

6.0 DEVELOPMENT STANDARDS

This chapter contains the development standards for The Boulevards at South Bay Specific Plan. Development standards are the regulations, requirements and by-laws by which development must abide, and are indicated by the use of the word “shall.” These standards are mandatory and typically concern topics such as permitted uses, density, building and property dimensions, and the quantity of parking and landscaping. Provisions within these standards may also use the word “should,” in which case the standard is encouraged but not mandatory.

6.1 Permitted Uses

Permitted Uses, uses requiring a Conditional Use Permit, and prohibited uses within The Boulevards at South Bay are provided in the following table. This matrix organizes potential uses within each Development District. Those uses not specifically listed in the table are subject to review based on the consistency with the purpose and intent of the land use categories and are subject to the Interpretation procedure of Section 9172.24 of the Carson Municipal Code (CMC). The following additional special provisions apply:

- A. Any single proposed retail store with more than 100,000 square feet (whether contained in one or more buildings) which devote more than 10% of their floor area to non-taxable goods excluding services such as pharmacy or optician, shall be permitted upon approval of a Conditional Use Permit pursuant to Section 9172.23 of the Carson Municipal Code. This requirement shall not apply to discount membership stores, wholesale clubs or other establishments selling primarily bulk merchandise and charging membership dues.
- B. A conditional use permit shall be required for any proposed residential use north of Del Amo Boulevard and within 300 feet of the freeway pavement edge.
- C. Upon identifying and constructing within all building areas, the allowed number of units and/or square footage will be reduced to that built plus 10% additional square footage or units, provided the number of residential units does not exceed 1550.
- D. When the Development Agreement expires on March 21, 2021, any development proposed for the 168 acres, known as the Boulevards at South Bay, shall be subject to environmental review pursuant to the California Environmental Quality Act.

Of special note is the fact that at-grade residential uses are only permitted in Development District 3. This is because Development District 1 occupies the former landfill site, while Development District 3 does not. Only elevated residential uses, which separate first-floor units from the ground level using at least one level of parking, retail uses, or other nonresidential space, are permitted in Development District 1. This is the result of regulations provided by the Department of Toxic Substances Control that prohibit ground-floor residential units on former landfill soil.

Table 6.1
Permitted Uses

P -----	Automatically permitted use.
L -----	Automatically permitted use provided special limitations and requirements are satisfied as noted herein or in Division 8 of the CMC.
LD -----	Use permitted provided special limitations and requirements are satisfied as noted herein or in Division 8 of the CMC, and subject to approval of Planning Manager.
C -----	Use permitted upon approval of a Conditional Use Permit.
CC -----	Use permitted upon approval of the City Council as prescribed under other provisions of the CMC.
[blank cell]-----	Not permitted

Use Category	Typical Permitted Uses	Development District		
		1	2	3
Regional Commercial				
Food Sales and Service	Dog or cat food catering (retail only)	P	P	P
	Food catering (only direct retail sales or retail distribution)	P	P	P
	Food store: grocery, fish, meat, fruits and vegetables, retail bakery, pastry, candy, health food, take-out food, tobacco shop	L	L	L
	Poultry shop (no live poultry or slaughtering)	P	P	P
	Restaurant (including refreshment stands, soda fountain, drive-in or drive-through restaurants)	P	P	P
Health Services	Medical or dental laboratory (as an incidental use in a medical/dental office building or clinic)		L	
	Medical or dental office or clinic, public health center	P	P	P
	Optical services (for the fitting, grinding or mounting of eyeglasses)	P	P	P
	Pharmacy	P	P	P
Office	Business, professional, financial, insurance, real estate, utility payments, telegraph, telephone answering service, messenger service, advertising, newspaper or publishing (no printing), ticket agency, travel agency, employment agency, collection agency, detective agency, security service, bail bondsman	P	P	P
	Wholesale business, manufacturer's agent, broker (no storage or deliveries other than samples)		L	
Public Assembly	Arcade, drive-through, pool hall, night club		C	
	Auditorium, meeting hall, wedding chapel	P	P	P
	Community center, lodge hall, private club	P	P	P
	Indoor theater (motion picture or live stage)		P	
	Outdoor theater (live stage, not a drive-in)	C	LD	C
Public and Quasi-Public Uses	Church, temple, or other place of religious worship ¹	C	C	C
	Fire station, police station, post office, library, museum	P	P	P
Retail Sales and Service	Animal services: dog clip & wash, veterinary office or clinic (no animal hospital/kennel)	P	P	P
	Barber shop, beauty shop, reducing salon, manicure parlor	P	P	P
	Big box retail (stand-alone retail stores with 50,000 square feet or more)		P	
	Copying, addressographing, mimeographing, photostating, instant printing, blueprinting, silk screening, photography, picture framing	P	P	P
	Clothing services: laundry or dry cleaning agency, self-service laundry or dry cleaning, hand laundry, sponging and pressing, tailor, dressmaker, seamstress, shoe repair	P	P	P
	Fix-it shop		P	
	Furniture redecorating, restoration and upholstering; glass repair, installation or glazing; screen repair; plumbing shop; lawnmower sharpening		P	
	Gas Station	C	C	C

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Use Category	Typical Permitted Uses	Development District		
		1	2	3
Retail Sales and Service cont.	Hotel		P	
	Indoor mini-mart, auction house ²		C	
	Locksmith, watch repair, small appliance repair, bicycle repair	P	P	P
	Parcel delivery service	P	P	P
	Photo-finishing, film developing	P	P	P
	Secondhand store, pawn shop		C	
	Specialized stores for apparel, household supplies, business supplies, promotional retail, service retail	P	P	P
Studios	Costume design, interior decoration, photography, writing, drama, dance, music, arts and crafts (including stained glass)	P	P	P
	Motion pictures (indoor) ³		C	
	Radio, television, recording	P	P	P
Mixed-Use				
Mixed-Use ⁴	At-grade apartments, townhomes, condominiums			P
	Elevated apartments, townhomes, condominiums	P		P
	Vertically integrated uses: supermarket, food store, variety store, service retail, restaurant, health club/gym	P		P
	Live-Work Residential			P
	All uses permitted in Regional Commercial except theaters and stand-alone stores greater than 50,000 square feet	P		P
Parking				
Automobile Parking Structure	Parking lot, parking building/structure, shared parking facilities	P	P	P
Accessory Uses ⁵				
Public Park or Playground	Park, playground	P	P	P
Private Recreational Facilities	Swimming pool, tennis court, skating rink	P	P	P
Passenger Station	Bus station, rail station, taxi stand	LD	P	LD
Alcoholic Beverage Sales and Service	Alcoholic beverage sales and service in conjunction with a restaurant, department store, supermarket	LD	P	LD
	Alcoholic beverage sales and service in conjunction with a variety store, drug store, take-out food, mini-market, liquor store, bar, billiards, indoor theater	C	C	C
Communication and Utilities Stations	Transmitter, receiver, or repeater station; gas distribution, control, or measurement station; electric distribution substation; pumping station; major wireless telecommunication facilities ⁶	C	C	C
Storage ⁷	Space and facilities to house the inventories, supplies and equipment needed to conduct permitted activities.	P	P	P
Recycling	Small collection recycling facility	L	P	L
Temporary Uses				
Offices	Contractor office, real estate office, election campaign office, construction storage	L	L	L

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Use Category	Typical Permitted Uses	Development District		
		1	2	3
Outdoor Sales	Sidewalk, parking lot, and tent sales; Christmas tree sales; pumpkin sales	LD	LD	LD
Outdoor Festivals	Farmer's market, carnival, pony rides, swap meet, flea market		CC	
	Fireworks stand ⁸	P	P	P
Prohibited Uses				
Sexually oriented business establishments				
Vehicle sales and service				
1. See CMC 9138.22 and 9182.25. 2. Ord. 86-763U, §1; Ord. 87-813, §1. 3. See CMC 9133. 4. A conditional use permit shall be required for any proposed residential use north of Del Amo Boulevard and within 300 feet of the freeway pavement edge. 5. Accessory use: A use of the land or of a building which is: (1) clearly incidental and subordinate to the principal use of the land or building; (2) located on the same lot with the principal use; (3) not a generator of additional auto trips, parking needs, or adverse environmental impacts; and (4) occupies equal to or less than 10 percent of the area of the principal use. Where more than one accessory use occurs on a site, the total aggregate of all accessory uses must be equal to or less than 10 percent. 6. Major wireless telecommunication facilities shall be permitted subject to a Conditional Use Permit from the Planning Commission and the requirements of Section 9138.16 of the Carson Municipal Code. Minor wireless telecommunication facilities, as defined in Section 9138.16 of the Carson Municipal Code, are permitted by right and do not require a Conditional Use Permit. 7. No on-site storage shall be allowed in temporary or permanent cargo containers. 8. Fireworks stands are permitted per Sections 3101.0–3101.10 of the Carson Municipal Code.				

6.2 General Development Standards

Development standards control the building envelopes for the proposed residential, commercial, service and entertainment uses. These regulations have been designed to provide for flexibility in site design while ensuring a consistent and coordinated built environment for The Boulevards at South Bay.

Table 6.2-1 General Development Standards		
TOPIC	MIXED-USE MARKETPLACE (MU-M)	COMMERCIAL MARKETPLACE (CM)
DENSITY/INTENSITY		
At-grade multifamily	60 du/ac max.	n/a
Elevated multifamily	60 du/ac max.	n/a
Vertical mix of uses ¹	1.50 min., 4.0 FAR max.	n/a
Commercial uses	n/a	n/a
Hotel ²	1.0 FAR max.	1.0 FAR max.
Overall Project	0.33 FAR (commercial uses only)	
BUILDING SETBACKS		
Perimeter Setbacks:		
Interstate 405	110 feet min.	110 feet min.
Del Amo Boulevard	10–20 feet min. ³	n/a
Main Street	10–20 feet min. ³	n/a
Northern Border ⁴	20 feet min. from property line	n/a
Storm Channel	n/a	70 feet min. from property line
Internal Setbacks:		
Building to Loop Road at Del Amo Entry ⁵	20 feet min. from the back of curb for buildings with base building height up to 28 feet 30 feet min. from the back of curb for buildings with base building height greater than 28 feet	n/a
Commercial building to Loop/Corridor Roads	Loop road (private): 10 feet min. from the back of curb Corridor road (public): 10 feet min. from the property line	n/a
Residential building to Loop/Corridor Roads	15 feet min. from the back of the sidewalk	n/a
Commercial building to commercial building (if detached)	20 feet min. from building to building	n/a
Residential building to commercial building or parking structure (if detached)	25 feet min. from building to building	n/a
ENCROACHMENTS ⁶		
Encroachments	See Municipal Code §9126.29	See Municipal Code §9136.29
WALKWAYS/PARKWAYS		
Internal	5 feet min.	5 feet min.
Adjacent to:		
Corridor Road	8 feet min. including at least 3 feet of landscaping	8 feet min. including at least 3 feet of landscaping
Loop Road	5 feet min.	8 feet min. including at least 3 feet of landscaping
Multi-Purpose Path (see Figure 5.11)	8 feet min. of sidewalk plus an additional 4 feet of landscaping	8 feet min. of sidewalk plus an additional 4 feet of landscaping

**Table 6.2-1
General Development Standards**

TOPIC	MIXED-USE MARKETPLACE (MU-M)	COMMERCIAL MARKETPLACE (CM)
OPEN SPACE⁷		
Private Open Space ¹²	<p>Development 25 du/acre or more in density: studios and 1 bedroom: 60 square feet average, 50 square feet min. per unit; 2 bedrooms: 75 square feet average, 65 square feet min. per unit; 3+ bedrooms: 100 square feet average, 80 square feet min. per unit; all with a minimum dimension of 5 feet in any direction.</p> <p>Development less than 25 du/acre in density: 100 square feet min. per unit, with a minimum dimension of 5 feet in any direction.</p>	n/a
Common Open Space ⁸	<p>Development District 1 (rental units): studio and 1 bedroom: 150 square feet min. per unit 2 bedrooms: 200 square feet min. per unit; 3+ bedrooms: 250 square feet min. per unit; all with a minimum dimension of 15 feet in any direction.</p> <p>Development District 1 (ownership units): studio and 1 bedroom: 200 square feet min. per unit 2 bedrooms: 250 square feet min. per unit; 3+ bedrooms: 300 square feet min. per unit; all with a minimum dimension of 15 feet in any direction.</p> <p>Development District 3: 300 square feet min. per unit, with a minimum dimension of 15 feet in any direction</p>	n/a
Public Plazas ⁹	n/a	Each commercial use shall provide or contribute towards public plaza space equal to 25 percent of the total square feet (GLA) of building. This standard applies only to those buildings within the Lifestyle/Entertainment area in Development District 2.
PARKING		
Auto Parking ^{10, 11}	<p>Residential: 0 bedrooms (not more than 450 square feet.) 1 space/unit; 1 bedroom, and 0 bedroom units that are larger than 450 square feet: 1.5 spaces per unit; 2 bedrooms or more: 2 spaces per unit. Guest parking: 1 space per 4 units</p> <p>Commercial: 5 spaces per 1,000 sq. ft. of gross leasable area, except: Theatre = 1 space/ 4 seats Hotel = 1.0 space/room</p>	5 spaces per 1,000 sq. ft. of gross leasable area, except: Theatre = 1 space/4 seats Hotel = 1.0 space/room
Preferential Auto and Bicycle Parking	Per City Code Section 9165.3	Per City Code Section 9165.3
<p>1. The FAR for vertically integrated mixed-use is to be calculated using the total square footage of all residential and commercial uses, divided by the total area of the parcel. The 1.50 minimum FAR applies only to projects that incorporate residential uses.</p> <p>2. Hotel FAR is to be calculated based upon a 5-acre site.</p> <p>3. Development north of Del Amo Boulevard shall not be closer than 10 feet from Del Amo Boulevard or Main Street, as measured from the property line. Development south of Del Amo Boulevard shall not be closer than 20 feet from Del Amo Boulevard or Main Street, as measured from the property line.</p> <p>4. The "Northern Boundary" refers to the northern boundary of Development District 3.</p> <p>5. Standard applies to buildings adjacent to Loop Road between Del Amo Boulevard and Corridor Road. See Table 6.2-2 for base building height standards.</p> <p>6. Outdoor dining, benches, outdoor displays, or any other ancillary uses as approved by the Planning Manager may encroach into the sidewalk area a maximum of 8 feet from the building frontage.</p>		

Table 6.2-1
General Development Standards

TOPIC	MIXED-USE MARKETPLACE (MU-M)	COMMERCIAL MARKETPLACE (CM)
<p>7. At least 40 percent of common and private open space must be usable for recreation, which is defined as open space that serves a specific function with an average gradient of not more than 5 percent and excludes sidewalks within the public right-of-way. Usable open space shall be designed in a manner to be appropriate for the end users of the dwelling units. Usable open space excludes space located within roadway setback areas. The recreational areas shall be located within reasonable proximity of the dwelling units. Usable open space may include, but is not limited to, balconies, terraces, roof gardens, children's playgrounds, pools, clubhouses, BBQ pits, fire pits, seating areas, and landscape areas within or immediately surrounding these open space areas. Walkways and their associated landscaping that serve no purpose other than connecting these spaces shall not be considered usable open space.</p> <p>8. Open space includes accessible walkways, landscaping areas and non-private courtyards. Common areas such as clubhouses, pools and spas can satisfy up to 50 percent of the common open space requirement. Up to 1/2 of the common open space can be satisfied on other development sites within reasonable proximity to the dwelling units.</p> <p>9. Refer to Section 6.3 for additional guidance on the provision of public plazas.</p> <p>10. Shared parking will be allowed per the Planning Manager's approval and subsequent to a parking study if deemed necessary by the Planning Manager.</p> <p>11. If DD 3 is developed with only residential units (no commercial), the guest parking requirement shall be 0.5 space per unit. If DD 3 is developed with a combination of residential and commercial use, the guest parking requirement shall be 0.25 space per unit.</p> <p>12. Each bedroom category must address both its minimum size and average size private open space requirements. Any unit that does not meet the minimum requirement will not have any of its private open space counted towards the overall average. No more than 10% of 1 BR, 2 BR or 3 BR units may provide less than the minimum size requirement. If any bedroom category has a shortfall in average private open space, that shortfall must be replaced by additional usable open space above the required amount at a one-to-one ratio.</p>		

Table 6.2-2
Building Height Development Standards

USE	AREA	BASE BUILDING	WITH SECONDARY FEATURES ¹		WITH MAJOR FEATURES ¹	
		Max. Height	Max. Height	Max. Width of Feature (% of elevation length)	Max. Height	Max. Width of Feature (% of elevation length)
RESIDENTIAL						
Multifamily ²	n/a	75 feet	75 feet	n/a	75 feet	n/a
COMMERCIAL						
Retail	>100,000 SF	32 feet	42 feet	30%	52 feet	15%
Retail	<60,000–100,000 SF	30 feet	38 feet		48 feet	20%
Retail	>40,000–60,000 SF	28 feet	36 feet		46 feet	30%
Retail	15,000–40,000 SF	28 feet	34 feet		44 feet	40%
Retail	<15,000 SF	26 feet	30 feet		36 feet	50%
Theater	n/a	60 feet	70 feet		80 feet	20%
Hotel	n/a	75 feet	79 feet		85 feet	15%
MIXED-USE						
Vertical mix of uses: two-story office/retail over at-grade retail	10,000–30,000 SF	35 feet	40 feet	30%	45 feet	30%
Other vertical mix of uses ^{2,3}	n/a	75–85 feet	75–85 feet	n/a	75–85 feet	n/a
PARKING						
Parking Structure ⁴	n/a	45 feet	50 feet	n/a	55 feet	n/a
ACCESSORY STRUCTURES						
Accessory Storage	maximum height to be determined according to standard for principal use					
<div>1. Major and secondary features are building elements that are added to building faces to provide architectural interest, without adding to interior floor area. Major features are more prominent than secondary features, and are often used to focus visual attention with a vertical element that rises above the base building. Major features may sometimes incorporate secondary features, which are physically connected to them. Where such secondary features are an integral part of the major feature, the overall assemblage can be considered collectively as the major feature, with the height limitation applying to the highest-most point of the assemblage.</div> <div>2. The maximum height of any living space in residential structures cannot exceed 74 feet, 11.9 inches, so as not to be classified as a high-rise structure as defined by Los Angeles County Fire Department regulations.</div> <div>3. The maximum height for vertically mixed-use buildings is 85 feet when located within 1,000 feet of the project's easterly border (loosely defined as I-405) as measured along the southern edge of Del Amo Boulevard. For buildings along the northern edge of Del Amo Boulevard or beyond the 1,000-foot area described above, the maximum height is 75 feet.</div> <div>4. Maximum parking structure height applies to the height of the primary structure only; elevator shafts are excluded.</div>						

6.3 Public Plazas

This Plan requires each commercial use within the lifestyle and entertainment area to provide or contribute towards public plaza space equal to 25 percent of the total square feet (GLA) of building. Shown conceptually in Figure 6.4a, the lifestyle and entertainment area consists of commercial uses such as a movie theater, restaurants, arcades and various retail shops clustered together and oriented internally for pedestrians. The conceptual site plan proposes approximately 139,000 square feet of lifestyle and entertainment uses in Development District 2, as shown in Table 4.1. Based upon the requirement stated above, 34,750 square feet of public plaza space would be provided within the lifestyle and entertainment area (139,000 multiplied by 25 percent). The following are public plaza requirements and guidelines.

6.3.1 Public Plaza Requirements

- A. Public plazas may consist of pedestrian-accessible spaces, including outdoor seating areas, open space, water features and landscape areas. Please refer to Section 7.0, Design Standards and Guidelines, for further information.
- B. Outdoor eating areas provided as part of private eating establishments cannot be counted towards the public plaza requirement, unless:
 1. The eating areas are open and accessible to the public, and have intermittent fencing and/or landscaped obstructions.
 2. If the eating areas are enclosed by fencing or landscaping no greater than four feet in height, these areas may count towards up to 20 percent of the total public plaza requirement.
- C. Public plazas shall exclude parking areas, roadways (except for Fire Department access) and the first five feet surrounding all sides of the buildings.
- D. Public plazas shall have a minimum dimension of 20 feet in width and 20 feet in length.
- E. Public plaza areas are not intended to serve as space for outdoor sidewalk sales.
- F. Uses in the lifestyle and entertainment area do not need to satisfy the public plaza space requirement immediately next to their buildings, and are instead encouraged to coordinate public plaza space with other uses to provide larger plaza spaces that are centrally located and serve multiple buildings. Public plazas are encouraged to be contiguous and connected via landscaped pedestrian walkways.
- G. Development applications that incorporate public plazas shall be accompanied by design plans for the plaza areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular, pedestrian and bicycle).
- H. If the lifestyle and entertainment area is not constructed, public plaza space is not required.

6.4 Landscaping

6.4.1 General Provisions

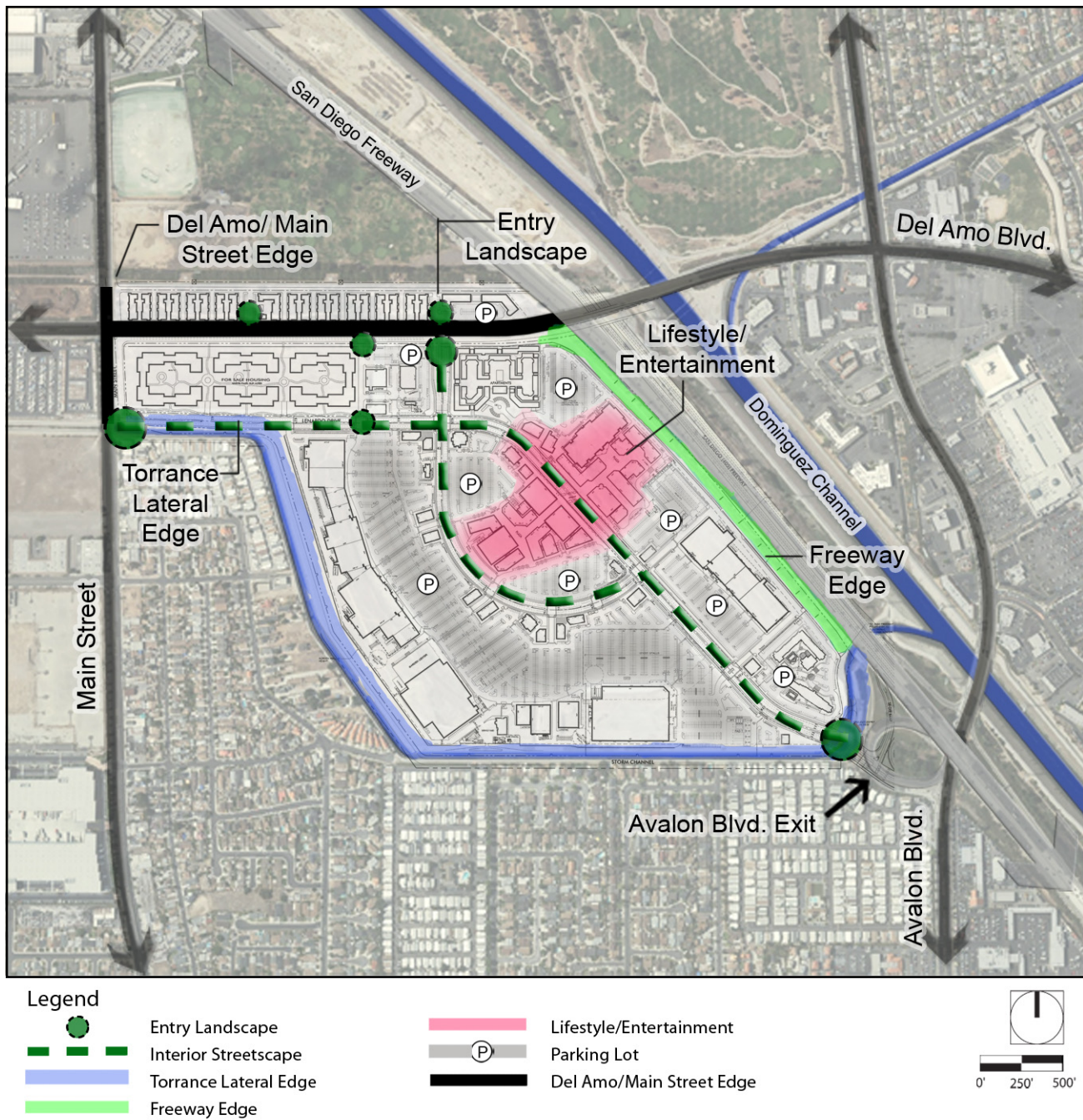
- A. Due to the subsurface constraints posed by the site, trees shall generally not be permitted to be planted in the soil unless there is reasonable certainty that the proposed tree and its location are not determined to pose a threat to the landfill cap by the Department of Toxic Substances Control (DTSC).
- B. For plantings that will be directly in the soil, the landscape palette for the project shall consist primarily of small to medium shrubs, members of the grass family and other plants with fibrous root systems, bulbs, culms or rhizomes. For taller species with fibrous and/or surficial root systems, this includes, among others, members of the palm and bamboo families.
- C. The taller species of trees that have a typical dendritic root structure shall be containerized either above or below grade. For containerized trees below grade, a subsurface drainage conveyance system will be necessary to convey drainage off-site.
- D. Although Pampas Grass (*Cortaderia sellowiana*) and Giant Reed (*Arundo donax*) are plants that have fibrous root systems, they are invasive exotic plants and their use is strongly discouraged due to their ability to escape and naturalize off-site.
- E. The plant palette for the project includes, but is not limited to, Bob Perry's *Landscape Plants for Western Regions* since these plants are either native or adapted to our climate and can survive with limited amounts of water. The plant palette is located in Appendix A.
- F. The intent is for irrigation of the landscape to be kept to a minimum to conserve water and to avoid the impact irrigation may have on the shallow soils and the landfill cap. Therefore drip irrigation and a native-plant palette shall be used to the maximum extent feasible.

6.4.2 Landscape Theme Areas

The Boulevards at South Bay has several landscape theme areas with unique qualities or goals to address the diversity of edge conditions and planned uses. These themes are conceptual in nature and therefore not precise and will be clarified further during plan submittal. The following is a description of the landscape themes for various areas within the Project and a brief discussion of their design intent. For the conceptual delineation of these themed areas, see Figure 6.4a.

Del Amo Boulevard and Main Street Edges

The Del Amo and Main Street edges shall have landscaped setbacks to buffer the proposed residential and/or commercial uses from the street. Because the setbacks are measured from the back of the sidewalk, it is envisioned that a landscape treatment will be applied to the entire setback. These edges shall be designed to coordinate with the landscape themes in the Carson Street Conceptual Visualization and the Home Depot Center. This landscape coordination will help connect The Boulevards at South Bay with these two existing districts and generate a comprehensive image for this area.



Source: The Planning Center, 2010.

Figure 6.4a Landscape Themes

Entries

There will be seven ingress-egress/points of access (see Figure 6.4a for the proposed points of access). These points of access shall have landscaping that identifies the entries and clearly separates them from the surrounding context. To attract attention and create a focal point entries shall typically have species that differ in height, color and texture from the streetscape treatment.

Freeway Edge

This zone will primarily consist of the top of slope and slope bank that parallel the western edge of I-405 and shall be designed to work in conjunction with the signage and building facades to draw attention to The Boulevards at South Bay project.

Lifestyle and Entertainment

A Lifestyle and Entertainment component makes up a significant portion of the central core of the Project. This area shall have a variety of plants from small to very large that will primarily be containerized in large and small pots, raised planters and trellises. The landscaping should be pedestrian friendly, providing areas of shade and accents.

Internal Streetscape

The internal streetscape consists of entry drives and Corridor and Loop Roads (see Figure 5.1a). These form a hierarchy of streetscapes with the opportunity to design them together as an integral element of the overall plan.

It is expected that these internal streets will typically have landscaped medians and edges (see Figure 6.4b). There shall be continuous shrub and ground-cover plantings in the medians and edges with vertical landscape and/or hardscape elements at a minimum of every 50 feet along the edges. The landscape plans for the median and parkway on the public road (Corridor Road) must be approved by the Development Services Manager.

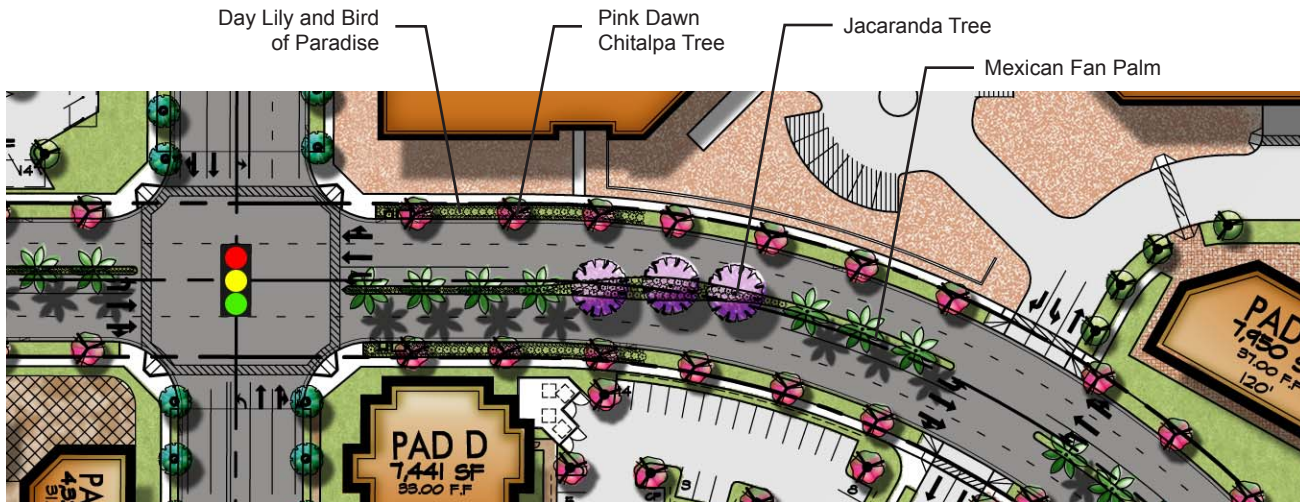
Parking Lot

The parking lot areas shall achieve, Project-wide, a minimum of 5 percent landscape coverage. The landscaping may consist of tall vertical elements such as palms or low-lying shrubs and/or groundcovers. The shrubs and groundcovers should not exceed three feet in height at maturity to keep sight distances clear for vehicles. Landscaping in the parking lot areas may be grouped or focused to facilitate stormwater uptake and filtration.

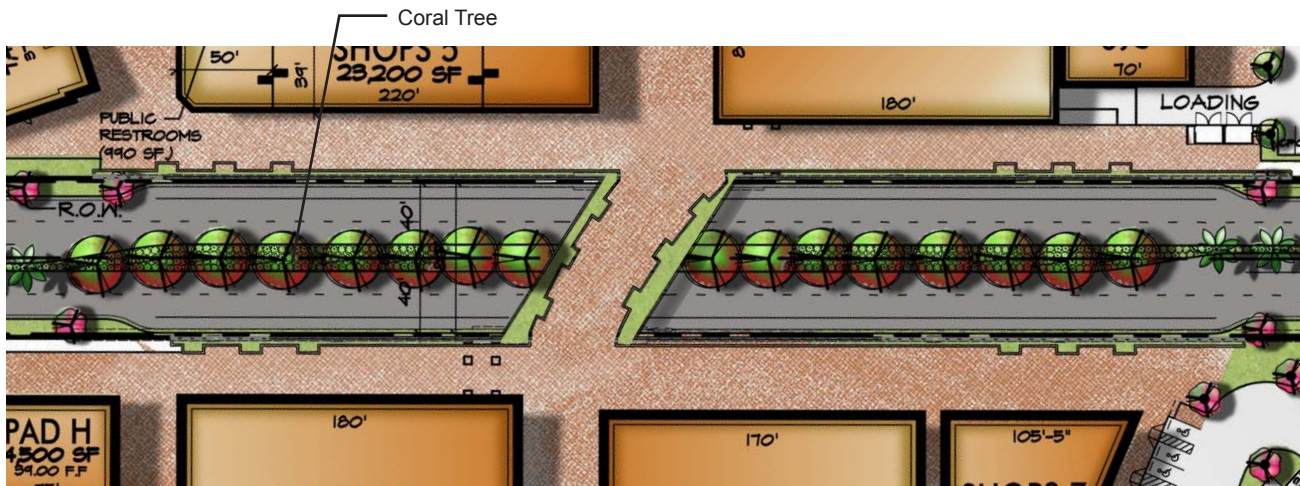
Parking Structure Edge

Parking structure facades visible from the freeway should be designed with enhanced aesthetic treatments to soften the visual appearance of the structure. Treatments may include, but are not limited to, landscaping, signage, or special treatment of building materials (use of color or patterns) as approved by the City. If parking structures are adjacent and visible to residences, the edge of the structure shall achieve 50 percent coverage of visible concrete surfaces with landscaping. Coverage can be achieved through measures such as planters along the visible edge of the structure planted with cascading vines, or through a vertical trellis surface with vines planted at each parking level, or by other means.

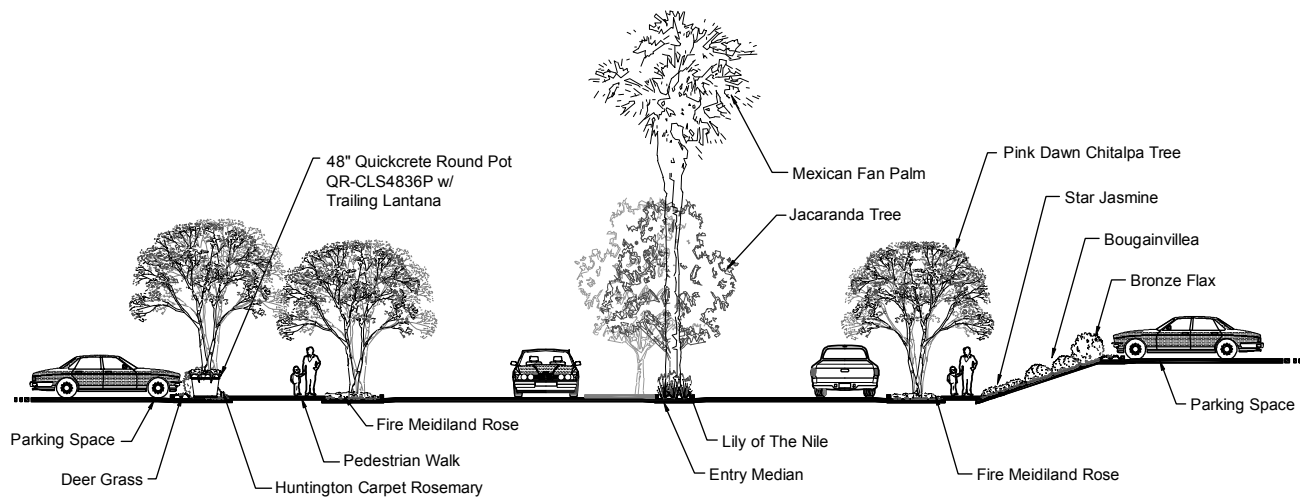
6. DEVELOPMENT STANDARDS



Typical Design



At Entertainment Area



Typical Section

Source: CCA, 2010.

Note: Illustrations are purely conceptual in nature. Final landscaping to be determined with the submittal of a Development Plan.

Figure 6.4b Conceptual Landscape for Corridor Road

Channel-Adjacent Slope

There is, and will continue to be, a slope bank along the southern and western edges of the project immediately adjacent to the access road that serves the Torrance Lateral. The intent of the landscaping for this zone will be to improve upon the existing unimproved condition, stabilize slopes with minimum maintenance and water requirements, and soften the development edge as viewed from outside the southern and western edges. This zone shall consist of a combination of native and adapted drought-tolerant trees, shrubs and groundcovers.

6.5 Walls and Fences

The need for walls or fences within The Boulevards at South Bay is a function of the location and building orientation of commercial and residential uses. A primary goal of this project is to achieve an aesthetically and functionally integrated mix of uses. Convenient access (pedestrian and auto) and visual access from residential to commercial uses on the site are main components of integration. This can be accomplished through creative site planning techniques without compromising privacy and the quality of living environments.

Another objective is to ensure the visual compatibility of on-site commercial uses with existing surrounding residential areas. Rather than a traditional, complete separation of residential from commercial uses by walls, barriers within the Specific Plan area will be incorporated only as needed to provide for privacy or noise control.

The Boulevards at South Bay incorporates two types of walls and fences, each with its own purpose and function. Perimeter walls are primarily intended to screen the Project from surrounding land uses while also providing a secondary level of security. As such, these walls should be designed to be opaque and consist of slump or split-faced block, or solid panel at heights of six to eight feet. Perimeter walls can also be used to screen trash enclosures, utilities and other similar functional uses.

View fencing serves to buffer residential uses from surrounding traffic or, when desired, commercial uses. As the name implies, however, view fencing does not completely shield residential uses from the remainder of the site. The Boulevards at South Bay is intended to function as an integrated, mixed-use project, and visual connectivity is an important component of the Project. View fencing, therefore, should consist of a semiopaque combination of slump or split-faced block, wrought iron and/or landscaping to provide a secure yet friendly border. View fencing may also consist entirely of landscaping. Materials other than split face block may also be used with approval of the Planning Manager, so long as the design is consistent with the design theme and intent outlined in the specific plan.

6.5.1 General Provisions

The conceptual locations of walls and fencing, as they relate to the site perimeter, are shown on Figure 6.5a. The following guidelines are established to guide the location and treatment of walls and fences.

- A. Solid walls or screens shall be used to minimize the visual impacts of commercial development along the perimeter of the site. A combination of solid and transparent barriers should be used to separate the residential component of The Boulevards at South Bay from Del Amo Boulevard and Main Street. Fencing shall be designed with variations using accent elements in combination of pilasters, landscapes and setbacks to reduce monotonousness of fencing design.
- B. A maximum 6-foot wall or fence may be incorporated for ground-floor screening of private outdoor space of residents. Other barrier alternatives such as a landscape screen may be used if noise is not a major consideration.
- C. Entrances and exits (both auto and pedestrian) for residential projects should be integrated with the entries of adjacent commercial sites so that internal access opportunities between uses are maximized.
- D. Common open space areas for commercial development, such as plaza or outdoor dining, should be accessible to adjacent residential uses.
- E. A landscape treatment shall be applied to spaces between a wall or fence and the adjacent sidewalk.
- F. Commercial loading areas shall be screened and located appropriately, where it is feasible, to minimize visual and noise impacts.

6.6 Signage

Because of their high visibility, signs are prominent elements of the physical environment of The Boulevards at South Bay. Signs announce the presence of The Boulevards at South Bay, welcome visitors and residents, and help users navigate the site. The sign development standards set forth below are intended to maximize the identification of The Boulevards at South Bay as a distinct location in a manner that complements the overall image of the City of Carson. All signs proposed for The Boulevards at South Bay Specific Plan will be governed by a comprehensive sign program, provided under separate cover, that will provide consistency in design style and direction for placement and size of signs, including a standardized way-finding program. The sign program shall also include provisions that ensure that lighting from signs shall not intrude or impact adjacent residential uses.

General sign standards are provided in Table 6.6, while a conceptual map of sign locations is shown in Figure 6.6a. Figure 6.6b provides some conceptual sketches to illustrate the maximum sign dimensions set forth in Table 6.6. Figure 6.6c presents a conceptual illustration of two freeway icons and ten freeway monument signs within the context of I-405. Final sign designs may vary and will be provided as part of a comprehensive sign program that shall be reviewed and approved by the Planning Officer. Any Electronic Message Center sign shall be permitted upon approval of a Conditional Use Permit pursuant to Section 9172.21 of the Carson Municipal Code.

**Table 6.6
Sign Standards**

SIGN TYPE	MAXIMUM NUMBER	MAXIMUM SIGN DIMENSIONS		NOTES
		Height	Width	
Freeway Icon	2	70 feet	25 feet	The base width will be 15–25 feet. If the base is greater than 15 feet, the sign will taper up to 15 feet at top. The attached reader board will be a maximum 16 feet high x 20 feet wide. The top of the reader board will be located no higher than 40 feet above the base of the sign. If only one Freeway Icon sign is constructed, it will most likely be located in a central location, between the Freeway Monument signage. Height is measured from the elevation of I-405.
Freeway Monument	10	35 feet	20 feet	While the overall height is 35 feet, the sign is stepped up the slope along the freeway. Each sign consists of a sloped base 5 feet high x 20 feet wide, tenant signage up to 15 feet high x 20 feet wide, and a tower element that extends 15 feet above the tenant signage and is 3 feet in width. Height is measured from the midpoint between the elevation of I-405 and the top of slope at the eastern edge of the Project.
Primary Entry Monument	4	15 feet	20 feet	While the overall height is 15 feet, the sign consists of tenant signage up to 10 feet high x 20 feet wide and a tower element that extends 5 feet above the tenant signage and is 3 feet in width. Height is measured from the finished pad.
Main Street Entry Monument	1	14 feet	8 feet	While the overall height is 14 feet, the sign consists of tenant signage up to 6 feet high x 8 feet wide and a tower element that extends 8 feet above the tenant signage and is 3 feet in width. Height is measured from the finished pad.
North Del Amo Entry Monuments	2	8 feet	12 feet	If the signage serves residential development, the sign dimensions shall be no greater than 6 feet high x 8 feet wide. Height is measured from the finished pad.
Parking Garage Signage	Multiple	30 feet	300 feet	The multiple letter and graphic signs shall be provided on parking garage wall area facing Freeway with 60 percent maximum wall coverage.
Note: Signage adjacent to the freeway will comply with Caltrans standards and requirements subject to the approval of the Planning Officer.				



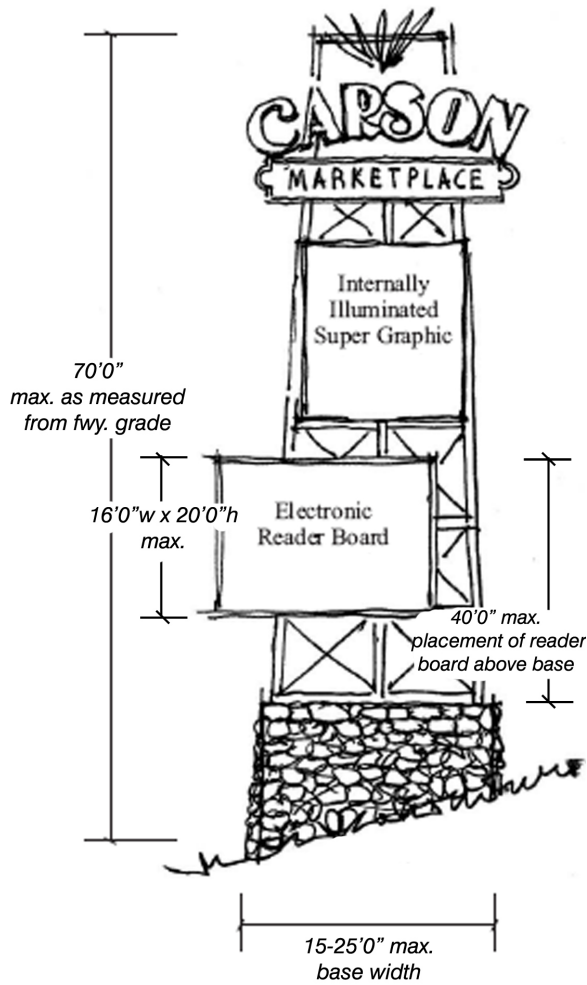
Source: Nadel Retail Architects, 2010.

Figure 6.5a Walls and Fences

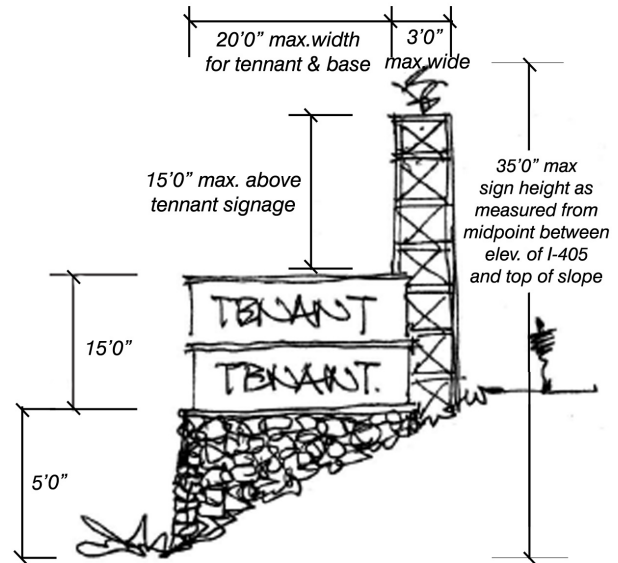


Source: AD/S, 2010.

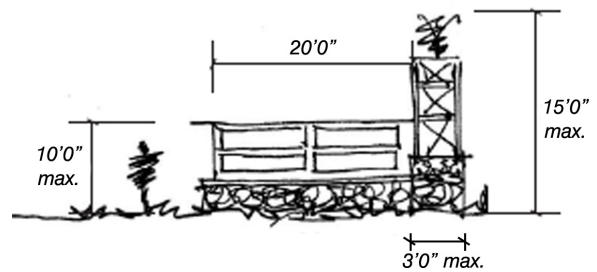
Figure 6.6a Conceptual Sign Locations



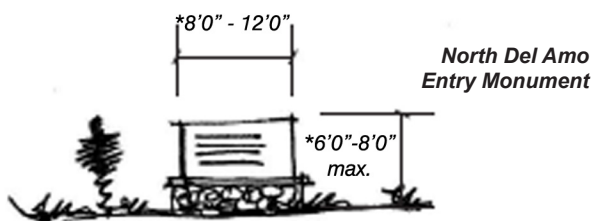
Freeway Icon



Freeway Monument Sign

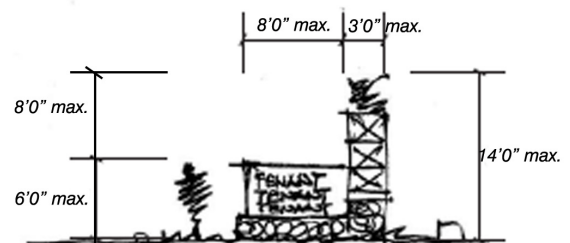


Primary Entry Monument



North Del Amo Entry Monument

*If Sign serves Residential dimensions are reduced to --6'0" x 8'0"



Main Street Entry Monument

Figure 6.6b Conceptual Sign Illustratives

Note: Sign designs are purely conceptual and are intended to illustrate dimensions. Final designs will be provided as part of the comprehensive sign program.

Source: AD/S, 2005.

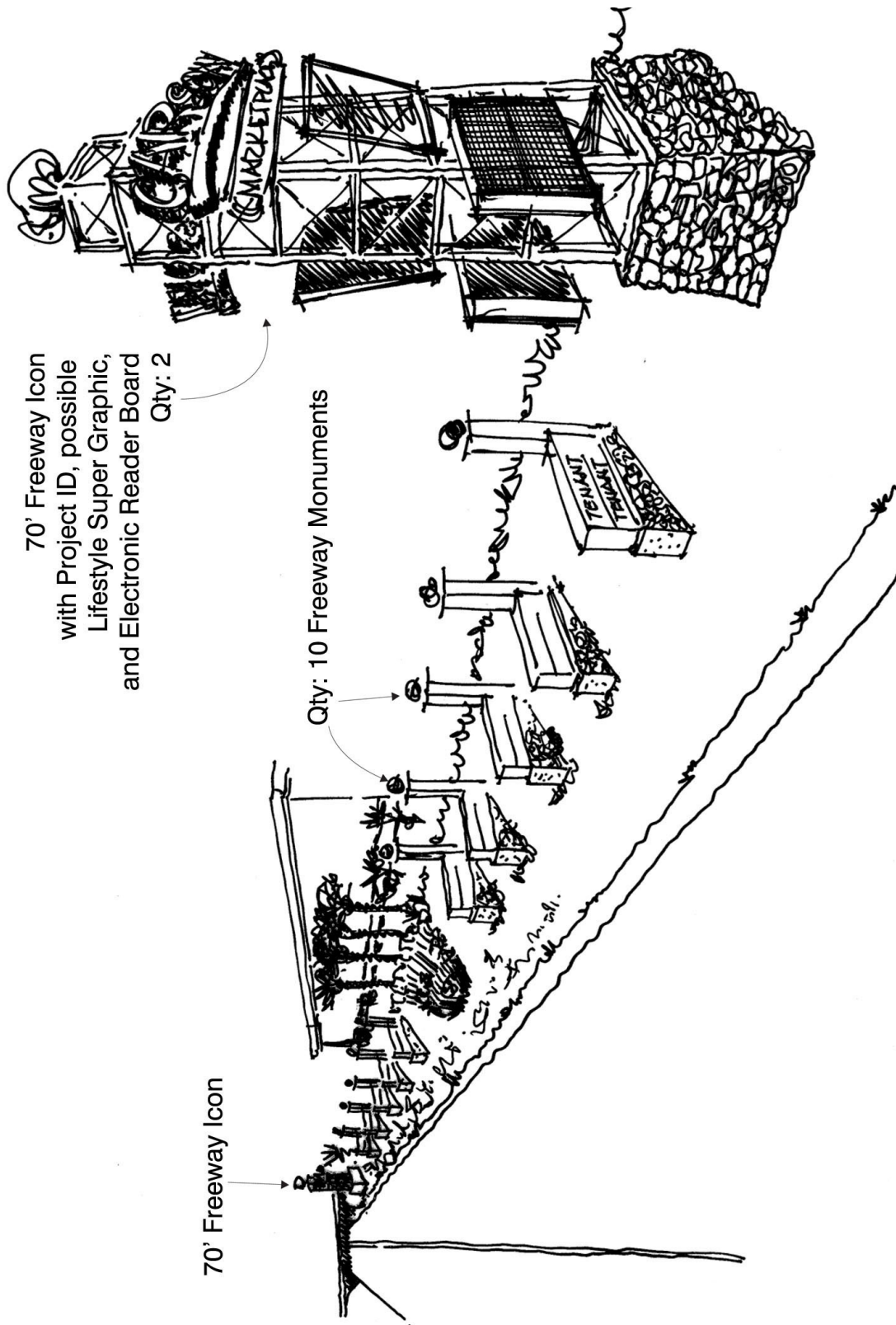


Figure 6.6c Conceptual Freeway Signs Illustrative

Note: Sign designs are purely conceptual and are intended to illustrate dimensions. Final designs will be provided as part of the comprehensive sign program.

Source: AD/S, 2005.

6.7 Lighting

The Boulevards at South Bay lighting standards establish a design framework to guide all future lighting improvements and meet specific lighting standards for each particular application and type of use anticipated within the proposed development options. These standards define the scale, brightness, direction, and shielding for all lighting installations within the Project Site and are intended to restrict light intensity, minimize off-site impacts, proscribe light control methods, and limit light pole heights. Design of lighting is focused on providing comfortable spaces for people to walk and ensuring the safety of residents, visitors and employees. A Lighting Palette, consisting of various lighting styles, is included in Appendix B.

The lighting standards and the resulting lighting improvements establish the basis for evaluation of the proposed lighting impact of this development on the surrounding community. The information presented within the lighting standards establish performance criteria based upon standard practices established by the Illuminating Engineering Society of North America (IESNA) for measurement and design of light sources, illuminated surfaces, and lighting systems. Illuminance data and recommended practice performance standards utilized in this report refer to standards defined in the 9th edition of the IESNA Light Handbook, IESNA RP 6-01, IESNA RP-33-99, and IESNA RP-20-98.

Generally, all light sources will be shielded to prevent direct view of high brightness light sources from adjacent properties. The lighting standards provide for specific control of the direction of light so as to limit glare and any off-site view of glare. This control limits the light distribution angle so that light is primarily directed down to the ground or up to a vertical surface (see Figure 6.7c). Special Event Lighting, Entertainment Lighting, and Construction Lighting are exempt from these angular criteria if the light is focused to restrict any direct illumination of adjacent residential properties.

To provide for safe illumination for vehicles and pedestrians within The Boulevards at South Bay pole-mounted lights will be required for roads and sidewalks. To prevent direct view of these pole-mounted light sources off-site and to reduce the overall brightness of the property, the standards establish maximum heights for street and pedestrian lighting fixtures, maximum horizontal illuminance (foot-candles) at the ground plane, and average to minimum uniformity ratios for light at the ground plane. Lighted signs, landscape, decorative or ornamental structures will be limited to 7 - 50 candelas/square foot per IESNA recommendation for luminous backgrounds in a shopping center. The lighting standards define special lighting criteria for parking areas to prevent direct view of lighting fixtures. The performance criteria are summarized below as a table of measurable numerical criteria based on the various options for commercial, residential, and mixed-use development within the site.

Lighting conditions are analyzed and prototypical solutions are presented for the following project components: Perimeter Roadways, Interior Roadways, At-Grade Parking, Parking Structures, Pedestrian Sidewalks and Walkways, Retail Exterior, Office Exterior, and Residential Exterior. Design performance standards are established for each of the above-mentioned project components by the following issues and their listed measurable criteria:

Light Level Requirements: Task Illuminance (foot candles)

Light Control Methods: Glare/Light Distribution (luminaire photometrics)

Visibility: Pole Height Limits (section diagram)

Design Style or Character: Luminaire and pole characteristics, pattern of light, and color of light

6.7.1 Light Level Requirements

The commercial and social use of The Boulevards at South Bay Project is dependent upon activities at night, which will require illumination for vehicular and pedestrian access, advertising, and on-site tasks or functions. Each of these activities has a defined light level requirement (illuminance, measured in fc) as well as unique color, brightness, pattern, and architectural features. Low-pressure sodium lamps will not be considered for design purposes within these standards. To provide for more aesthetically pleasing environmental conditions, the use of low-pressure sodium lamps is not recommended due to their low correlated color temperature (CCT), particularly less than 2,100K.

Table 6.7-1 summarized light intensity levels (illuminance, foot-candles) recommended by the IESNA for safe operation of vehicles and pedestrian security. Future lighting improvements should meet these minimum standards to provide adequate light for the property for public access. These standards are the recommended maintained horizontal illuminance values for each specified use within the project.

Table 6.7-1 Light Intensity Minimum Requirements			
SPECIFIC USE/AREA	LOCATION OF FOOT-CANDLES	FOOT-CANDLES AVERAGE	UNIFORM RATIO (MIN TO MAX fc)
PERIMETER AND INTERIOR ROADWAYS			
On-Site Circulation Roads	Pavement	1.0	5:1
Entrance Roads	Pavement	1.2	5:1
RETAIL EXTERIOR			
Entrances	Doorway	5.0	-
Facade Floodlighting	Building	3.0	-
OFFICE EXTERIOR			
Entrances	Doorway	3.0	-
Facade Floodlighting	Building	3.0	-
RESIDENTIAL ROADWAYS			
Roadway	Pavement	0.6	5:1
ON-GRADE PARKING			
Parking	Parking Surface	1.0	15:1
PARKING STRUCTURES			
Parking	Parking Surface	5.0	10:1
SIDEWALKS			
Residential	Pavement	0.6	-
Commercial	Pavement	1.0	-

- A. **Perimeter Roadways:** The lighting for perimeter roadways shall provide adequate illumination for safe and efficient vehicular travel. Roadway lighting fixtures shall either be equipped with glare shields or be of a high cutoff type. On-site circulation roads will conform to an “Intermediate” classification characterized by medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity. The entrance roads will be designed to conform to a “Commercial” classification characterized by dense business developments with heavy nighttime vehicular and pedestrian traffic.

- B. **Interior Roadways:** The lighting for interior roadways shall provide adequate illumination for safe and efficient vehicular travel. Roadway lighting fixtures shall either be equipped with glare shields or be of a high cutoff type. Lighting of roadways categorized as Scenic Byways shall be of a minimal level, with fixtures being shielded to prevent glare. Circulation roads within the mixed-use/residential sites will be designed to conform to an “Intermediate” classification defined by medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity. The Boulevards at South Bay entrance roads will be designed to conform to a “Commercial” classification defined by dense business developments with heavy nighttime vehicular and pedestrian traffic.
- C. **Retail Exterior:** The lighting for the exterior of retail buildings and spaces shall be safe and attractive to customers. This can be achieved mainly with entrance accent and façade floodlighting. “Entrances” and “Façade Floodlighting,” as listed in Table 6.7-1, refer to entrances of dense retail developments with heavy nighttime vehicular and pedestrian traffic.
- D. **Office Exterior:** The lighting for the exterior of office buildings and spaces shall be to a level that provides security and egress. If the office use is part of a mixed-use building, then the retail criteria can override the values shown in Table 6.7-1. “Entrances,” as shown in Table 6.7-1, refer to entrances that are unoccupied at nighttime, requiring lighting for entrance identification. “Egress lighting” applies to areas that will be unoccupied at nighttime, requiring lighting for the safe path of travel.
- E. **Residential Exterior:** The lighting for the exterior of residential buildings and spaces shall be to a level that provides security and safe egress. If part of a mixed-use building, then the retail criteria can override the lower values. “Entrances” refers to entrance areas where lighting is required for entrance identification and “Egress Lighting” applies to areas where lighting is required for safe path of travel.
- F. **At-Grade Parking:** The lighting for at-grade parking lots shall be to a level that provides safe movement of vehicles and pedestrians, and the security and safety of customers and employees, as approved by the Sheriff’s Department. Lighting fixtures for parking lots shall either be equipped with glare shields and/or with cutoff capability. Lighting fixture standard height shall not be in excess of what is necessary to meet with recommended minimum illuminance levels identified in Table 6.7-1.
- G. **Parking Structures:** The lighting for parking structures shall be provided at a level that enhances pedestrian safety and visibility. These recommended values should apply to those parking structures used by apartment building and/or commercial developments.
- H. **Pedestrian Sidewalks and Walkways:** The lighting for pedestrian sidewalks and bikeways shall be to a level that increases pathway visibility and safety of pedestrians. For the purposes of these standards and guidelines, “Intermediate” refers to medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity, and “Commercial” refers to dense business developments with heavy nighttime vehicular and pedestrian traffic.

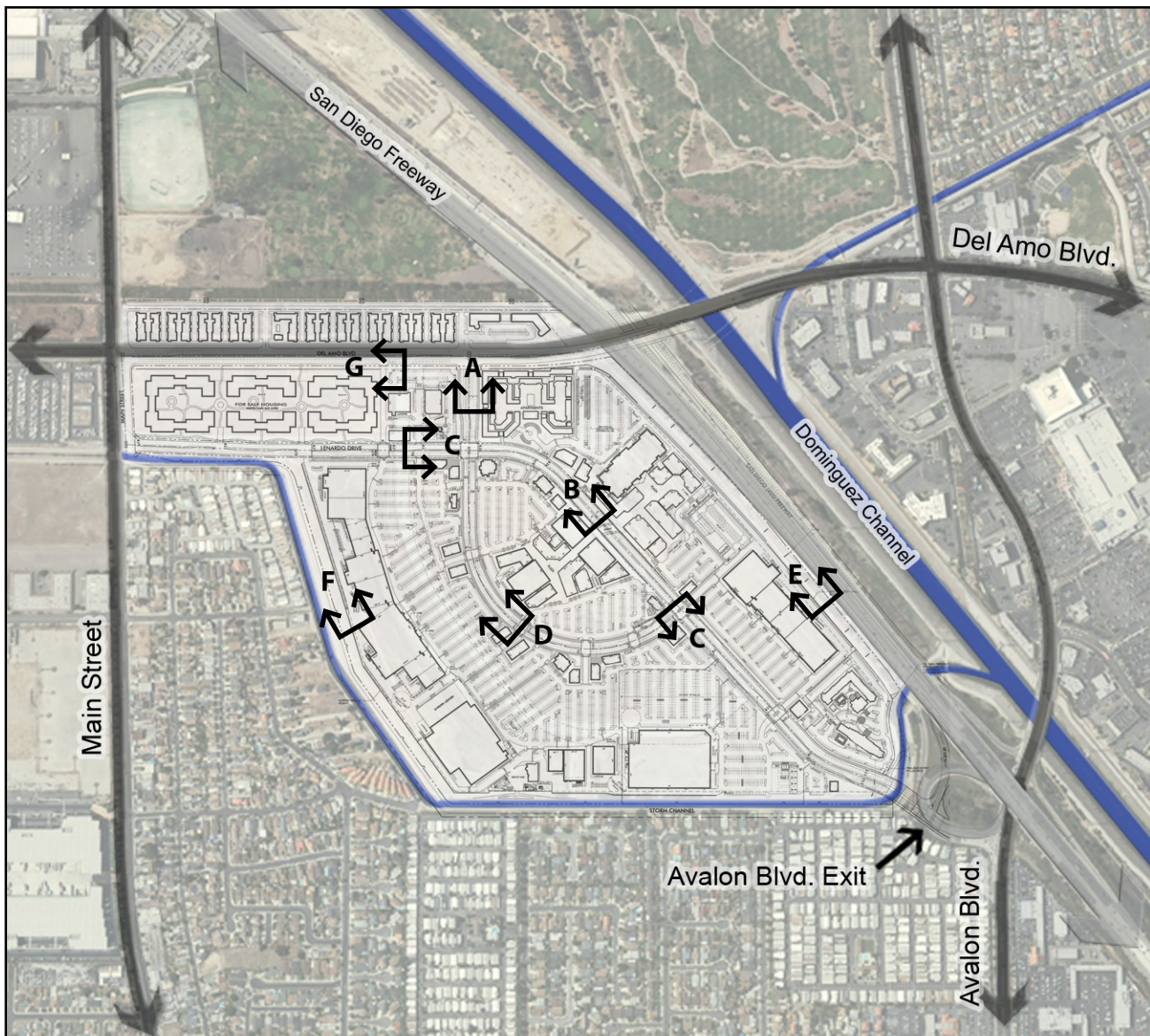
6.7.2 Light Control Methods

- A. **Glare/Light Distribution:** Offensive or unattractive lighting results from excessive contrast, or glare. Glare conditions usually result from highly visible lamps (light bulbs) within landscape, streetlights, parking, security, or entertainment lighting. Proper design and selection of light fixtures, mounting heights, and placement will control the visibility of light sources from outside or within the Project Site, and therefore limit the perception of glare. The lighting standards establish criteria to control the light output, mounting height, and placement of fixtures to reduce glare.
- B. All Parking and Roadway light poles from 12 ft. high to 50 ft. high shall be in accordance with California 2005 Title 24 Energy Code cutoff distributions (see Table 6.7-2).
- C. **Pole Height Limits:** Light pole height limits are established to prevent light trespass from the site onto adjacent properties. These height restrictions will not eliminate complete visibility of the pole itself. Height restrictions in combination with the shielding and glare control restrictions will decrease visibility of the high brightness lamps within the pole fixtures and will prevent stray light from extending over the property line. Lighting shall be constructed, shielded and directed so that adjacent residences are not impacted by light or glare coming from the project site.

Table 6.7-2 Luminaire Photometric Classification	
NAME	DESCRIPTION OF DISTRIBUTION
ILLUMINANCE	
Type I	Narrow, symmetric illuminance pattern
Type II	Slightly wider illuminance pattern than Type I
Type III	Wide illuminance pattern
Type IV	Widest illuminance pattern
Type V	Symmetrical circular illuminance pattern
Type VS	Symmetrical, nearly square illuminance pattern
CUTOFF INTENSITY	
Full cutoff	A luminaire light distribution where zero candela intensity occurs at an angle of 90 degrees above nadir, and at all greater angles than nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10%) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.
Cutoff	A luminaire light distribution where the candela per 1000 lamp lumens does not numerically exceed 25 (2.5%) at an angle of 90 degrees above nadir, and 100 (10%) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.

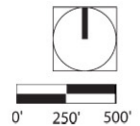
6.7.3 Site Lighting Exhibits

Lighting design exhibits as shown on Figures 6.7a thru 6.7h demonstrate lighting design for each area with intended pole locations and heights, and luminaire head orientations.



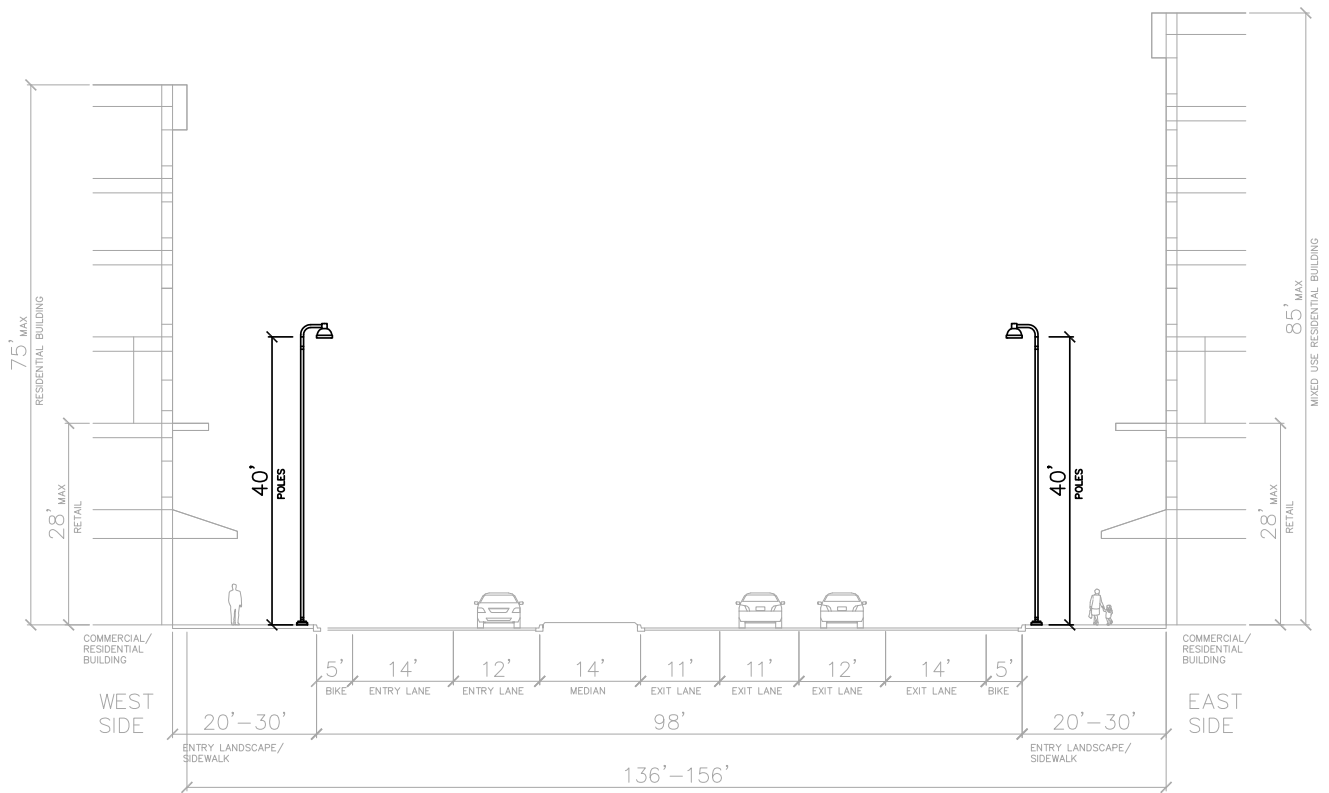
Legend*

- | | |
|---|---|
| A. Del Amo Entrance | E. Freeway Edge (I-405/Project Interface) |
| B. Corridor Road in Entertainment Areas | F. Channel-Adjacent Slope (Residential/Project Interface) |
| C. Typical Corridor Road | G. Del Amo Boulevard |
| D. Loop Road (Private) | |

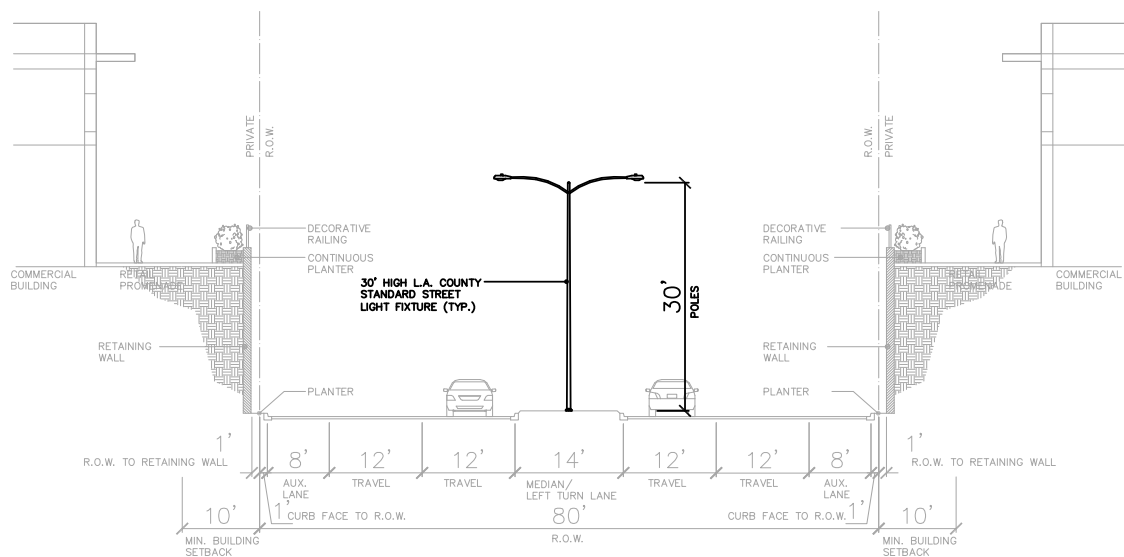


Source: The Planning Center, 2009.

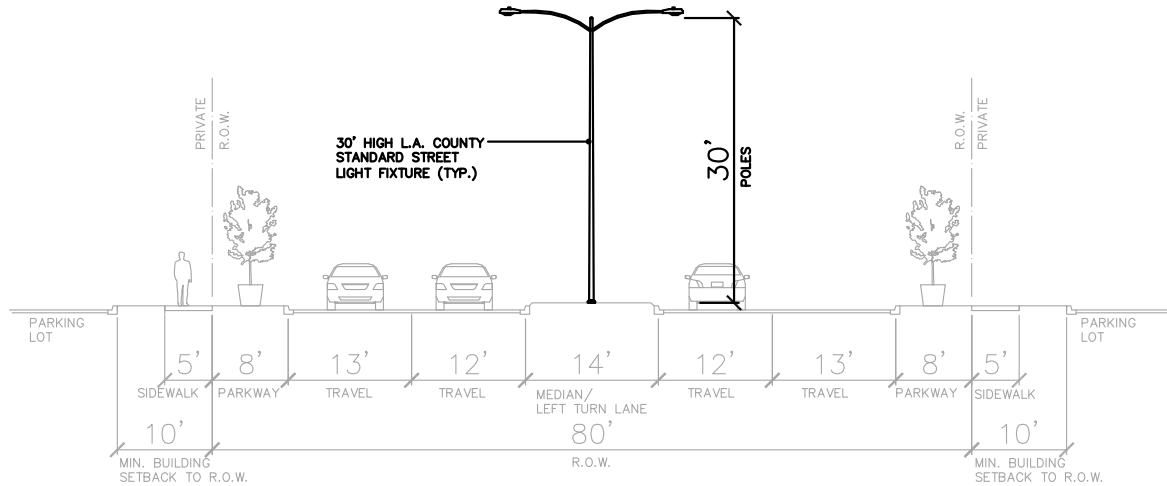
Figure 6.7a Site Lighting Exhibit Key Map

Figure 6.7b Section A - Del Amo Entrance

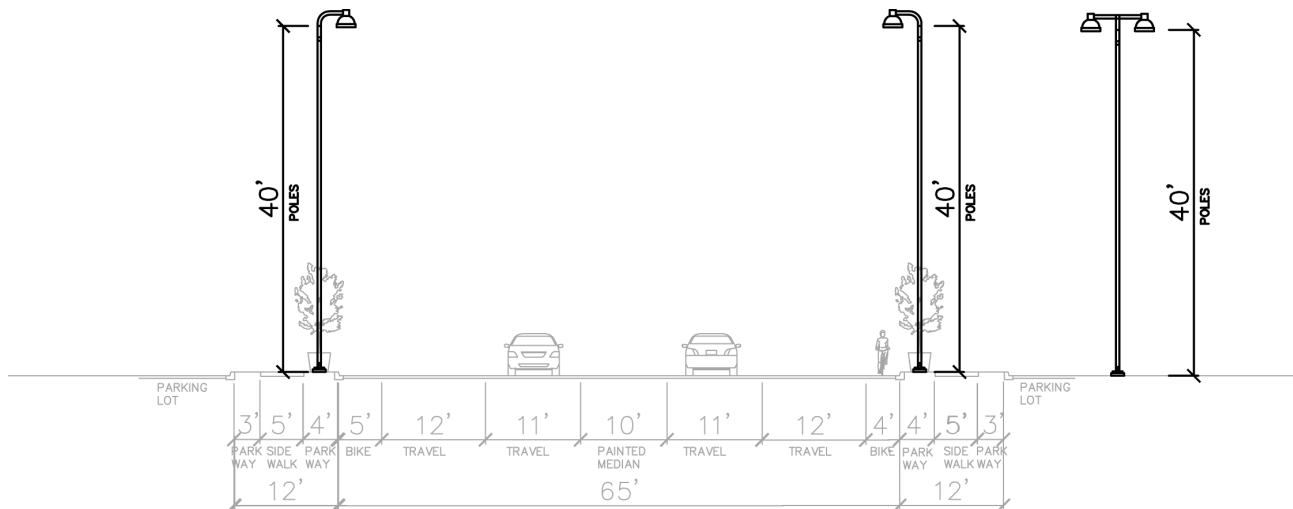
Source: The Planning Center, 2010.

Figure 6.7c Section B - Corridor Road in Entertainment Areas

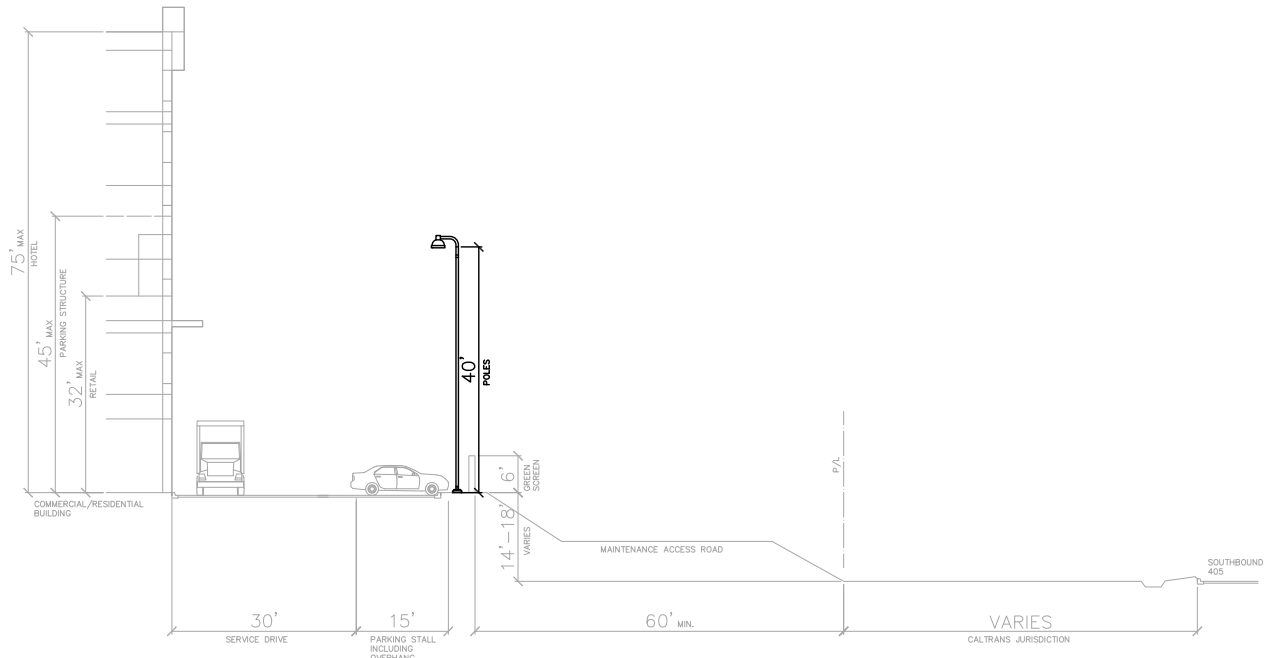
Source: The Planning Center, 2010.

Figure 6.7d Section C - Typical Corridor Road

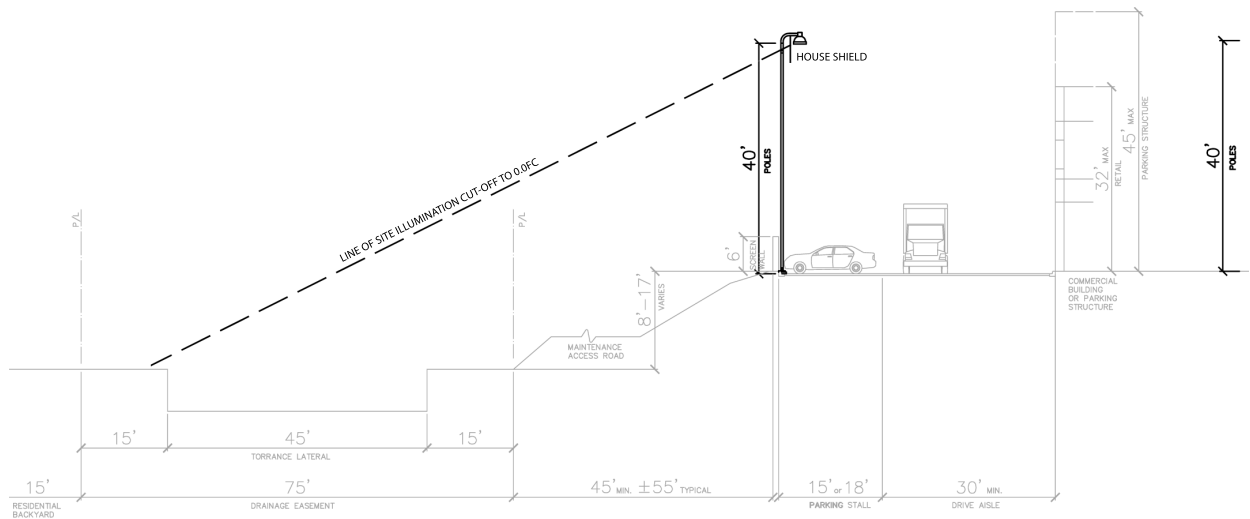
Source: The Planning Center, 2010.

Figure 6.7e Section D - Loop Road (Private)

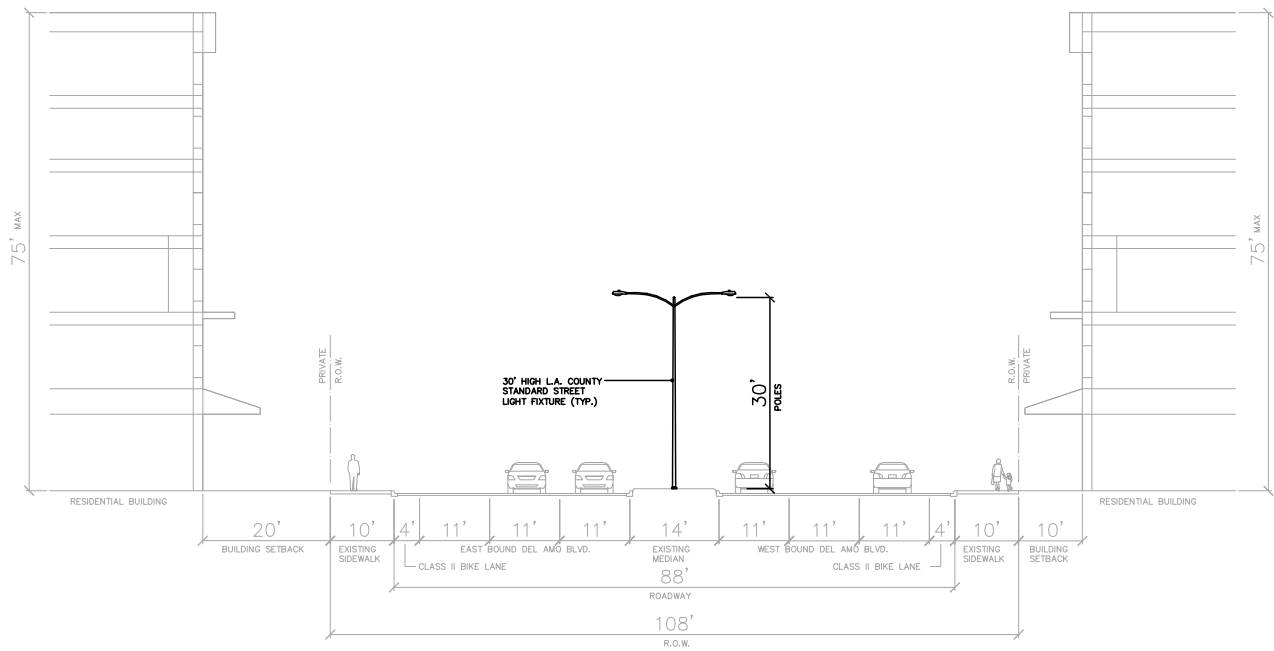
Source: The Planning Center, 2010.

Figure 6.7f Section E - Freeway Edge (I-405/Project Interface)

Source: The Planning Center, 2010.

Figure 6.7g Section - F Channel-Adjacent Slope (Residential/Project Interface)

Source: The Planning Center, 2010.

Figure 6.7h Section G - Del Amo Boulevard

Source: The Planning Center, 2010.

6.8 Service, Trash and Utility Areas

- A. Service, maintenance, storage and trash areas shall be located in discreet places to the extent feasible while still allowing convenient access for each tenant, and screened with landscaping from adjacent public right-of-ways, public plazas, pedestrian corridors and building fronts.
- B. All trash and garbage bins shall be stored in an enclosure and designed to architecturally integrate within the overall design theme of the development.
- C. Trash enclosures located in obscured areas such as behind buildings or adjacent to loading areas shall also be screened from view, but the design of the enclosure shall consist of solid fencing only—landscape and decorative treatments are not required in these areas.
- D. Trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screen a minimum of 80 percent of the view of the trash enclosure. Wood or chain link gates are not permitted.
- E. Trash enclosures shall include provisions for concrete pads or appropriately designed asphalt sections in front of the enclosure. The area in front of the trash enclosure shall be a minimum of six (6) feet to reduce pavement damage from disposal trucks.
- F. When non-residential buildings are adjacent to residential uses, loading and delivery shall be planned to occur on the side of the building away from residences. Loading and delivery areas shall not be located in a required setback area.
- G. Service areas and loading docks shall not be directly visible from a public street. Screening shall match the design of the building and the overall landscape design theme of the development.
- H. Truck maneuvering/circulation areas adjacent to residential properties shall be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces or docks.

6.9 Public Art

Public art is an instrumental feature that can be used to create a connection between the public and any particular project or space. Public art makes spaces more interesting, helps to distinguish one place from another by creating landmarks that are easily recognizable, and creates a unique shopping, working or living environment. Art also revitalizes public spaces and makes them more welcoming. By enhancing the overall quality of a project and giving it a unique character, public art increases a project's value. The following are public art requirements and guidelines.

6.9.1 Public Art Requirements

- A. Public art within the Specific Plan project area shall be provided for the following:
 - 1. New residential or commercial development having total project costs of \$300,000 or more, as determined by the City's valuation of building permits issued for the development;
 - 2. Expansion of existing buildings or remodeling of existing buildings when any such work has a building permit valuation of \$300,000 or more.
- B. Public art provided shall have a value equal to one-half of 1 percent (0.50 percent) of the total building costs (as measured by building permit valuations), excluding land, site development, off-site requirements and remediation costs. The value of the public art shall include the art piece itself and the cost of installation.
- C. Public art may be installed concurrently with each building that triggers the public art requirement; or the value of the required public art for each building can be consolidated, or banked, and applied to the provision of larger installations that serve multiple buildings.
- D. The public art requirements shall not apply to reconstruction of structures that have been damaged by fire, flood, wind, earthquake or other calamity.

6.9.2 General Provisions

- A. Artwork siting and its visibility are important design considerations. The artwork shall be easily visible to the general public and be located in an area specifically designated on the approved building plans. Appropriate locations may include entryways, greenbelts, pathways and building exteriors.
- B. Installation of the artwork shall be planned and implemented to enhance the piece and allow for unobstructed public viewing from as many angles as possible.
- C. The artwork shall be constructed of permanent materials with a high level of durability and weather resistance and requiring a low level of maintenance.
- D. The continued maintenance of the artwork in the specific plan area shall be the responsibility of the property owner. Stolen or vandalized art must be replaced or repaired as close as possible to its original form.

- E. Artwork must be designed by artists with experience and knowledge of monumental-scale public art.
- F. All forms of original visual art are encouraged, including, but not limited to:
 - 1. Painting of all media, such as portable and permanently affixed works such as murals;
 - 2. Sculpture, which may be in the round, bas-relief, high relief, mobile, fountain, kinetic, electronic, architectural, etc. in any material or combination of materials; and
 - 3. Other visual media including, but not limited to: prints, drawings, stained glass, artistic lighting, mosaics, photography, clay, wood, metals, paving, plant materials, plastics, or other durable and weather-resistant materials.
- G. A wide range of styles, materials and types of artworks is encouraged to assure a balanced and interesting collection.
- H. Artwork shall be constructed in a size proportional to the scale of the development.
- I. Artwork shall be an integral part of the landscaping and/or architecture of the building.
- J. Exterior artwork(s) should be adequately lit to be clearly visible from sidewalks during evening hours. Interior artworks should be adequately lit during all hours of public access.
- K. To provide diversity in artwork and opportunity among artists, generally not more than five pieces by the same artist are permitted.
- L. All art within the Specific Plan area belongs to the project owner. The artist, project developer and architect should be credited for their roles in the art project with a plaque placed near the art piece.
- M. Artworks shall be a permanent part of any development within the Specific Plan and must remain in place for the life of the development. If a portion or all of the Project is rebuilt or remodeled, resulting in the movement or removal of art required by the Specific Plan, the required art shall be re-created according to this Public Art section of the Specific Plan.

When property within the Specific Plan area is transferred to new owners, they shall be informed of their responsibility to maintain the artwork and surrounding landscaping and lighting and of their inability to remove any existing artwork without written City approval.

6.10 Noise and Vibration

6.10.1 Noise

- A. Where residential uses are potentially exposed to interior or exterior noise levels greater than those permitted by Chapter 5 of the Carson Municipal Code, certification from a licensed acoustical engineer shall be obtained to document attenuation to those maximum levels. The exterior standards shall be measured either at the closer of the property line or the nearest noise sensitive use such as a patio, yard or landscaped open space.
- B. Commercial uses shall be designed and operated, and hours of operation limited, where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic, trash collection, routine deliveries or late-night activity. No use shall produce continual loading or unloading of heavy trucks at the site between the hours of 8 p.m. and 7 a.m.
- C. Prior to issuance of building permits, the applicant shall submit a detailed acoustical study demonstrating that all project structures will meet applicable City interior noise levels and exterior living area noise levels, in accordance with applicable noise standards and zoning regulations.
 - 1. The study shall be prepared by a City-approved acoustical expert, to the satisfaction of the Planning Manager.
 - 2. The study shall document projected ultimate noise exposure for interior office, retail and residential space and shall demonstrate that Project design plans have incorporated adequate sound attenuation measures to achieve the applicable noise standards.
- D. Noise mitigation and proper design may include, but shall not be limited to, building orientation, double or extra-strength windows, wall and ceiling insulation, and orientation and insulation of vents. Where it is necessary that windows be closed in order to achieve the required level, means shall be provided for ventilation/cooling to provide a habitable environment.
- E. A sound wall may be required at the west property line adjacent to the Torrance Lateral as deemed necessary to minimize visual and noise impacts subject to the approval of the Planning Manager.

6.10.2 Vibration

- A. No use, activity or process shall produce continual vibrations or noxious odors that are perceptible without instruments by the average person at the property lines of the site or within the interior of residential units on the site.

6.11 Energy Conservation

The California Energy Code, Part 6 of Title 24, has codified many ways to reduce energy usage. It addresses lighting, building construction and heating/cooling systems. Compliance with this Code results in a reduction of energy usage for any given building or complex. Additional steps can be taken to further reduce the energy usage and reduce operating costs of a building or complex. The Boulevards at South Bay Project will meet or exceed the requirements of Title 24 through measures that may include:

- A. Use of light-colored roofing materials to reflect heat and reduce cooling requirements in residential and retail buildings. Energy Star-labeled roofing materials are encouraged.
- B. Installation of Energy Star-labeled appliances (e.g., water heaters) to the greatest feasible extent. Solar, electric (efficiency rating of at least 0.92) or lower-nitrogen oxides (as defined by the Air Quality Management District) gas-fired water heaters are strongly encouraged.
- C. Participation in programs offered by or sponsored by local utilities such as:
 - 1. California Energy Star New Homes Program
 - 2. Residential Property Development Program
 - 3. California Home Energy Efficiency Rating System (CHEERS) Program
 - 4. Savings by Design Program
- D. Development of a recycling program for residential and commercial uses to recycle paper, glass, plastic and other by-products of business or residential activities.
- E. Provision of three electric vehicle charging stations in appropriately spaced locations throughout the Specific Plan area.

6.12 Residential Condominium Requirements

6.12.1 Private Storage Space

- A. **Private Storage Space.** Units within the Project developed at densities of 25 units per acre or less shall have at least two hundred (200) cubic feet of enclosed, weather-proofed and lockable storage space for the sole use of the unit owner. Units within the Project developed at densities over 25 units per acre shall have at least one hundred (100) cubic feet of private storage space as described above.
1. Such space may be provided within individual storage lockers, cabinets or closets, and may be split among two (2) locations. Moreover, it is the intention of this standard to require space over and above that normally associated with the day-to-day functioning of the unit, such as guest, linen or clothes closets or food pantries that are customarily within the unit. Thus, while providing such private storage space within the limits of the unit is not precluded, it shall be over and above that which would otherwise be provided within the unit.
 2. If such space is located within a common area within the site, the residential association shall be responsible for the care and maintenance of the exterior surface of the space in order to assure that the surface is maintained in a manner compatible with the architectural treatment of the Project. Regardless of the location, the precise architectural treatment of such space shall be approved by the Planning Department to ensure that such areas are safe, convenient and unobtrusive to the functional and aesthetic qualities of the Project.

6.12.2 Treatment of Utilities

- A. **Plumbing Shut-Off Valves.** Water supply lines to each unit within the Project shall be fitted with shut-off valves of either a hand valve or screw-stop type. If there are extenuating circumstances which make the installation of such valves impracticable, the Planning Commission may approve a system which provides individual shut-off valves ahead of each fixture within the unit. A shut-off valve shall also be provided ahead of each water-supplied appliance not contained within a unit.
- B. **Drip Pans.** Clothes washers, dish washers, hot water heaters and any other appliance which the Building Official determines to be a potential source of water leakage or flooding shall be installed with built-in drip pans and appropriate drains subject to the approval of the Building and Safety Division of the Community Development Department.
- C. **Utility Meters.** With the exception of water supply and central heating and/or air conditioning, each utility that is controlled and consumed within the individual unit shall be separately metered in such a way that the unit owner can be separately billed for its use.
- D. **Circuit Breakers.** Each unit shall have its own circuit breaker panel for all electrical circuits and outlets which serve the unit. Such panel shall be accessible without leaving the unit.

6.12.3 Isolation of Vibration and Sources of Structure-Borne Noise

- A. **Shock Mounting of Mechanical Equipment.** Where units have common walls and/or floors and ceilings, all permanent mechanical equipment such as motors, compressors, pumps and compactors which, because of their rotation, reciprocation, expansion and/or contraction, turbulence, oscillation, pulsation, impaction or detonation, are determined by the Building Official to be a source of structural vibration or structure-borne noise, shall be shock mounted with inertia blocks or bases and/or vibration isolators in a manner approved by the Building Official. Domestic appliances which are cabinet installed or built into the individual units, such as clothes washers and dryers, or other appliances which are determined by the Building Official to be a source of structural vibration or structure-borne noise, shall be isolated from cabinets and the floor or ceiling by resilient gaskets and vibration mounts approved by the Building Official. The cabinets in which they are installed should be offset from the back wall with strip gasketing of felt, cork or similar material approved by the Building Official. Where such appliances utilize water, flexible connectors shall be installed on all water lines. If provision is made within the units for the installation of nonpermanent appliances such as clothes washers and dryers, then permanent rubber mounting bases and surface plates shall be installed in a manner approved by the Building Official.
- B. **Location of Plumbing Fixtures.** No plumbing fixture shall be located on a common wall between two (2) separate units where it would back up to a living room, family room, dining room, den or bedroom of an adjoining unit.
- C. **Separation of Vents and Lines.** No common water supply lines, vents, or drain lines shall be permitted for contiguous units unless there is at least eight and one-half (8-1/2) feet of pipe between the closest plumbing fixtures within the separate units. The Building Official may approve other methods of isolating sound transmission through plumbing lines where their effectiveness can be demonstrated.
- D. **Isolation and Insulation of Lines.** All water supply lines within residential condominium projects shall be isolated from wood or metal framing with pipe isolators specifically manufactured for that purpose and approved by the Building Official. In multistory condominium projects all vertical drainage pipe shall be surrounded by three-quarter (3/4) inch thick dense insulation board or full thick fiberglass or wool blanket insulation for its entire length, including the sections that pass through wood or metal framing.

6.12.4 Attenuation of Noise

- A. **General.** Wall and floor/ceiling assemblies separating units from each other or from public or quasi-public spaces such as interior corridors, laundry rooms, recreation rooms, and garages shall provide airborne sound insulation for walls, and both airborne and impact sound insulation for floor/ceiling assemblies.
- B. **Airborne Sound Insulation.** All wall assemblies enumerated or alluded to in the previous paragraph shall be of a type of construction that has a minimum rating of 58 STC (Sound Transmission Class). All floor/ceiling assemblies enumerated or alluded to in the previous paragraph shall be of a type of construction that has a minimum rating of 50 STC. Wood floor joists and subflooring shall not be continuous between separate condominium units. Penetrations or openings in the construction for piping, electrical outlets and devices, recess cabinets, bathtubs, soffits, heating, and ventilating and/or air conditioning intake and exhaust ducts, and the like, shall be sealed, lined, insulated or otherwise treated to maintain the required rating, and such treatment shall be approved by the Building Official. Entrance doors to the unit shall be of solid construction and, together with perimeter seals, shall have a minimum rating of 30 STC. Such perimeter seals shall be maintained in effective operating condition.
- C. **Impact Sound Insulation.** All separating floor/ceiling assemblies enumerated or alluded to above shall be of a type of construction that has a minimum rating of 69 IIC (Impact Insulation Class). Floor coverings may be included in the assembly to obtain the required ratings, but must be retained as a permanent part of the assembly and may only be replaced by another floor covering that provides the same or greater impact insulation.
- D. **Verification of Sound Class.** STC and IIC ratings shall be based on the results of laboratory measurements and will not be subjected to field testing. The STC rating shall be based on the American Society for Testing and Materials system specified in ASTM B90-66t or equivalent. The IIC rating shall be based on the system in use at the National Bureau of Standards or equivalent. Ratings obtained from other testing procedures will require adjustment to the above rating systems.