

Vicinity Map



Project Data:

APN: 7318-017-022  
 Zoning: MH-D  
 Site Area: 7,500 sq. ft.  
 Building Area: 3,854 sq. ft.  
 Building Type: III-B  
 Parking Data: Refer to Sheet 1.1

Project Address:

20950 South Brant Ave.  
 Carson, CA 90810

Project Description:

This project involves facade, interior and site improvements to accommodate Pug Nation, a private pug rescue organization. Site improvements to the front and rear of the property include new fencing and gates, new landscaping and asphalt repair at the front and rear of the property by grinding and overlaying the asphalt. A new tree and refurbished landscaping is proposed within the front parkway (public right of way). Facade improvements include new entry doors, new roll-up doors, new windows and a new canopy at the front entry. Interior improvements include modification of the existing interior walls and modification of the existing plumbing fixtures to accommodate the needs of the organization.

Presentation Sheet Index:

- 1.0 Existing Overall Plan/ Demolition Site Plan
- 1.1 Proposed Site Plan
- 1.2 Proposed Landscape Plan
- 2.0 Existing/ Demolition Floor Plan
- 2.1 Proposed Floor Plan
- 3.0 Proposed Elevations & Specifications

Project Directory:

**Owner:**  
 John B. Rudy Company, Inc.  
 20950 South Brant Ave.  
 Carson, CA 90810  
 Contact: Barbara Chun  
 P: 310.639.2424  
 E: barbara@jbrudy.com

**Applicant:**  
 Pug Nation Rescue  
 16829 S. Broadway  
 Gardena, CA 90248  
 Contact: Gwenn Vallone  
 P: 310.327.7871  
 E: gwenn@pugnationla.org

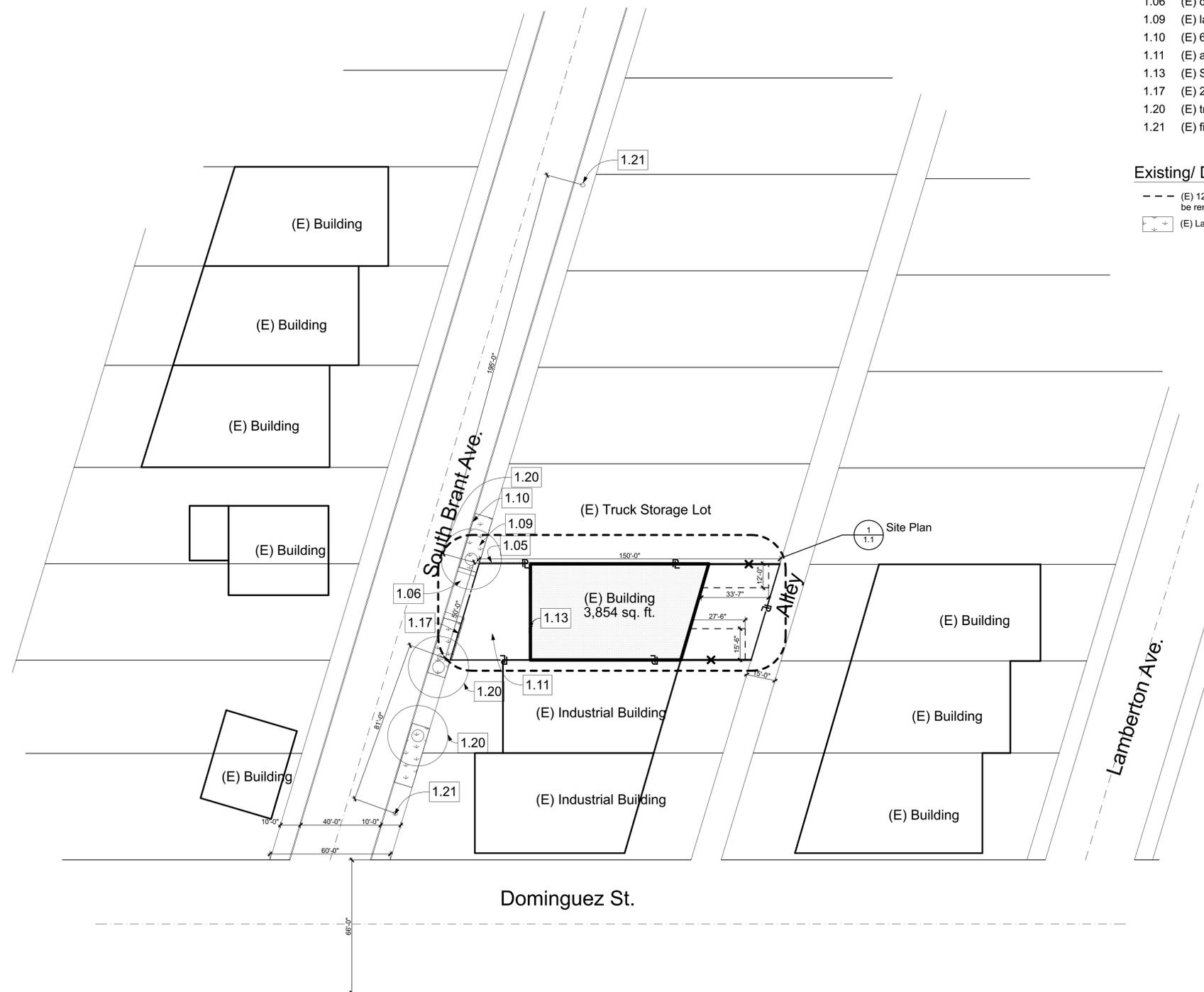
**Architect:**  
 DSEA, Inc.  
 145 South Olive St.  
 Orange, CA 92866  
 Contact: Jon Califf  
 P: 714.313.1420  
 E: jon.califf@gmail.com  
 Contact: Megan Kelly  
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Existing/ Demolition Site Plan Keynotes

- 1.05 (E) 6'-0" high masonry wall to remain. Protect.
- 1.06 (E) driveway apron to remain.
- 1.09 (E) landscape area in public right-of-way.
- 1.10 (E) 6" concrete curb.
- 1.11 (E) asphalt to be ground down and overlaid
- 1.13 (E) Steel Pipe Bollard to remain. Protect.
- 1.17 (E) 2'-0" high masonry wall to remain. Protect
- 1.20 (E) trees.
- 1.21 (E) fire hydrants.

Existing/ Demo Site Plan Legend

- - - (E) 12' high open covered storage to be removed
- ☒ (E) Landscaping.



3 Existing Overall Plan/ Demolition Site Plan  
 1.0 SCALE: 1" = 30'



Existing Overall Site / Demolition Site Plan

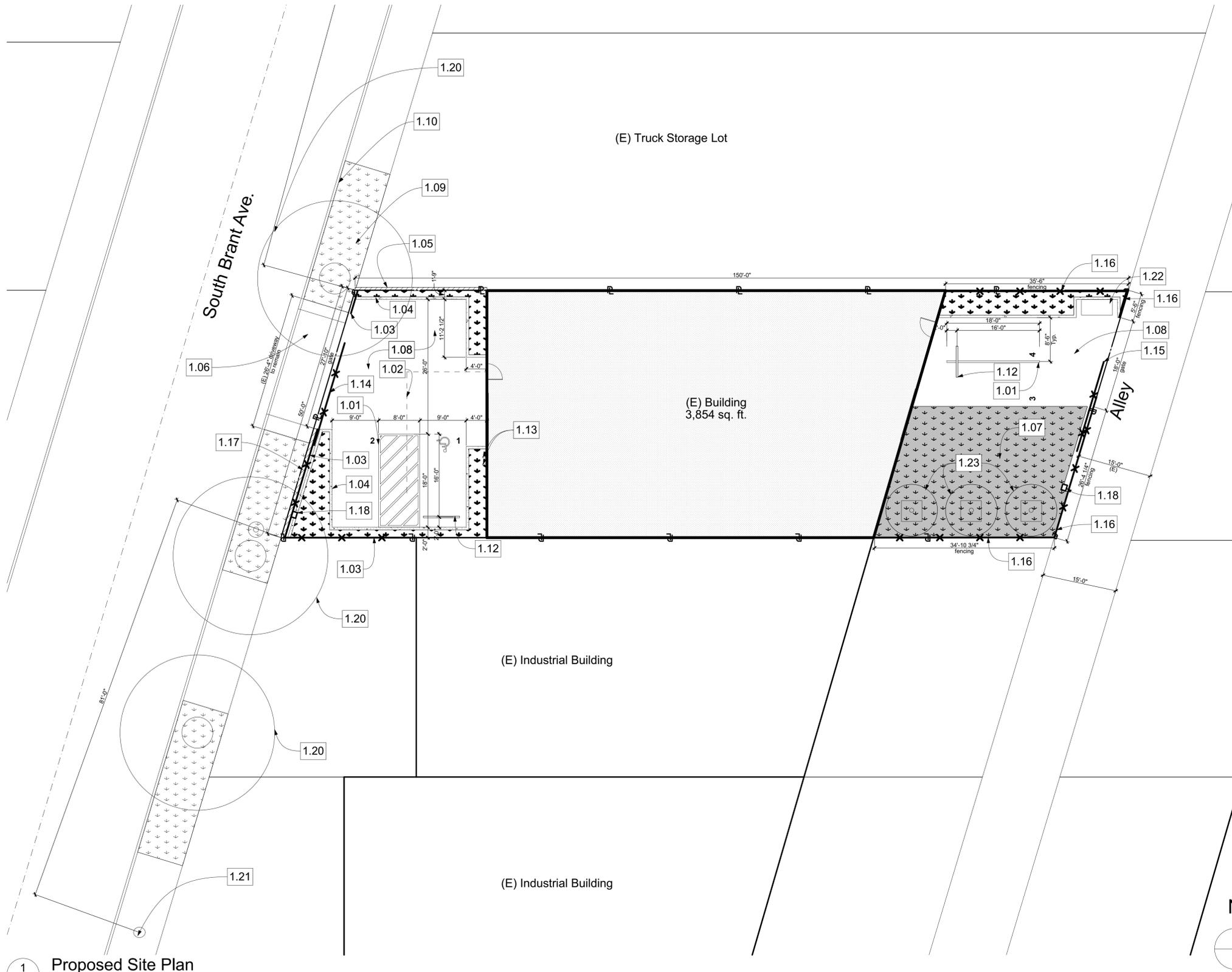
Pug Nation Rescue of Los Angeles

Carson Location

20950 South Brant Ave. Carson CA 90810

9/11/2019

1.0



**Proposed Site Plan General Notes:**

- For fire truck access refer to Sheet 1.0

**Proposed Site Plan Keynotes**

- (N) parking spaces to be striped.
- (N) accessible path of travel.
- (N) 6'-0" high wrought iron fencing. Refer to 8/3.0 sim.
- (N) 6" concrete curb to be installed.
- (E) 6'-0" high masonry wall to remain. Protect.
- (E) driveway apron to remain.
- (N) artificial turf to be installed for dog use.
- Grind and overlay (E) asphalt paving.
- (E) landscape area in public right-of-way.
- (E) 6" concrete curb.
- (N) 7" Conc. wheel stop to be installed.
- (E) Steel Pipe Bollard to remain. Protect.
- (N) 6'-0" wrought iron rolling gate with max. 2'-0" high obscure screen to be installed. Refer to 8/3.0
- (N) 8'-0" high Steel mesh rolling gate to be installed. Refer to 7/3.0
- (N) 8'-0" high Steel mesh fence to be installed. Refer to 8/3.0 sim.
- (E) 2'-0" high masonry wall to remain. Protect
- (N) motor to operate rolling gate.
- (E) trees.
- (E) fire hydrants.
- Location for (N) 2 cy trash bin to be provided by Waste Resources.
- Tree providing shade cover. Plant 15 gal or 24" box Olea eurpoea 'Swan Hill' (fruitless olive) or Photinia fraseri (Fraser's photinia- Tree form) in 48" square x 36" high Old Town Fiberglass "Monterey Square" moveable planter.

**Proposed Site Plan Legend**

- (E) Landscaping.
- (N) Landscaping to be installed w/ irrigation.
- (N) Artificial turf to be installed.

**Parking Data:**

Parking Required: 1 space per 2 employees per shift  
 # of employees at any one time: 5  
 Parking Required: 3 spaces

Parking Provided:  
 -2 spaces in front of building  
 -2 spaces in rear of building (access off alley)  
 4 total

**Landscape Data:**

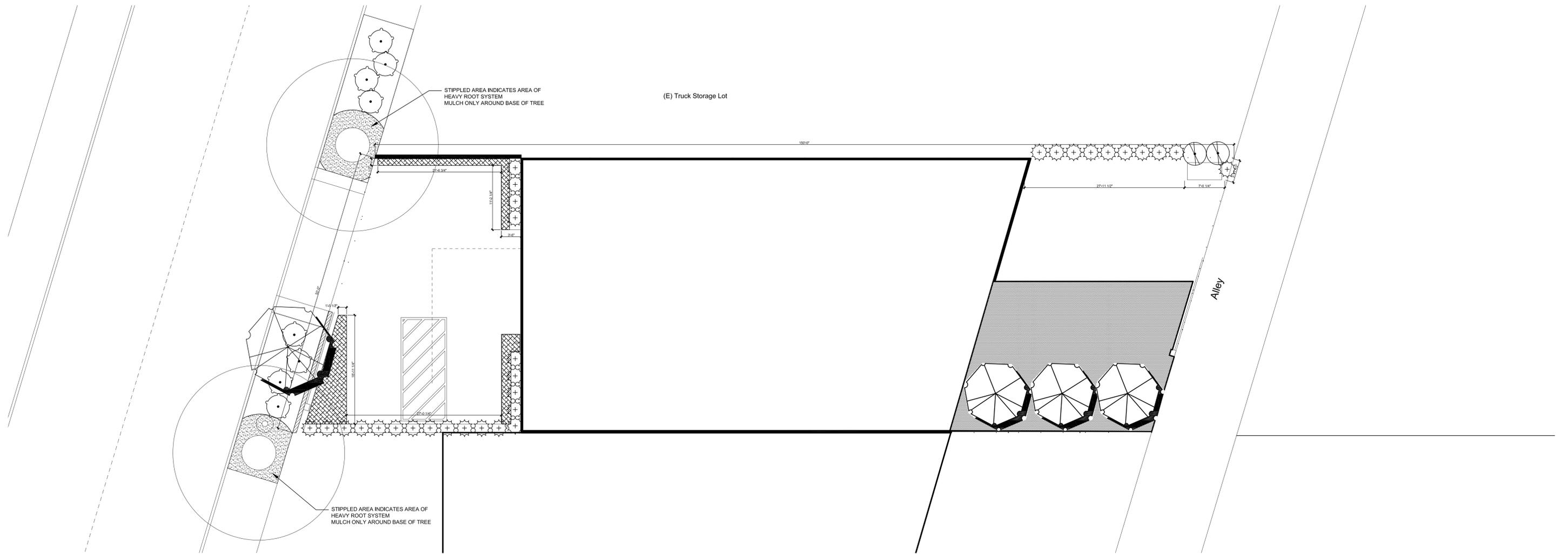
Front Parking Lot:  
 Total Area: 1,560 sq. ft.  
 Amount of Landscape: 262 sq. ft.  
 Percentage: 16.8%

Rear Parking Area:  
 Total Area: 1,674 sq. ft.  
 Amount of Landscape: 1,024 sq. ft.  
 Percentage: 61.1%

Total Open Area:  
 Total Area: 3,234 sq. ft.  
 Amount of Landscape: 1,286 sq. ft.  
 Percentage: 39.8%

1  
1.1 Proposed Site Plan  
SCALE: 1" = 10'

Site Plan shall meet all Engineering & NPDES requirements.



1 Landscape Plan  
1.2 SCALE: 1/8" = 1'-0"

PLANTING LEGEND

TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	NOTES
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	15 GAL	1	LOW	INSTALL W/ ROOT BARRIER LINEAL APPLICATION ONLY DO NOT WRAP ROOT BALL
SHRUBS						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	NOTES
	MUHLENBERGIA CAPILARIS	PINK MUHLY GRASS	5 GAL	7	LOW	
	PRUNUS 'BRIGHT & TIGHT'	BRIGHT & TIGHT CHERRY	15 GAL	2	MED-LOW	COLUMNAR FOR SCREENING
	ROSEMARY TUSCAN BLUE	TUSCAN BLUE ROSEMARY	5 GAL	31	LOW	KEEP HEDGE TO APPROPRIATE HEIGHT AT ARCHITECTURE AND DEPTH AT PARKING SPACES
GROUND COVER						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	NOTES
	MYOPORUM PARVILORIUM OR CERASTIUM TOMENTOSUM	CREEPING MYOPORIUM SNOW & SUMMER	1 GAL	153 S.F.	LOW	SPACED AT 24" O.C.

ALL PLANTERS TO RECEIVE 2" LAYER OF SHREDDED TREE MULCH  
WEED BARRIER SHALL BE INSTALLED FOR ALL TREES WITHIN 5'-0" OF ANY HARDSCAPE SURFACE - APPLY LINEALLY & DO NOT WRAP ROOT BALL

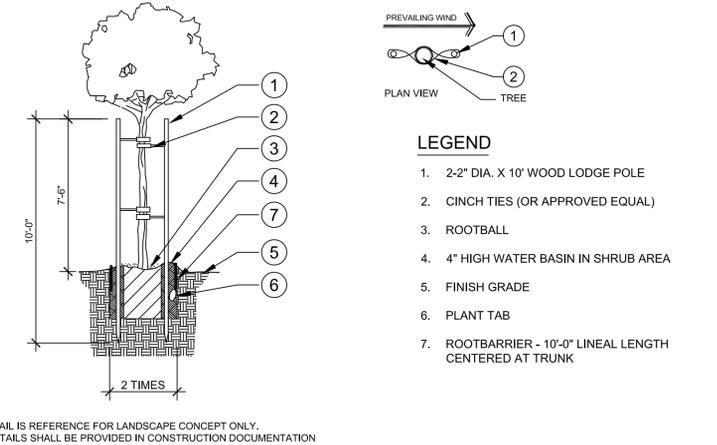
PLANTING NOTES

- TREE MATERIAL SPECIFIED MUST MEET SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED ON PLAN. IF THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION, CONTACT LANDSCAPE ARCHITECT FOR SPECIES SUBSTITUTION; DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/ OWNER WILL NOT BE ALLOWED. TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKWAYS, CONCRETE PAVING, BUILDINGS, FOOTINGS OR UTILITIES OR DRAINS SHALL RECEIVE ROOT BARRIERS- DO NOT WRAP ROOT BALL, APPLY LINEALLY, INSTALL PER MANUFACTURERS INSTRUCTIONS
- PLANTS NOT MEETING THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL BE CONSIDERED TO BE DEFECTIVE, THEY MUST BE IMMEDIATELY REMOVED AND REPLACED (WHETHER PLANTED OR NOT) WITH NEW ACCEPTABLE AND APPROVED PLANTS OF THE REQUIRED SIZE, SPECIES AND VARIETY AT NO ADDITIONAL COST TO THE OWNER.
- ANY MAJOR DIFFERENCES OR FIELD CONDITIONS NOT ADDRESSED IN THE PLANS OR THAT SEEM TO BE IN CONFLICT WITH EXISTING CONDITIONS OR PLANS MUST BE BROUGHT THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY- FAILURE TO DO SO MAY RESULT IN EXTRA WORK/SERVICES BY CONTRACTOR WITH NO ADDITIONAL COST TO CLIENT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY DAMAGE TO EXISTING SITE HARDSCAPE, SOFTSCAPE, OR ARCHITECTURE BROUGHT ABOUT FROM LANDSCAPE INSTALLATION OR REMOVAL.

IRRIGATION NOTES

- LANDSCAPE SHALL BE WATERED WITH A LOW VOLUME AUTOMATIC IRRIGATION SYSTEM
- CONTROLLER SHALL BE 'SMART' WITH WEATHER OR SOIL MOISTURE SENSORS
- TREES AND SHRUBS SHALL BE WATERED ON SEPARATE ZONES (REMOTE CONTROL VALVES)
- TREES SHALL BE WATERED BY DEEP ROOT WATERING IRRIGATION HEADS OR APPROVED EQUIVALENT
- IRRIGATION SHALL MEET ALL STATE AND LOCAL WATER ORDINANCES AND DROUGHT CONDITIONS

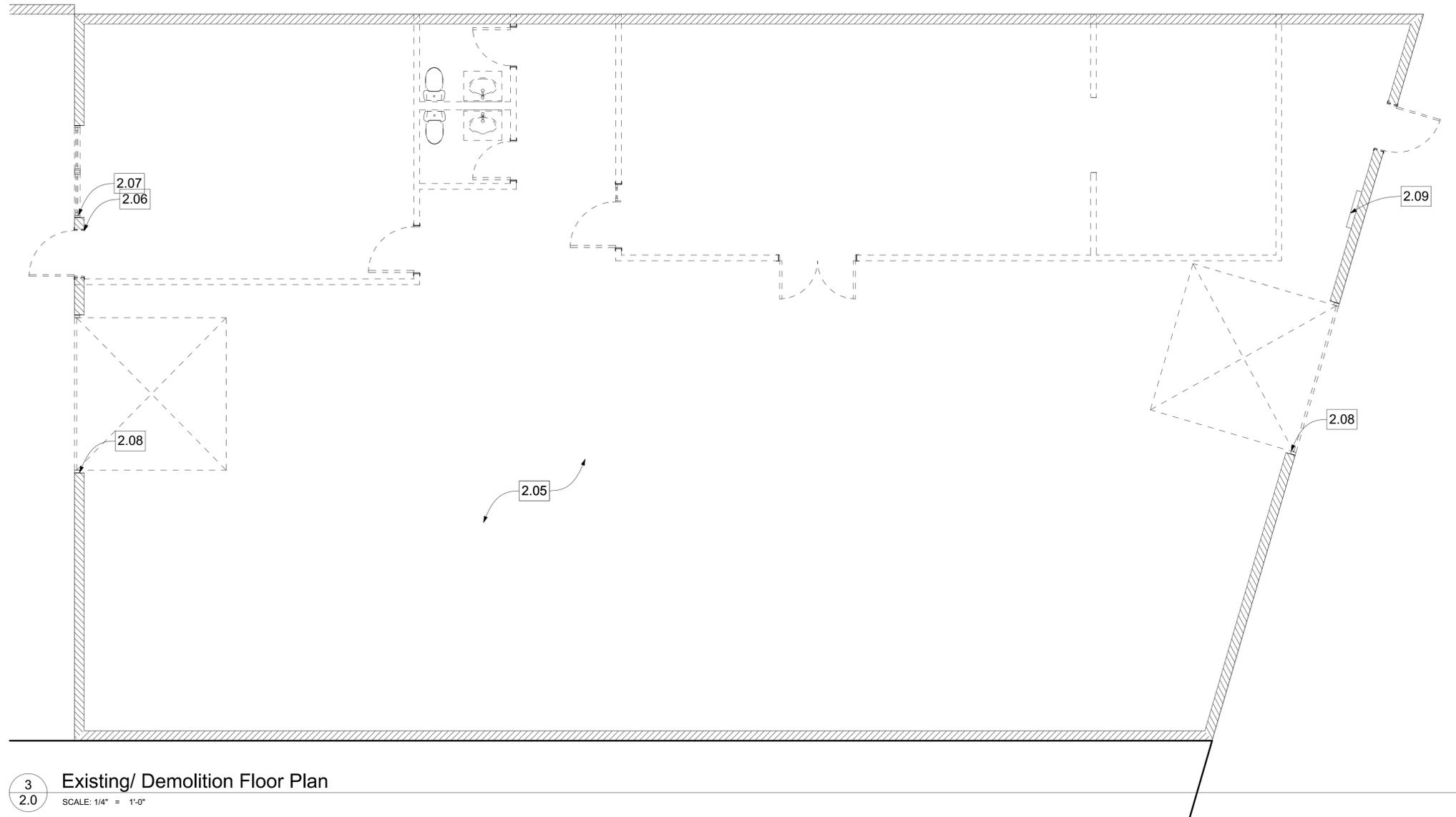
ROOT BARRIER / TREE PLANTING DETAIL



NOTE:  
THIS DETAIL IS REFERENCE FOR LANDSCAPE CONCEPT ONLY.  
MORE DETAILS SHALL BE PROVIDED IN CONSTRUCTION DOCUMENTATION

**Elevation Keynotes**

- 2.05 (E) Conc. slab to remain. Clean & protect.
- 2.06 (E) door and frame to be removed.
- 2.07 (E) window to be removed.
- 2.08 (E) Slab doors to be removed.
- 2.09 (E) Electrical panel to remain.



**Existing / Demolition Floor Plan Legend**

-  (E) Masonry wall
-  (E) Non-load bearing wall to be removed
-  (E) Wall to remain
-  (E) Door to remain
-  (E) Door to be removed

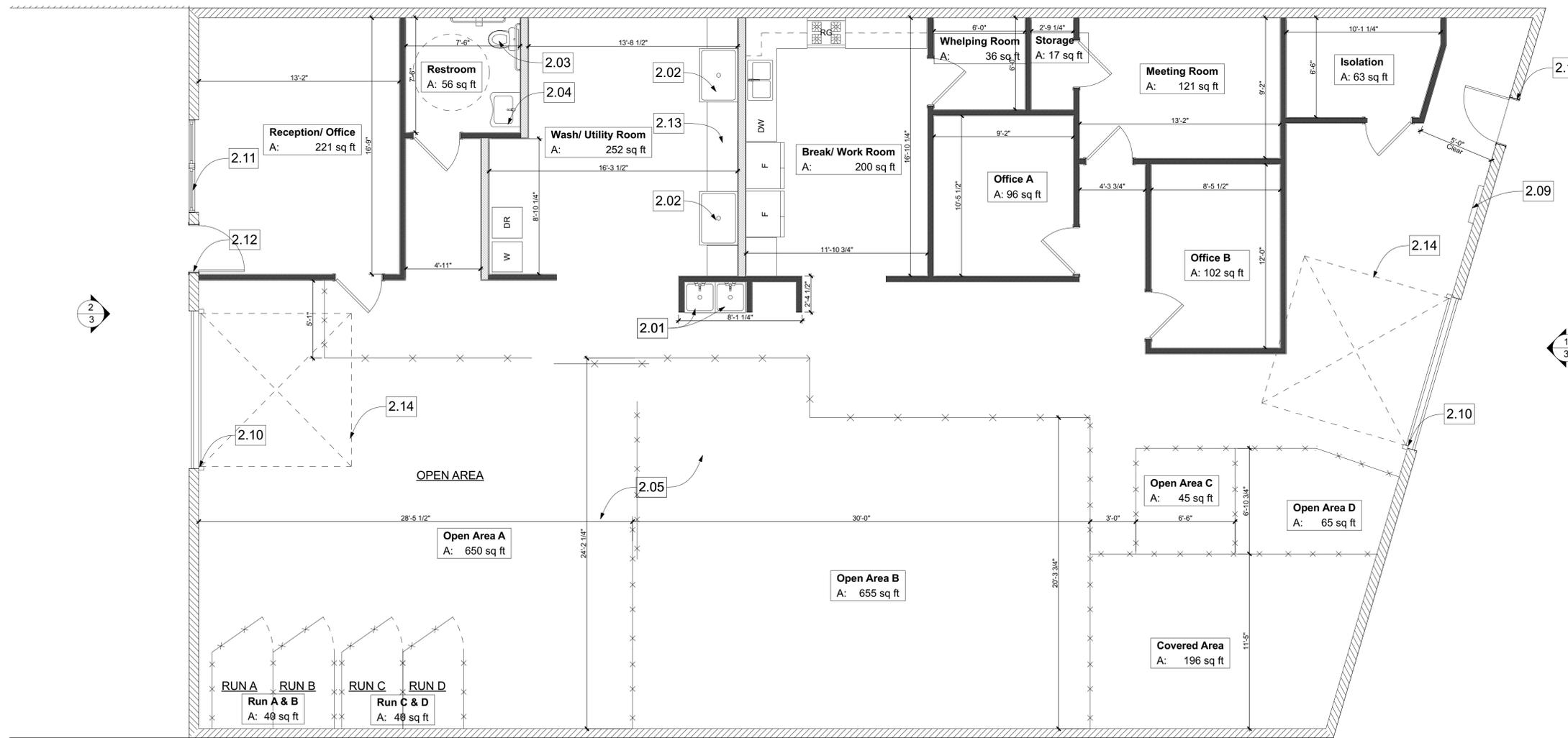
**3** Existing / Demolition Floor Plan  
**2.0** SCALE: 1/4" = 1'-0"

N



**Proposed Floor Plan General Notes**

1. The cleaning of the floor is done by a mop with water supplied from the mop sinks that are to be installed. No floor drain is required.
2. Building will be provided with natural ventilation in accordance with CBC Section 1203.4, or mechanical ventilation in accordance with the California Mechanical Code.
3. This property will have 2 dedicated phone lines to the fire department.



**Proposed Floor Plan Keynotes**

- 2.01 (N) mop sinks to be installed.
- 2.02 (N) dog baths to be installed.
- 2.03 (N) ADA compliant toilet to be installed.
- 2.04 (N) ADA compliant sink to be installed.
- 2.05 (E) Conc. slab to remain. Clean & protect.
- 2.09 (E) Electrical panel to remain.
- 2.10 (N) Sectional aluminum cladd composite door to be installed in (E) opening.
- 2.11 (N) Window to be installed in (E) opening.
- 2.12 (N) Door to be installed in (E) opening.
- 2.13 (N) cabinetry to be installed.
- 2.14 Outline of sectional garage door.

**Proposed Floor Plan Legend**

- Non-rated int. wall assembly. 2x6 wood studs @ 16"o.c. w/ 5/8" gyp. bd on both sides use WR gyp bd. @ bathroom.
- (N) Non-rated int. wall assembly. 2x4 wood studs @ 16"o.c. w/ 5/8" gyp. bd. on both sides.
- (N) Door.
- (E) Masonry Wall

**Proposed Floor Plan Area Data**

**Employee Area:**

Reception/ Office:	221 Sq. Ft.
Restroom:	56 Sq. Ft.
Break/ Work Room:	200 Sq. Ft.
Office A:	96 Sq. Ft.
Office B:	102 Sq. Ft.
Meeting Room:	121 Sq. Ft.
<b>Total Employee Area:</b>	<b>796 Sq. Ft.</b>

**Kennel Area:**

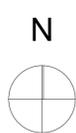
Isolation Room:	63 Sq. Ft.
Whelping Room:	36 Sq. Ft.
Wash Utility Room:	252 Sq. Ft.
Open Area A:	650 Sq. Ft.
Open Area B:	665 Sq. Ft.
Open Area C:	45 Sq. Ft.
Open Area D:	65 Sq. Ft.
Covered Area:	196 Sq. Ft.
Run A, B, C, D:	80 Sq. Ft.
<b>Total Kennel Area:</b>	<b>2,052 Sq. Ft.</b>

**Storage:**

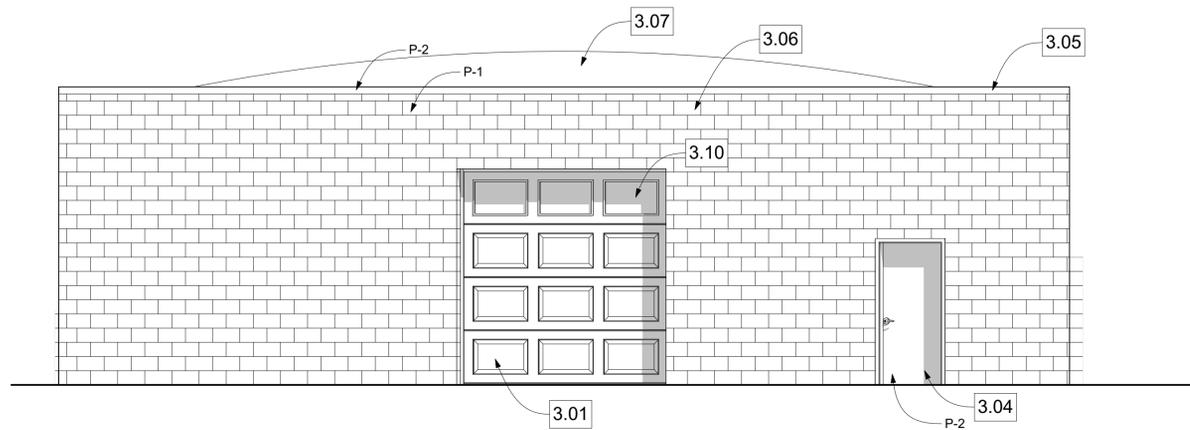
Total Storage Area:	17 Sq. Ft.
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**Circulation:**

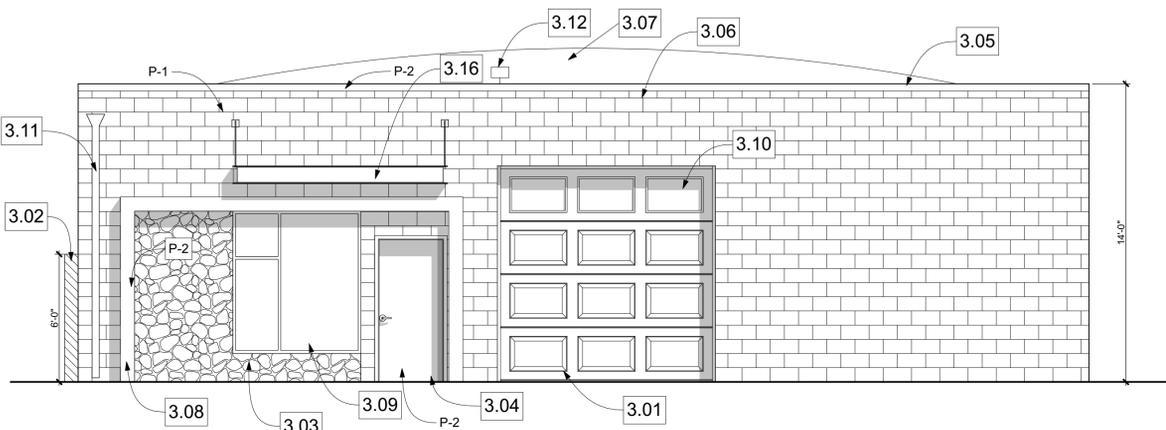
Total Floor Area:	3,854 Sq. Ft.
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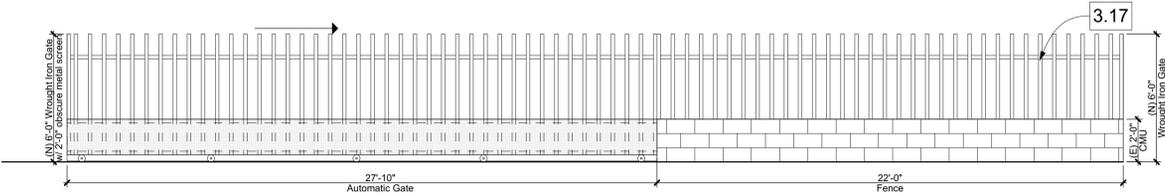
**1**  
**2.1** Proposed Floor Plan  
SCALE: 1/4" = 1'-0"



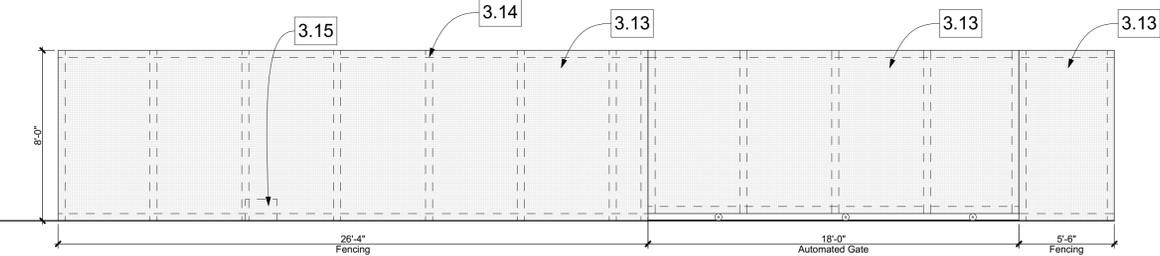
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3.0 Proposed Rear Elevation  
SCALE: 1/4" = 1'-0"



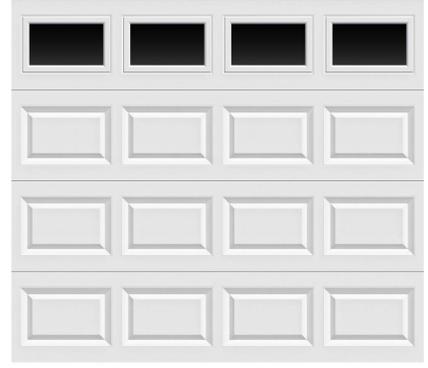
2  
3.0 Proposed Front Elevation  
SCALE: 1/4" = 1'-0"



8  
3.0 Front Fencing Elevation  
SCALE: 1/4" = 1'-0"



7  
3.0 Rear Fencing Elevation  
SCALE: 1/4" = 1'-0"



Proposed Garage Door- Aluminum clad composite

Elevation Keynotes

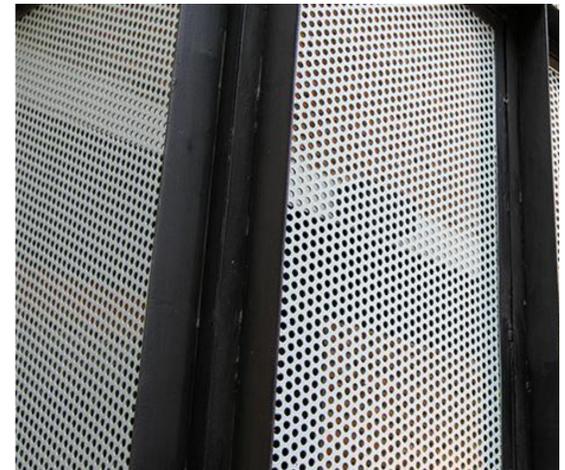
- 3.01 (N) sectional garage door to be installed in (E) opening.
- 3.02 (E) wall to remain. Protect.
- 3.03 (E) rock to remain. Protect.
- 3.04 (N) metal door and frame to be installed in (E) opening. Paint.
- 3.05 (N) S.M. coping. Paint.
- 3.06 (E) masonry wall. Paint.
- 3.07 (E) roofing to be replaced over (E) bowstring truss roof assembly.
- 3.08 (E) CMU detail. Paint.
- 3.09 (N) window in (E) opening.
- 3.10 Glass at top section of garage door.
- 3.11 (E) downspout to remain.
- 3.12 LED light fixture.
- 3.13 Install obscure metal screen along rear and side property lines. Refer to Proposed Rear Fencing & Gate Material image on Sheet 3.
- 3.14 Steel frame to be on the interior side of the property
- 3.15 Outline of motor for automatic gate beyond.
- 3.16 (N) Aluminum canopy architectural enhancement.
- 3.17 (N) 6'-0" high wrought iron fence and 2'-0" high obscure metal screen to be installed flush in back of the existing 2'-0" high CMU wall and along southern side property line.



P-1: Cold Wind DE6351



P-2: Tarnished Silver DE6355



Proposed Fencing & Gate Material- obscuring perforated steel mesh