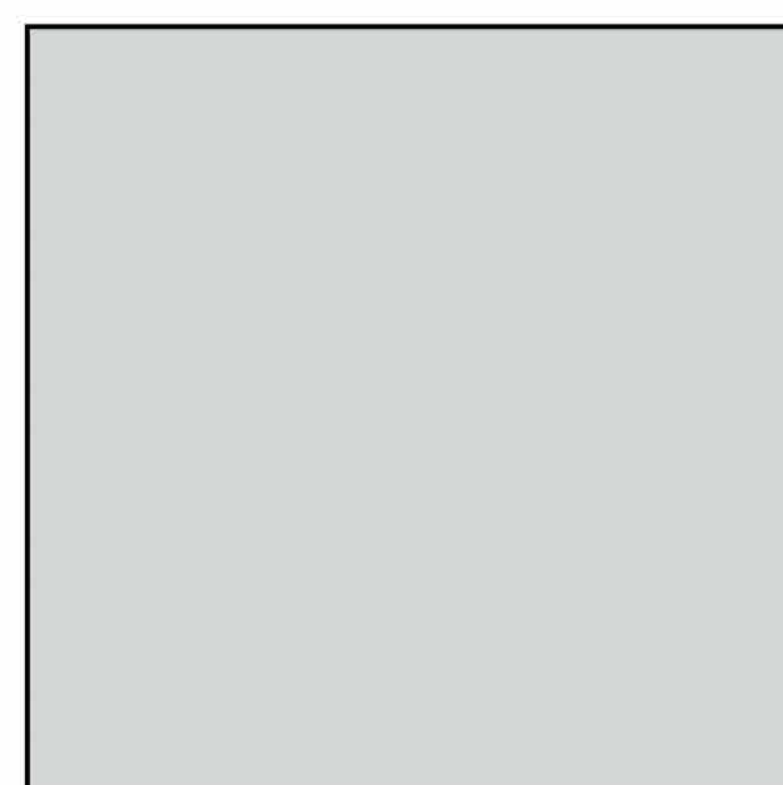
EAST ELEVATION | 1/16"=1'-0" | 1

FIGUEROA STREET
BUSINESS PARK
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

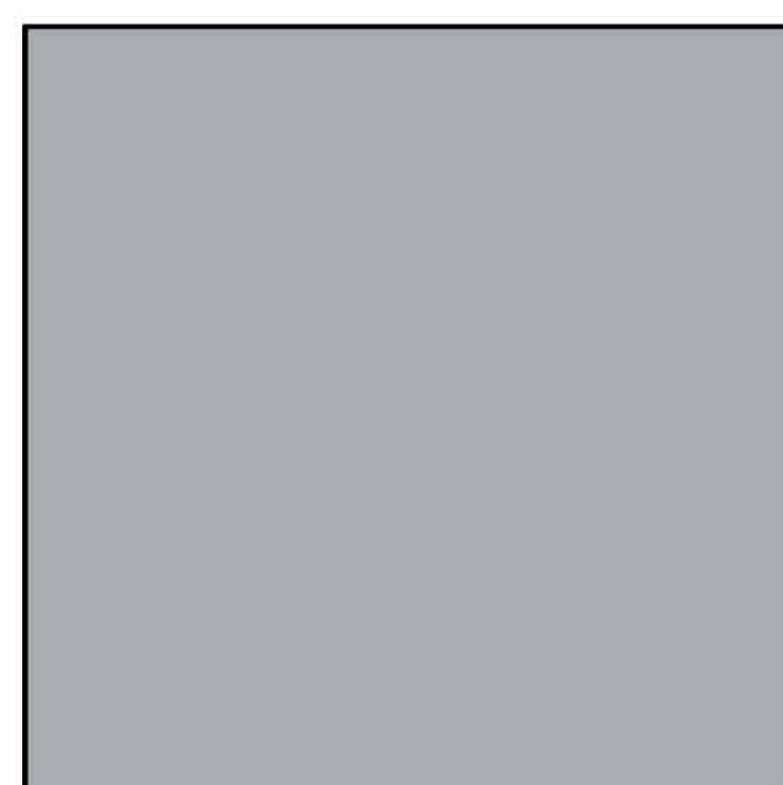
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△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

COLOR SCHEDULE / MATERIALS

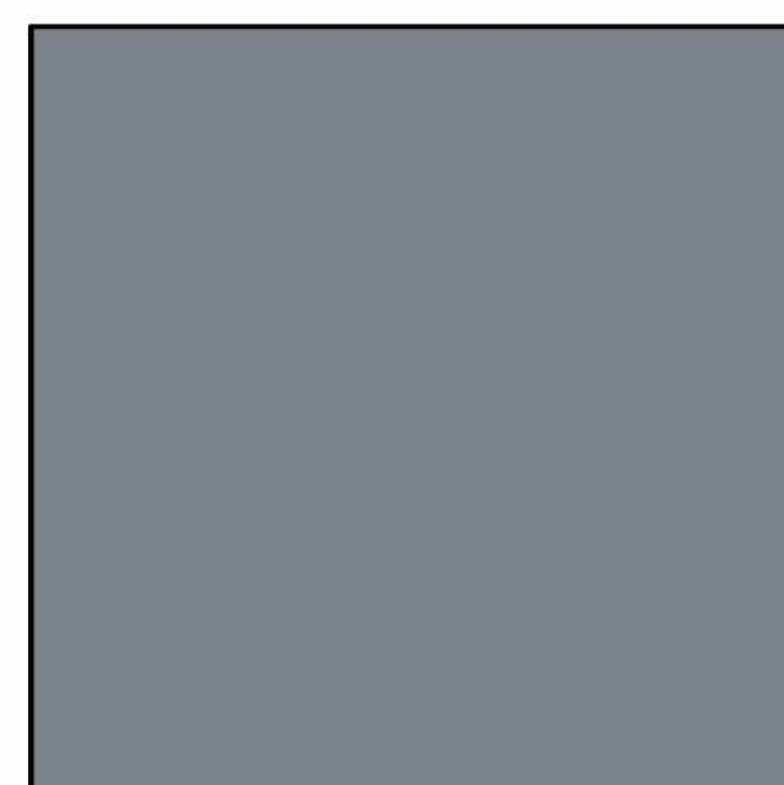
- G1 GLAZING MEDIUM PERFORMANCE
 - BLUE
 - M1 CANOPY METAL CANOPY
 - M2 MULLIONS ALUMINUM CLEAR ANODIZED
 - P1 PAINT 1 SHERWIN-WILLIAMS "OLYMPUS WHITE" SW6253
MAIN BUILDING COLOR - WHITE
 - P2 PAINT 2 SHERWIN-WILLIAMS "MORNING FOG" SW6255
MAIN BUILDING & BAND COLOR - MEDIUM GREY
 - P3 PAINT 3 SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256
BASE BUILDING & BAND COLOR - DARK GREY
 - P4 PAINT 4 SHERWIN-WILLIAMS "OLIBRALTAR" SW6237
ACCENT COLOR - DARK GREY
- DOORS TO MATCH ADJACENT BUILDING COLOR



P1 PAINT - SEE MATERIALS SCHEDULE



P2 PAINT - SEE MATERIALS SCHEDULE



P3 PAINT - SEE MATERIALS SCHEDULE

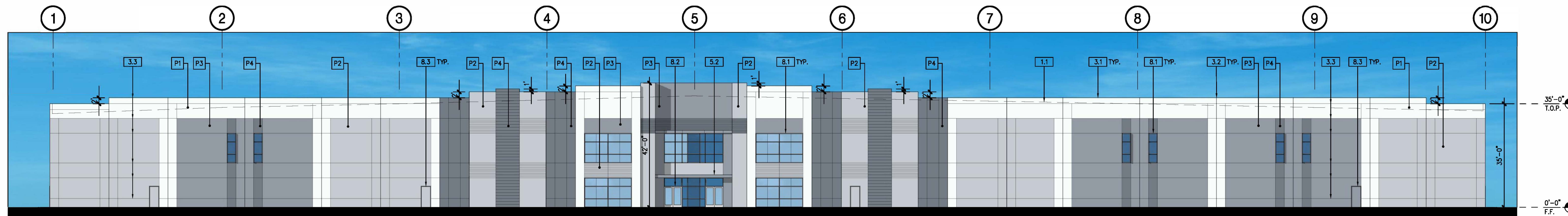


P4 PAINT - SEE MATERIALS SCHEDULE

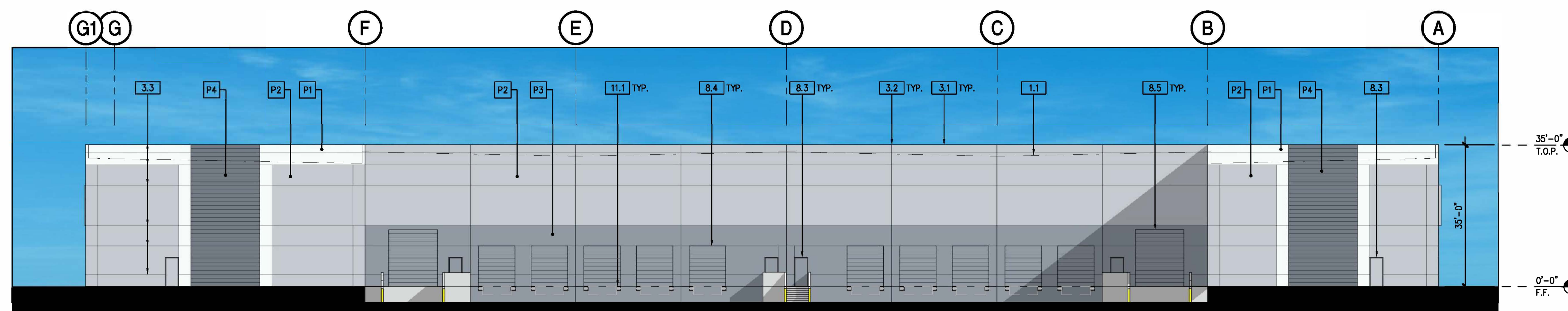
**BUILDING 1
COLORED ELEVATIONS**

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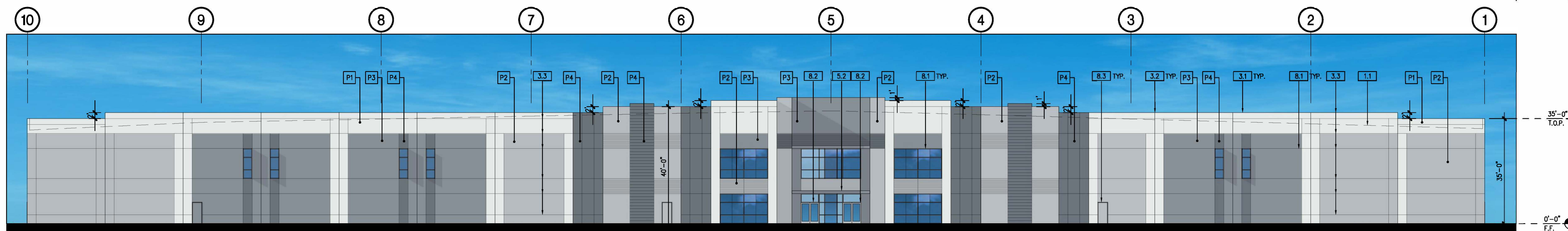
JOB NO:	WPT004-01	SHEET NO:	
DATE:	12/20/23		
DRAWN:	GAA		A4.1C
FILE NAME:	WPT004_4.1C		



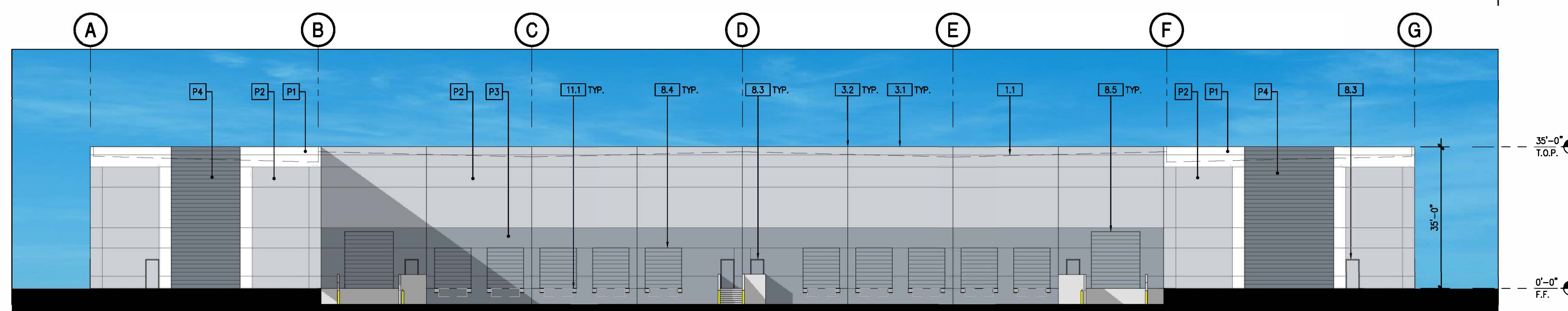
SOUTH ELEVATION | 1/16"=1'-0" | 7



WEST ELEVATION | 1/16"=1'-0" | 6



NORTH ELEVATION | 1/16"=1'-0" | 5



EAST ELEVATION | 1/16"=1'-0" | 4

KEYNOTES

- 1.0 GENERAL
 - 1.1 LINE OF ROOF BEYOND
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 PANEL JOINT
 - 3.3 PANEL REVEAL. REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
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 - 3.7 CONCRETE WALL PANEL - K.O. PANEL
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 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL.
 - 5.2 METAL CANOPY
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR - REFER TO DOOR SCHEDULE
 - 8.3 HOLLOW METAL MAIN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOOR, PAINTED
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- 10.0 SPECIALTIES
 - 10.1 STREET ADDRESS - SIZE AS REQUIRED BY GOVERNING AGENCY BUT NOT LESS THAN 12"
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- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MFR & STRUCTURAL DRAWINGS. SIZE AS NEEDED TO PREVENT TOP OF TRAILER FROM STRIKING BUILDING WALL.

- 22.0 PLUMBING
 - 22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

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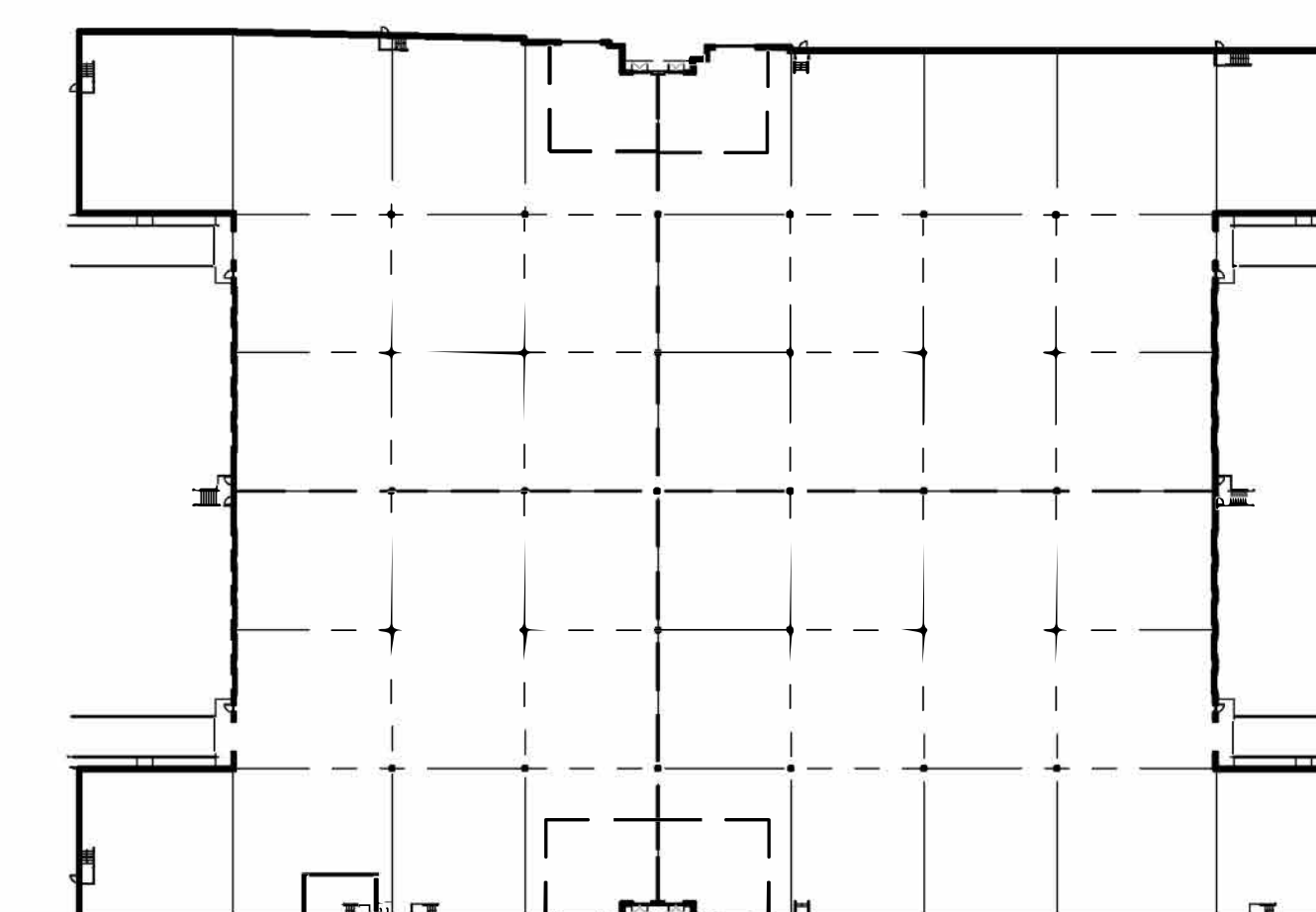
COLOR SCHEDULE / MATERIALS

- G1 GLAZING MEDIUM PERFORMANCE

- G1 GLAZING MEDIUM PERFORMANCE
 - M1 CANOPY BLUE METAL CANOPY
 - M2 MULLIONS ALUMINUM CLEAR ANODIZED
 - P1 PAINT 1 SHERWIN-WILLIAMS "OLYMPUS WHITE" SW6253 MAIN BUILDING COLOR - WHITE
 - P2 PAINT 2 SHERWIN-WILLIAMS "MORNING FOG" SW6255 MAIN BUILDING & BAND COLOR - MEDIUM GREY
 - P3 PAINT 3 SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256 BASE BUILDING & BAND COLOR - DARK GREY
 - P4 PAINT 4 SHERWIN-WILLIAMS "OLIBRIALTA" SW6257 ACCENT COLOR - DARK GREY
- DOORS TO MATCH ADJACENT BUILDING COLOR



OFFICE RENDERING | 3



KEYMAP | NTS | 1

**FIGUEROA STREET
BUSINESS PARK**
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

NO.	DESCRIPTION	DATE
△	AGENCY PROGRESS SET	03/19/21
△	SITE PLAN & DESIGN REVIEW SUB.	03/24/21
△	SITE PLAN & DESIGN REVIEW RESUB.	05/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	08/05/21
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△	SITE PLAN & DESIGN REVIEW RESUB.	11/17/22
△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23

**BUILDING 2
ELEVATIONS**

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JOB NO.	WPT004.01	SHEET NO.
DATE	12/20/23	A4.2
DRAWN	GAA	
FILE NAME	WPT004_A4.2	



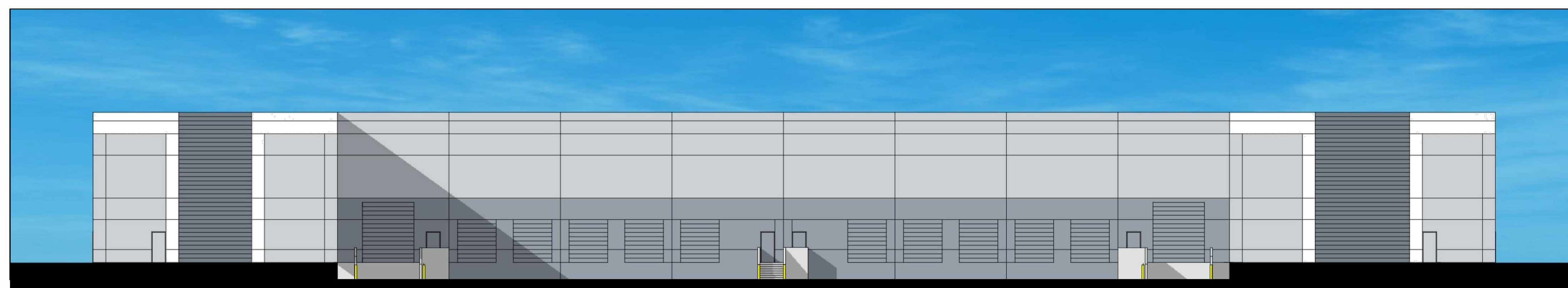
SOUTH ELEVATION | 1/16"=1'-0" | 4



WEST ELEVATION | 1/16"=1'-0" | 3



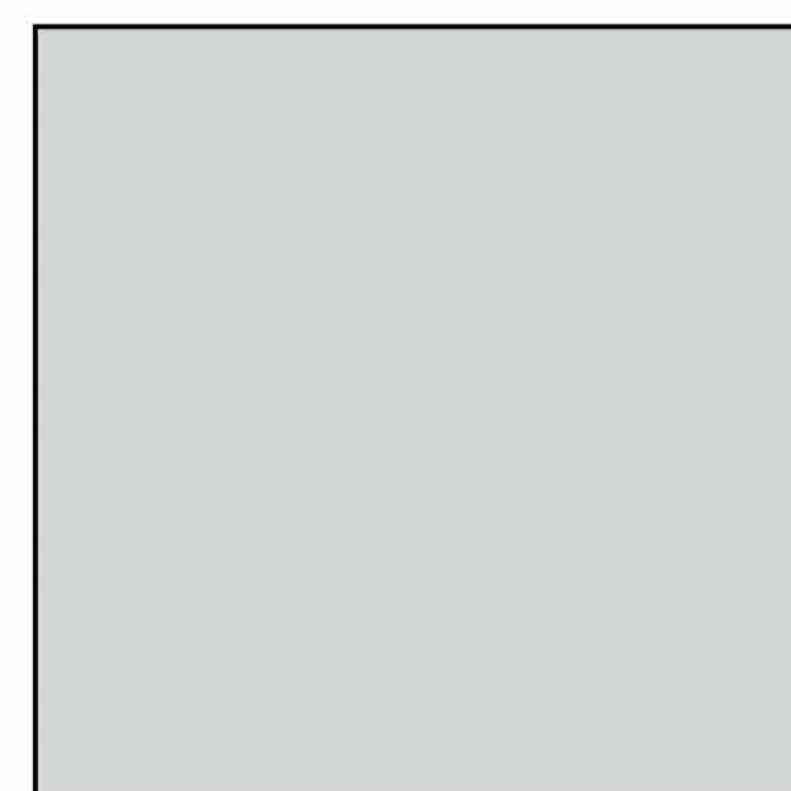
NORTH ELEVATION | 1/16"=1'-0" | 2



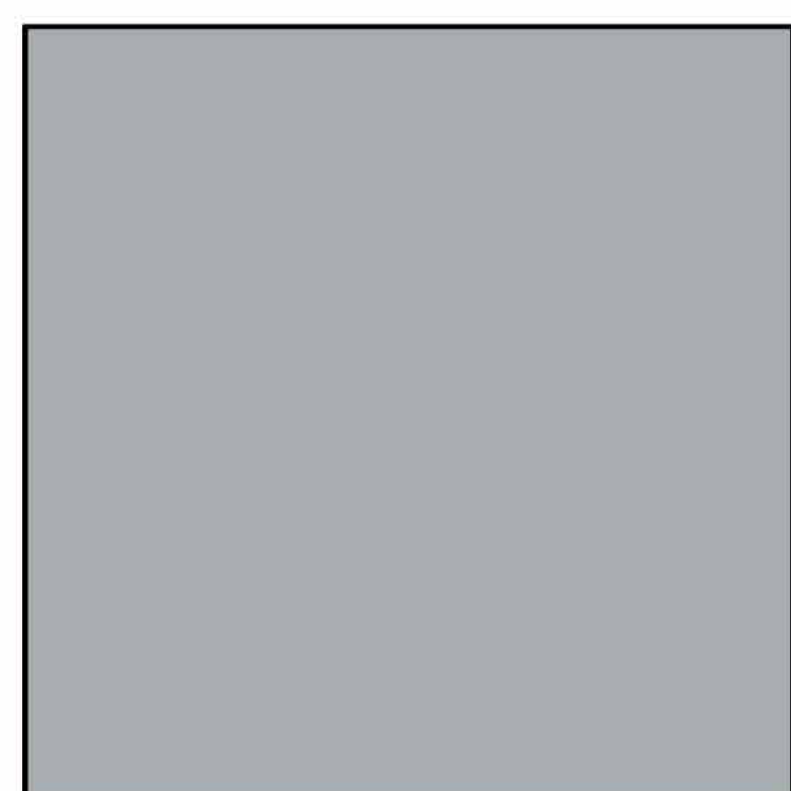
EAST ELEVATION | 1/16"=1'-0" | 1

**FIGUEROA STREET
BUSINESS PARK**
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

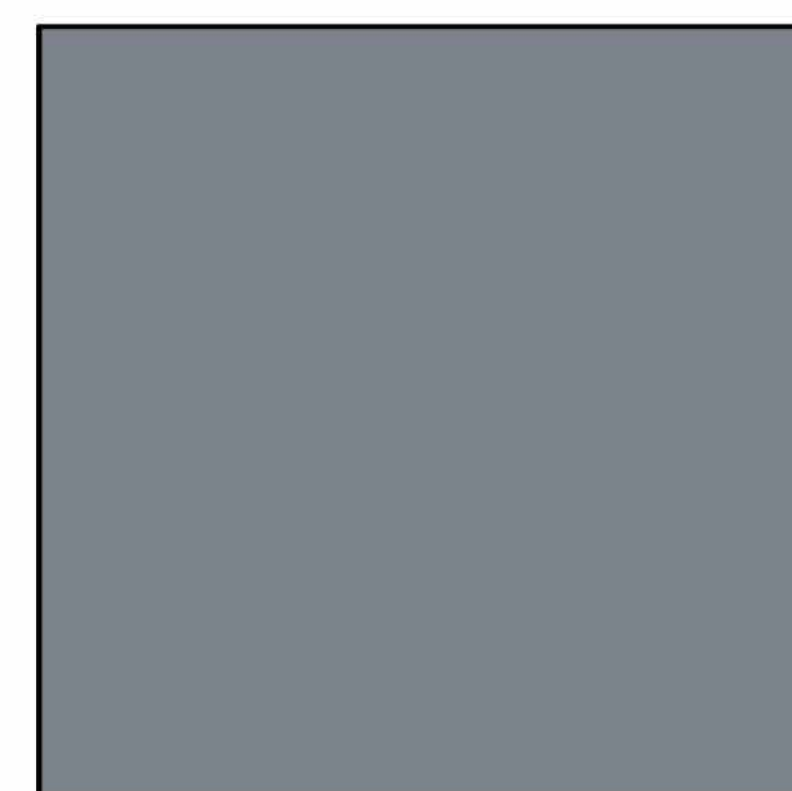
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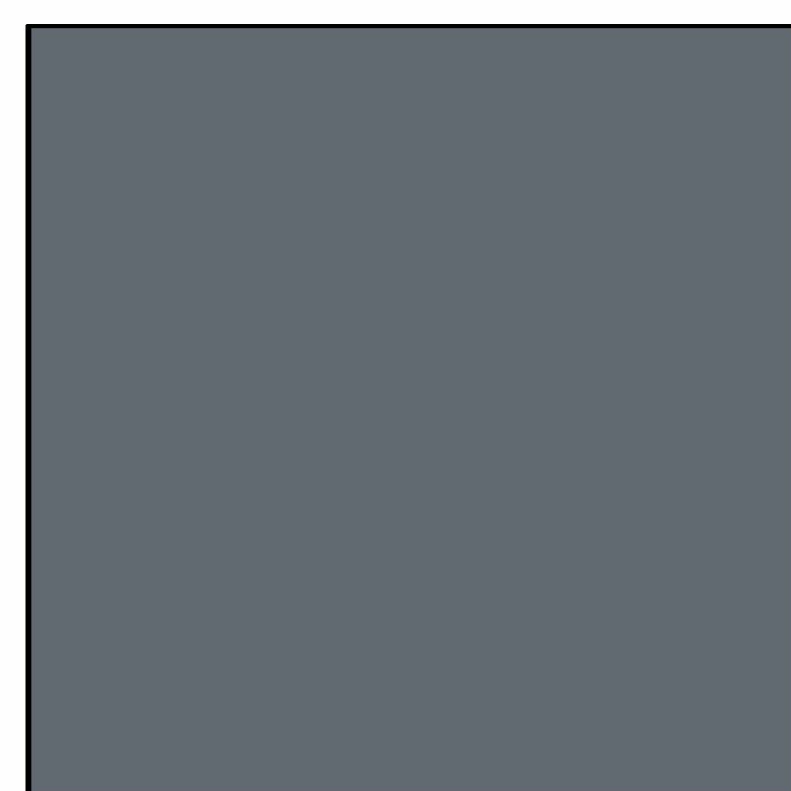
P1 PAINT - SEE MATERIALS SCHEDULE



P2 PAINT - SEE MATERIALS SCHEDULE



P3 PAINT - SEE MATERIALS SCHEDULE



P4 PAINT - SEE MATERIALS SCHEDULE

COLOR SCHEDULE / MATERIALS

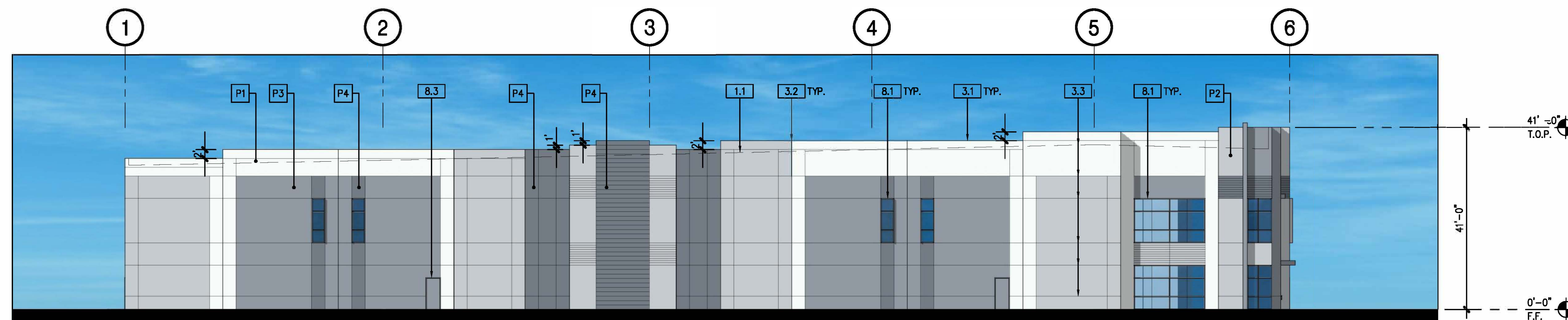
- G1 GLAZING MEDIUM PERFORMANCE
- BLUE
- M1 CANOPY METAL CANOPY
- M2 MULLIONS ALUMINUM CLEAR ANODIZED
- P1 PAINT 1 SHERWIN-WILLIAMS "OLYMPUS WHITE" SW6253
- MAIN BUILDING COLOR - WHITE
- P2 PAINT 2 SHERWIN-WILLIAMS "MORNING FOG" SW6255
- MAIN BUILDING & BAND COLOR - MEDIUM GREY
- P3 PAINT 3 SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256
- BASE BUILDING & BAND COLOR - DARK GREY
- P4 PAINT 4 SHERWIN-WILLIAMS "OCEANIC" SW6237
- ACCENT COLOR - DARK GREY

DOORS TO MATCH ADJACENT BUILDING COLOR

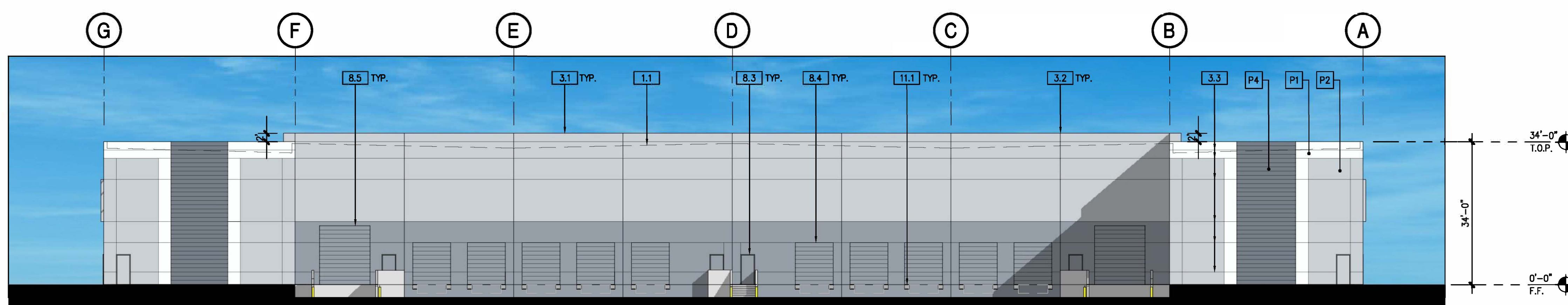
**BUILDING 2
COLORED ELEVATIONS**

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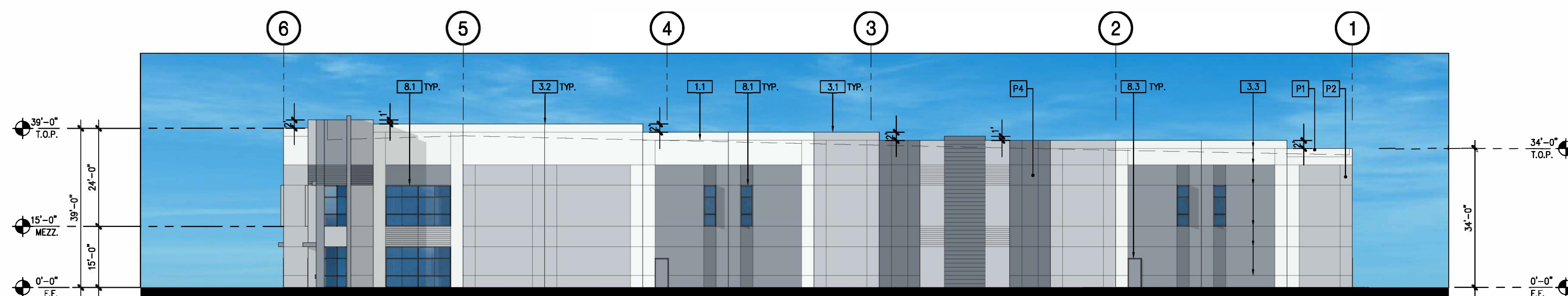
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DATE:	12/20/23		
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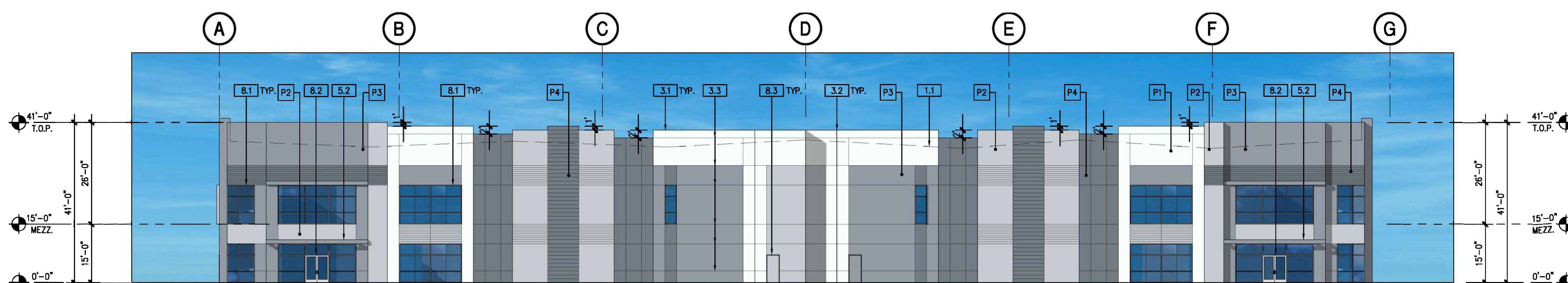
SOUTH ELEVATION | 1/16"=1'-0" | 8



WEST ELEVATION | 1/16"=1'-0" | 7



NORTH ELEVATION | 1/16"=1'-0" | 6



EAST ELEVATION | 1/16"=1'-0" | 5

KEYNOTES

- 1.0 GENERAL
 - 1.1 LINE OF ROOF BEYOND
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 PANEL JOINT
 - 3.3 PANEL REVEAL, REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
 - 3.4 CONCRETE STAIRS W/ HANDRAIL & 42" HIGH GUARDRAIL
 - 3.5 TILT-UP CONCRETE SCREEN WALL PANEL (PAINTED ALL SIDES)
 - 3.6 TILT-UP CONCRETE WALL PANEL W/ FORM-LINER
 - 3.7 CONCRETE WALL PANEL - K.O. PANEL
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER
 - 5.2 ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL
 - 5.3 METAL CANOPY
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR - REFER TO DOOR SCHEDULE
 - 8.3 HOLLOW METAL MAIN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED
 - 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 10.0 SPECIALTIES
 - 10.1 STREET ADDRESS - SIZE AS REQUIRED BY GOVERNING AGENCY BUT NOT LESS THAN 12"
 - 10.2 BUILDING/ TENANT SIGNAGE (N.I.C.)
- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MFR & STRUCTURAL DRAWINGS. SIZE AS NEEDED TO PREVENT TOP OF TRAILER FROM STRIKING BUILDING WALL.
- 22.0 PLUMBING
 - 22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

GENERAL NOTES

1. MECHANICAL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.
2. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE. REVEAL COLOR TO MATCH THE ADJACENT FIELD COLOR.
3. PROVIDE 8"-0" WIDE COLOR SAMPLE ON BUILDING, FULL HEIGHT FROM BASE TO PARAPET FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PAINTING.
4. ALL PAINT, STAIN, SANDBLAST, ETC. FINISHES AND JOINTS/REVEALS SHOWN IN ELEVATION VIEW SHALL RETURN TO THE NEAREST INSIDE CORNER OR INTO WINDOW JAMBES.
5. ALL WALL PAINT FINISHES ARE TO BE FLAT, METAL PAINT TO BE SEMI-GLOSS UNLESS NOTED OTHERWISE.
6. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
7. T.O.P. = TOP OF PARAPET ELEVATION
8. F.F. = FINISH FLOOR ELEVATION
9. MEZZ. = MEZZANINE FLOOR ELEVATION
10. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

COLOR SCHEDULE / MATERIALS

NO.	DESCRIPTION	MATERIALS
G1	GLAZING	MEDIUM PERFORMANCE BLUE
M1	CANOPY	METAL CANOPY
M2	MULLIONS	ALUMINUM CLEAR ANODIZED
P1	PAINT 1	SHERWIN-WILLIAMS "OLYMPUS WHITE" SW6253
P2	PAINT 2	MAIN BUILDING COLOR - WHITE
P3	PAINT 3	SHERWIN-WILLIAMS "MORNING FOG" SW6255
P4	PAINT 4	MAIN BUILDING & BAND COLOR - MEDIUM GREY
		SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256
		BASE BUILDING & BAND COLOR - DARK GREY
		SHERWIN-WILLIAMS "COSMOPOLITAN" SW6257
		ACCENT COLOR - DARK GREY

DOORS TO MATCH ADJACENT BUILDING COLOR

KEYNOTES | 4

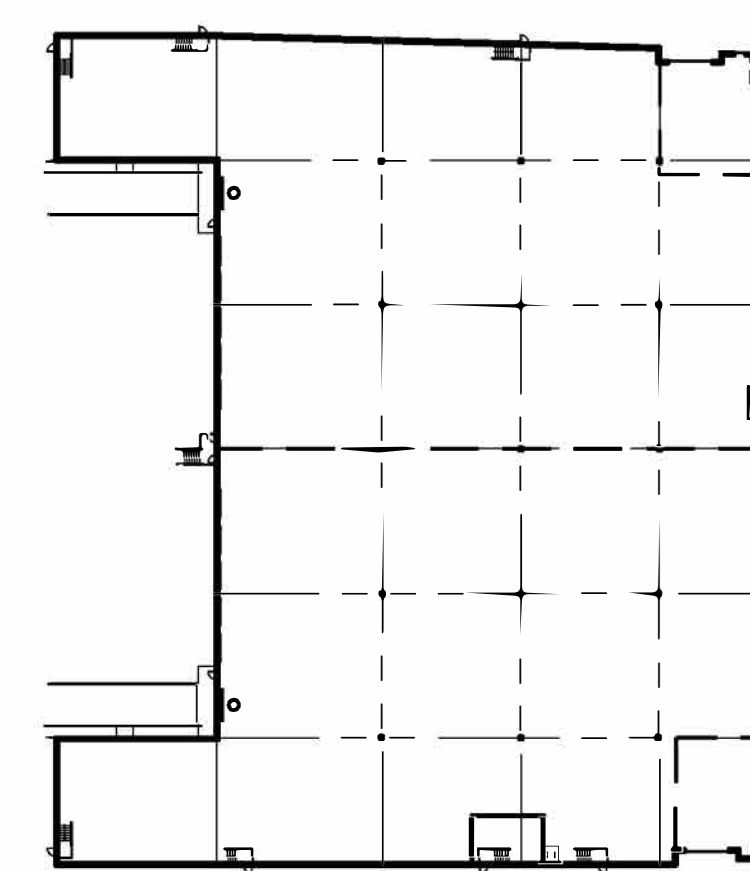


BUILDING AERIAL | 3



ENTRY PERSPECTIVE | 2

NO.	DESCRIPTION	DATE
△	AGENCY PROGRESS SET	03/19/21
△	SITE PLAN & DESIGN REVIEW SUB.	03/24/21
△	SITE PLAN & DESIGN REVIEW RESUB.	05/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	08/05/21
△	SITE PLAN & DESIGN REVIEW RESUB.	10/12/21
△	SITE PLAN & DESIGN REVIEW RESUB.	02/10/22
△	SITE PLAN & DESIGN REVIEW RESUB.	08/27/22
△	SITE PLAN & DESIGN REVIEW RESUB.	11/17/22
△	SITE PLAN & DESIGN REVIEW RESUB.	05/03/23
△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23



KEYMAP | NTS | 1

BUILDING 3 ELEVATIONS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.
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DATE	12/20/23		
DRAWN	GAA		A4.3
FILE NAME	WPT004_A4.3		



SOUTH ELEVATION | 1/16"=1'-0" | 4



WEST ELEVATION | 1/16"=1'-0" | 3



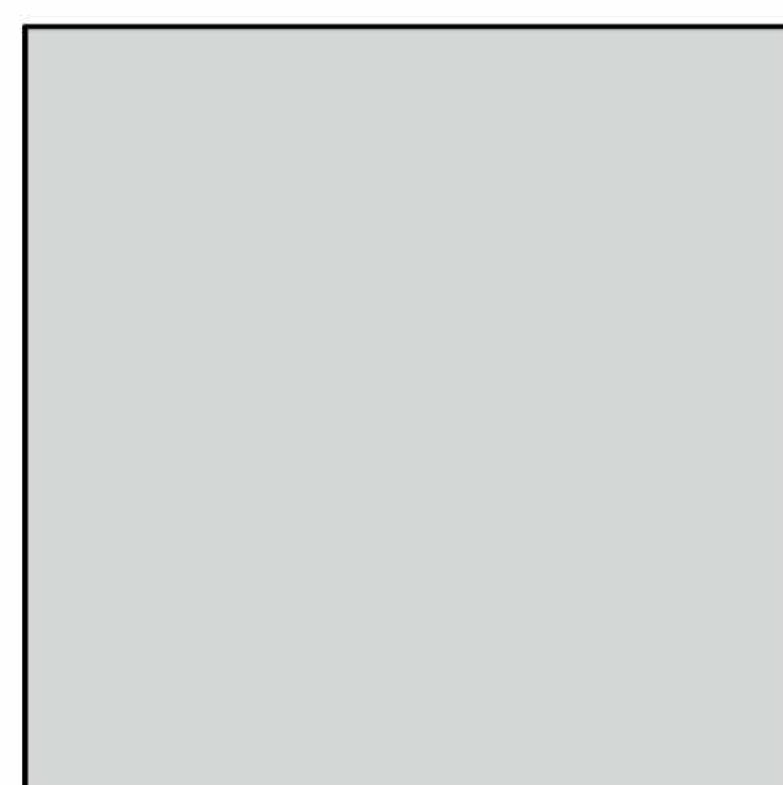
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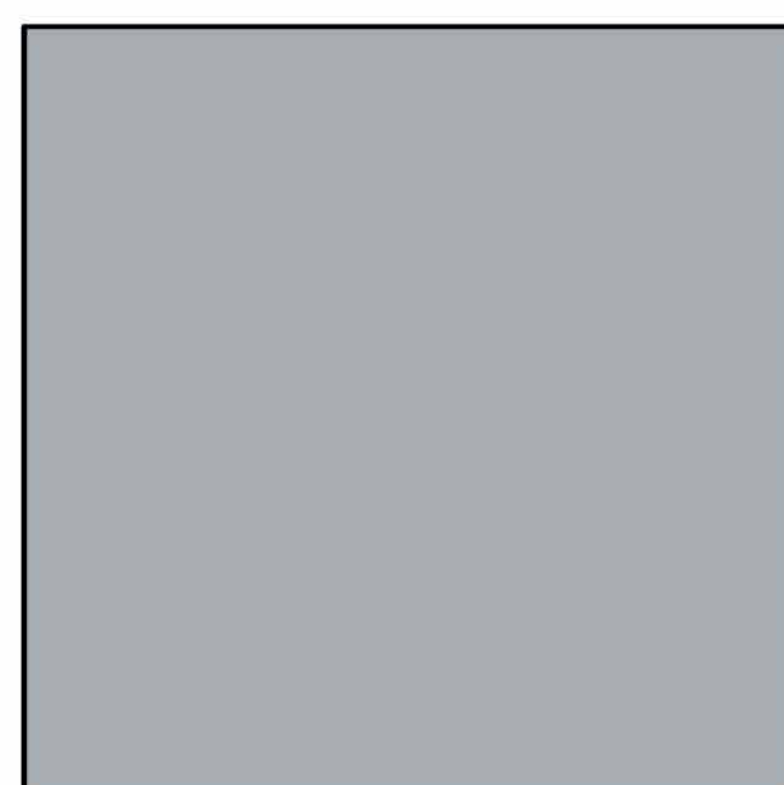
EAST ELEVATION | 1/16"=1'-0" | 1

**FIGUEROA STREET
BUSINESS PARK**
FIGUEROA STREET
CARSON, CA 90745
DEVELOPED FOR:
CARSON MAIN STREET, LLC

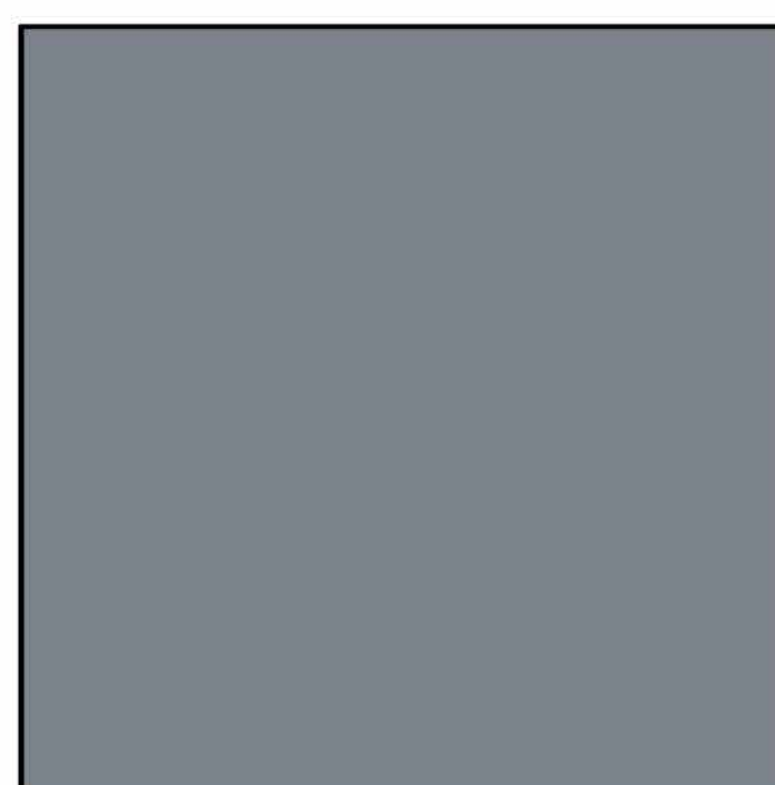
NO.	DESCRIPTION	DATE
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△	SITE PLAN & DESIGN REVIEW RESUB.	02/10/21
△	SITE PLAN & DESIGN REVIEW RESUB.	09/27/22
△	SITE PLAN & DESIGN REVIEW RESUB.	11/17/22
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△	SITE PLAN & DESIGN REVIEW RESUB.	12/29/23



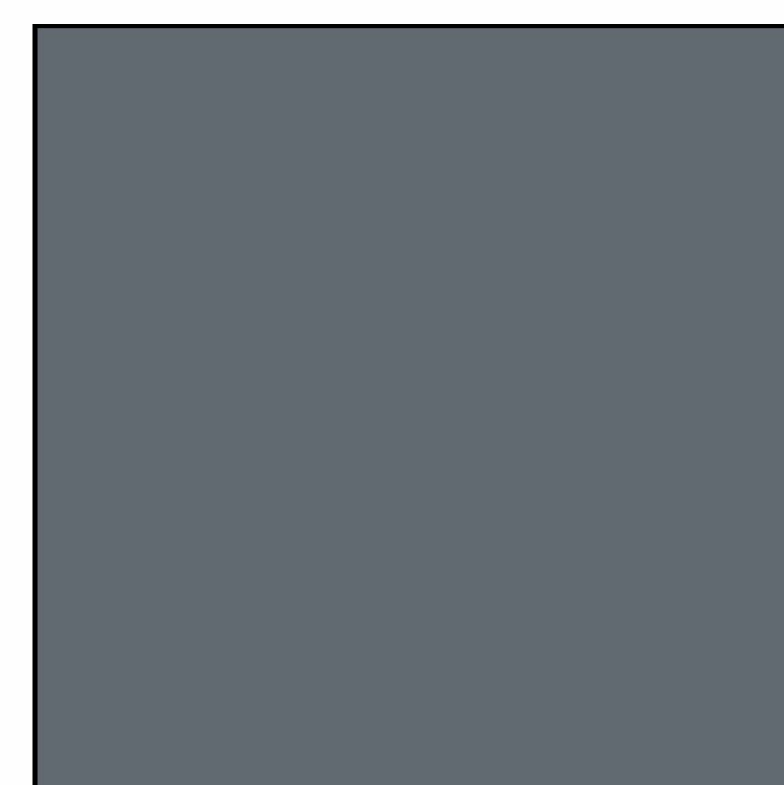
P1 PAINT - SEE MATERIALS SCHEDULE



P2 PAINT - SEE MATERIALS SCHEDULE



P3 PAINT - SEE MATERIALS SCHEDULE



P4 PAINT - SEE MATERIALS SCHEDULE

COLOR SCHEDULE / MATERIALS

- G1 GLAZING MEDIUM PERFORMANCE
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- MAIN BUILDING & BAND COLOR - MEDIUM GREY
- P3 PAINT 3 SHERWIN-WILLIAMS "SERIOUS GRAY" SW6256
- BASE BUILDING & BAND COLOR - DARK GREY
- P4 PAINT 4 SHERWIN-WILLIAMS "OLDBALTAR" SW6237
- ACCENT COLOR - DARK GREY

DOORS TO MATCH ADJACENT BUILDING COLOR

**BUILDING 3
ELEVATIONS**

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FILE NAME	WPT004_4.3C		