

## Residential Floor Area Calculations - (RFA)

Description	Existing	Proposed / Addition	Credit	Final
Main Building	1,012.0	428	0	1,440.0
ADU	395.0	0	0	395.0
Porch	0	0	0	0
Storage	0	0	0	0
Other	0	0	0	0
<b>Total</b>	<b>1,407.0</b>	<b>428.0</b>	<b>0</b>	<b>1,835.0</b>

## Building Analysis

Description	SFD	ADDITION	Final
Bedrooms	3	1	4
Bathrooms	1	1	2
Laundry	0	1	1
Parking	2		
Building Height	13'		
Number of Stories	1	1	

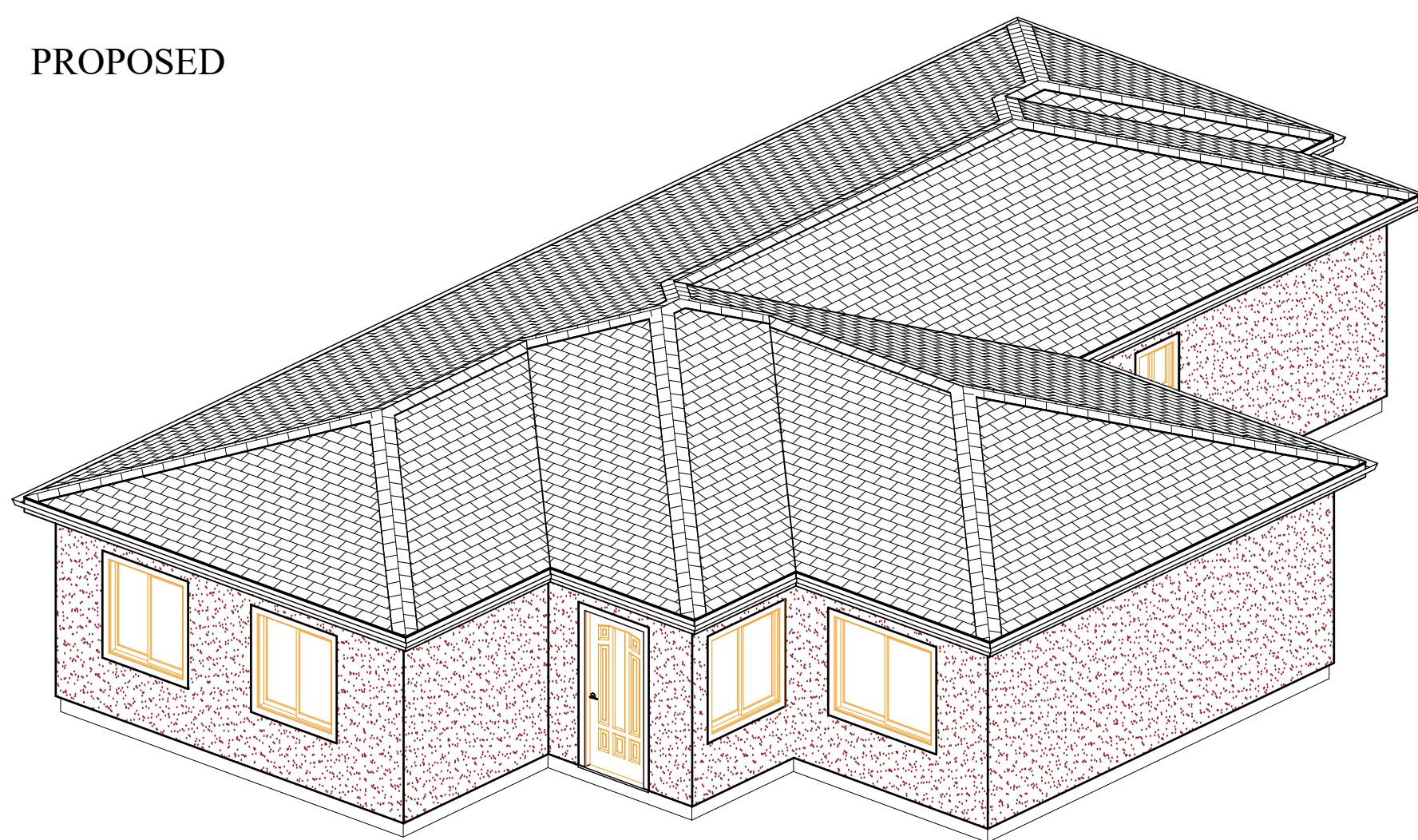
Lot Size	4,600 sq.ft.
Max. RFA @45 %	2,070.0 sq.ft.
Proposed	1,835.0 sq.ft.

## Sheet Index

A-0	Cover Sheet / Project Info / Vicinity Map
A-1.0	Site Plan (E)(P)
A-2.0	(E)(P)Floor Plan / (E)(P)Roof Plan /
A-3.0	Elevation Plans / Sections
S-0.0	Structural Plans / Notes / Details
S-6.0	Structural Plans / Notes / Details
GRN-1	2020 Green Building Standards
T-1	BOOKLET-Mechanical Title 24 Calcs
T-2	BOOKLET-Mechanical Title 24 Calcs

## OVERVIEW:

PROPOSED

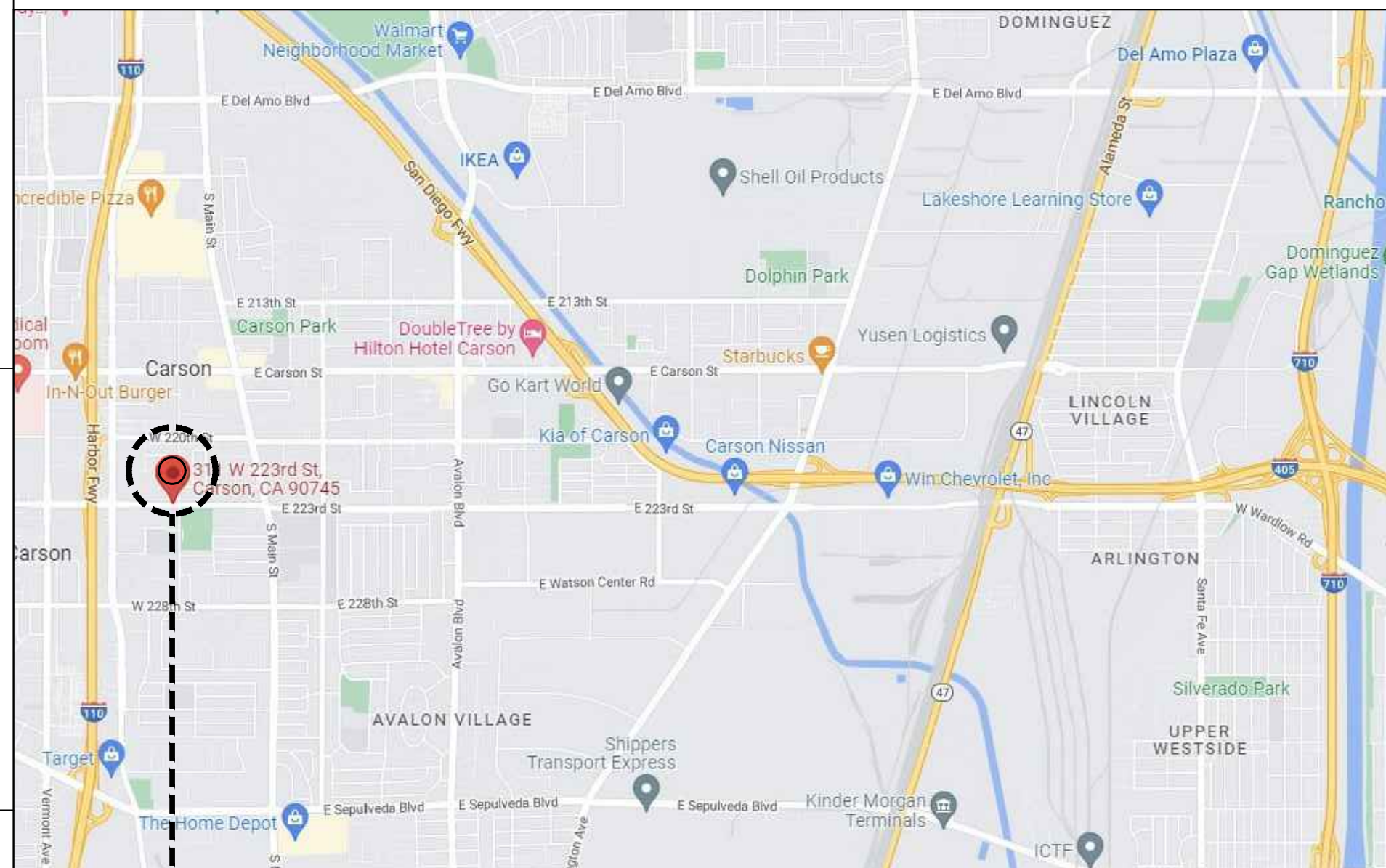


## SCOPE OF WORK:

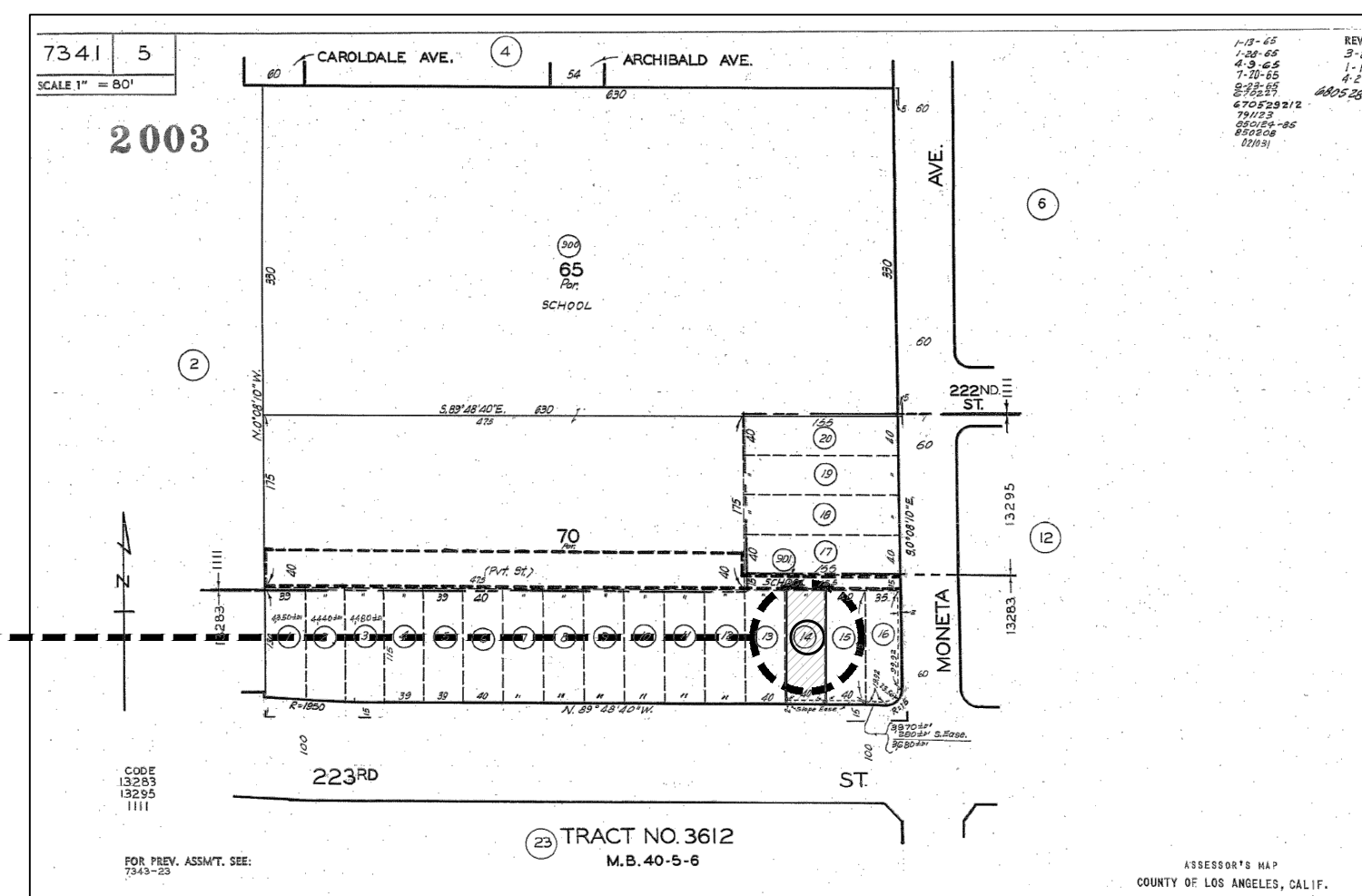
**ADDITION OF MASTER BEDROOM AND LAUNDRY ROOM TO EXISTING SFD (TOTAL ADDITION ~428.0 SQFT)**

**Main SFD Non-Sprinklered**

## VICINITY MAP:



## PROJECT SITE

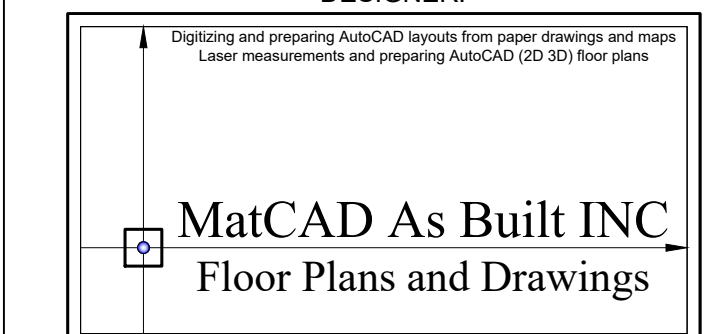


## GENERAL REQUIREMENTS:

### GENERAL REQUIREMENTS: SINGLE FAMILY DWELLING & DUPLEX

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines—whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide (72) inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. (1210.2.3, 2406.4.5, R307.2, R308.4)
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6.9)
- Water heater must be strapped to wall. (Sec. 507.3, LAPC)
- A Fire Alarm (visual and audible) system is required. The alarm system must be approved by the Fire Department and Electrical Plan Check prior to installation. (LAMC 57.122)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (3162B)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, where a permit is required for alterations, repairs, or additions. (R314.2)
- Carbon Monoxide alarm is required per (Sec 420.6, R315)
- Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF MATCAD AS BUILT INC AND CANNOT BE COPIED, DUPLICATED OR EXPLOITED IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION OF THE DESIGNER.



MatCAD As Built INC  
5928 WHITSETT AVE  
VALLEY VILLAGE CA 91607

Tel. (818) 331-5259  
Fax (818) 000-0000  
E-Mail: matcad2015@gmail.com  
matcad2015@hotmail.com

www.Matfloorcad.com

### Owner:

LEIDA PEREZ  
Tel#: +1(657)464-0846

**Project Name:**  
ADDITION OF MASTER BEDROOM  
AND LAUNDRY ROOM  
TO EXISTING SFD  
(TOTAL ADDITION ~428.0 SQFT)

Project Address:  
311 W 223rd St,  
CARSON CA 90745

REV #1

REV #2

REV #3

FOR APPROVAL STAMP

FOR APPROVAL STAMP

CONSULTANT:

DRAWN BY:

JOB NUMBER:

PRINT DATE:

SHEET NO:

*AShot*

ASHOT MATEVOSYAN

000-01820-4/4

08/04/2022

**A-0.0**

## CONSTRUCTION HOURS:

Construction Hours:  
Effective January 1, 2008  
THE APPROVED HOURS FOR CONSTRUCTION ACTIVITIES  
REQUIRING A BUILDING PERMIT IN ALL ZONES ARE:

Permitted Construction / Demolition Hours  
(LAMC, Chapter IV, Article 1, Sec. 41.40)

Monday-Friday: 7:00 a.m. - 9:00 p.m.  
Saturday or National Holiday: 8:00 a.m. - 6:00 p.m.  
Sunday & City Holidays: Not Permitted

EXCEPTION TO HOURS:  
HOMEOWNERS WHO ARE PERFORMING THEIR OWN CONSTRUCTION (NO  
CONTRACTORS OR EMPLOYEES) MAY WORK SUNDAYS AND CITY HOLIDAYS  
8:00 a.m. TO 5:00 p.m.

City Holidays:  
New Year's Day, Martin Luther King Day, Presidents' Day, Memorial Day, Independence Day,  
Labor Day, Veterans' Day, Thanksgiving Day, Day after Thanksgiving, Christmas Day

## LEGAL DESCRIPTION

Site Address: 311 W 223RD ST CARSON CA  
ZIP Code: 90745  
Lot/Parcel Area (Calculated): 4,600.0 (sq ft)  
Assessor Parcel No. (APN): 7341-005-014  
Tract: TRACT NO 3612 W 40 FT OF E 120 FT OF  
S 130 FT EX OF ST OF LOT 70  
Use Code: 0100 (Single Family Residence)  
Zoning: RS  
Building Square Footage: 1,012.0 (sq ft)  
Building Class: D5B  
Year Built: 1952  
Bedrooms / Bathrooms: 3 / 1

**EXHIBIT 2**

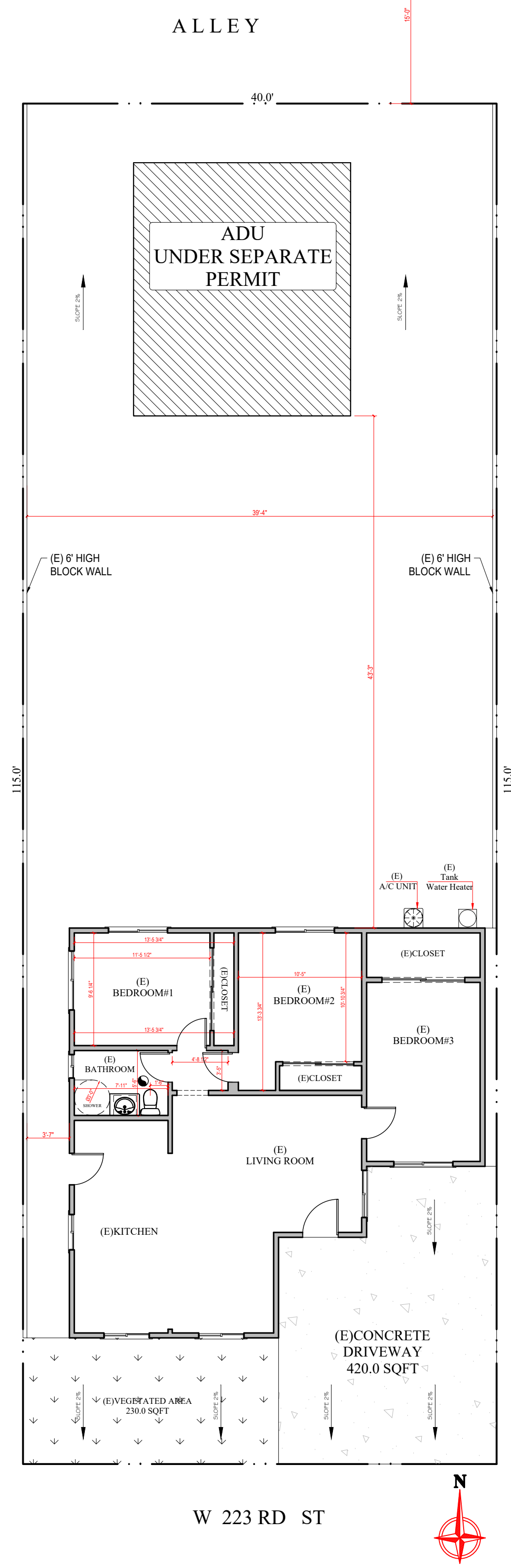
## GENERAL NOTES:

All construction shall comply with the 2019 edition of the CBC, CRC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and this jurisdiction.

- Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition.
- All property lines, easements, and existing buildings have been indicated on this site plan.
- A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-1-3302.3)
- Water shall be provided on the site and used to control dust.
- Temporary toilet facilities shall be provided on site. (BMC 9-1-1-3305)
- The finish grade shall slope a min. of 5%, or 6", to a point 10 feet from building foundation, or to an approved alternative method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CRC R401.3)
- The top of exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CRC R403.1.7.3)

## BUILDING CODES ADOPTED

2019 California Administrative Code  
2019 California Building Code  
2019 California Residential Code  
2019 California Mechanical Code  
2019 California Plumbing Code  
2019 California Electrical Code  
2019 California Energy Code  
2019 California Existing Building Code  
2019 California Green Building Standards Code  
2019 Building Energy Efficiency Standards  
2020 LARC  
2020 City of Carson Municipal Code

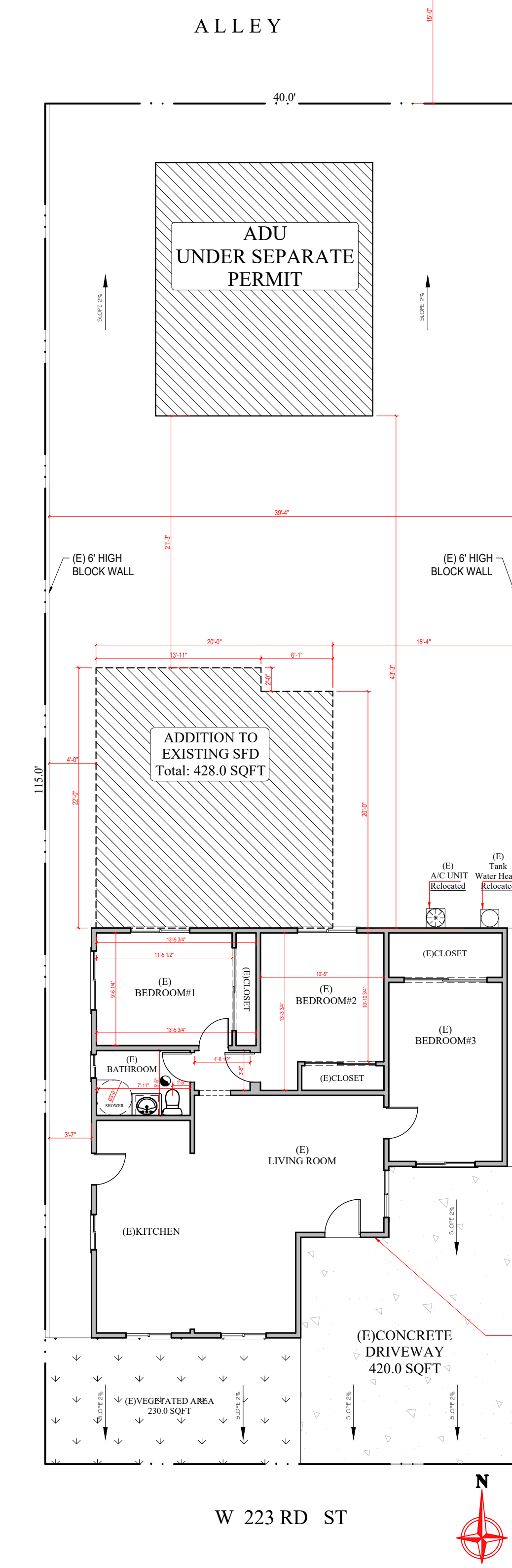


**(E) SITE PLAN**

SCALE: 1/8" = 1'-0"

**NOTES:**

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic **Gas Shut Off Valve** or **Excess Flow Shut Off Valve** will be installed on the fuel gas line on the down-stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158 and 180,670) Separate plumbing permit is **required**.
- Provide ultra-flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide (70) (72) inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. (1210.2.3, 2406.4.5, R307.2, R308.4)
- Water heater must be strapped to wall. (507.3 & LAPC)
- Sprinkler system must be approved by the Mechanical Division prior to installation.
- A fire alarm (visual and audible) system is required. The alarm system must be approved by the Fire Department and Electrical Plan Check prior to installation. (LAMC 57.122)
- Carbon monoxide alarm is required per (420.6, R315)



**(P) SITE PLAN**

SCALE: 1/8" = 1'-0"

**SMOKE DETECTORS:**

- AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1,000. (CRC R314.1, R314.6.2.a.1)
- BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. (CRC R314.4)
- SMOKE DETECTOR SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R314.4)
- CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT.
- SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R314.6)
- CARBON MONOXIDE ALARMS:**
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1,000. (CRC R315.1, R315.2.2)
- CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CRC R315.1.2)
- CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL2034, UL2075, AND MAINTAIN PER NFPA 720. (CRC R315.1, R315.1.1)
- CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. (CRC R315.2.6)
- CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC R315.1.3, R315.2.5)
- IN EXISTING DWELLING UNIT A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN REMOVAL OF WALL OR CEILING FINISHES. (CRC R315.2.4 EXCEPTION 2)

**Water-Conserving Plumbing Fixtures Certificate of Compliance**  
 Building Division  
 Community Development Department

Project Address: 311 W 223 Rd ST CARSON 90745 Permit No: \_\_\_\_\_

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Section 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standard Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply the requirements as listed below.

Owner's Name: PEREZ LEIDA Date: 08/04/2022

Owner's Signature: \_\_\_\_\_

	Single-Family Residential	Multi-Family Residential
Water Closet	1.28 gals/flush	Water Closet 1.28 gals/flush
Showerhead	2.00 gals/min	Urinal 0.50 gals/flush
Multiple Showerheads	2.00 gals/min combined	Showerhead 2.00 gals/min
Lavatory Faucet	1.50 gals/min	Multiple Showerheads 2.00 gals/min combined
Kitchen Faucet	1.80 gals/min	Lavatory Faucet (within units) 1.50 gals/min
		Lavatory Faucet (common areas) 0.50 gals/min
		Kitchen Faucet 1.80 gals/min

**Best Management Practices for Construction Activities**  
 Storm Water Pollution Control Requirements for Construction Activities  
 Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forced of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be disposed into a covered receptacle to prevent contamination of rainwater and dispersal of wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadway must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name \_\_\_\_\_  
 (Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 (Owner or authorized agent of the owner)

**GENERAL NOTES:**  
 SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEAD SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THEN 6 FT ABOVE THE FLOOR. (CRC R307.2)

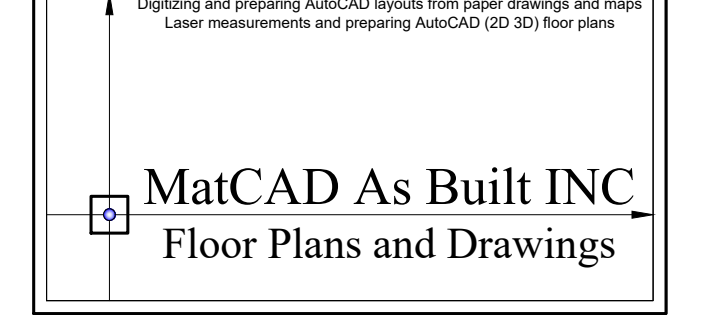
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN PASSED

**WINDOW AND DOOR DETAIL NOTE:**  
 FOR DOOR AND WINDOW JAM/SILL DETAILS REFER TO SHEET A-4.0 DETAILS D01, D02, D03

**RODENT PROOFING:**  
 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

**LAUNDRY NOTE:**  
 A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED [CMC 504.3.1]  
 A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6FT. AND CANNOT BE CONCEALED [CMC 504.3.1.1]  
 DRYER EXHAUST CANNOT EXCEED 14' WITH A MAX. OF TWO 90° ELBOWS [CMC 504.3.1.2]

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF **MATCAD AS BUILT INC** AND CANNOT BE COPIED, DUPLICATED OR EXPLOITED IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION OF THE DESIGNER.



MatCAD As Built INC  
 5928 WHITSETT AVE  
 VALLEY VILLAGE CA 91607  
 Tel. (818) 331-5259  
 Fax (818) 000-0000  
 E-Mail: matcad2015@gmail.com  
 matcad2015@hotmail.com  
 www.Matfloorcad.com

**Owner:**  
 LEIDA PEREZ  
 Tell#: +1(657)464-0846

**Project Name:**  
 ADDITION OF MASTER BEDROOM  
 AND LAUNDRY ROOM  
 TO EXISTING SFD  
 (TOTAL ADDITION ~428.0 SQFT)

Project Address:  
 311 W 223Rd St,  
 CARSON CA 90745

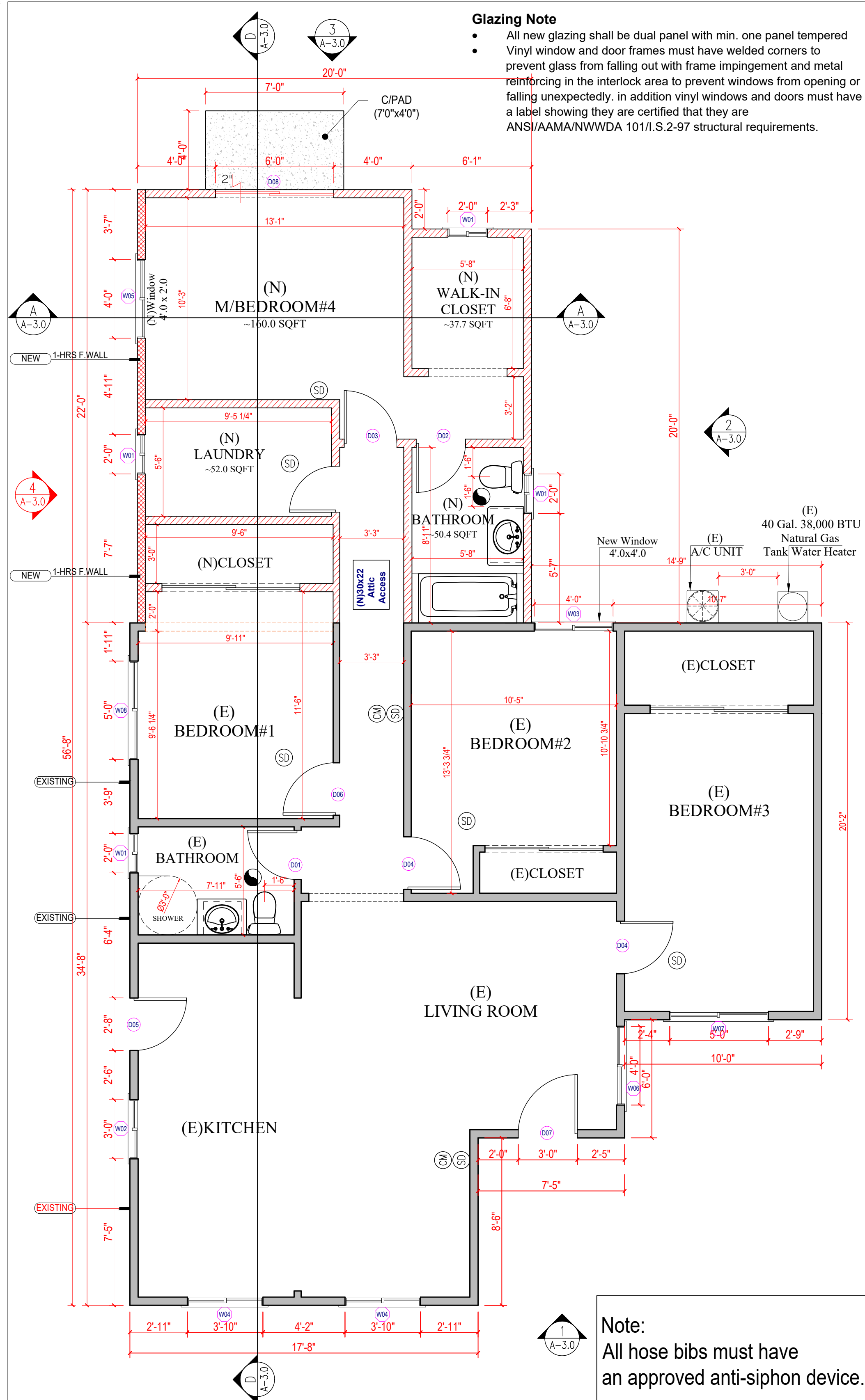
REV #1	
REV #2	
REV #3	

FOR APPROVAL STAMP

FOR APPROVAL STAMP

CONSULTANT:	
DRAWN BY:	ASHOT MATEVOSYAN
JOB NUMBER:	000-01820-4/4
PRINT DATE:	08/04/2022

SHEET NO:  
**A-1.0**



**(P)FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- NOTE:**
- All fixtures, equipment, piping, and materials shall be listed.
  - Applications for which no permit is issued within 180 days following the date of application shall automatically expire.
  - Every permit issued shall become invalid unless work authorized is commenced within 180 days after its issuance or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days.
  - Green board shall not be used
  - Safety glass for bathroom windows, per CRC R308.4.5.
  - All emergency escape and rescue openings shall have a minimum clear opening of 5.0 square feet on first floor with a minimum net clear opening height of 24 inches and width of 20 inches, which shall be addressed on plans, per CRC R310.2.1

**CALGreen NOTE:**

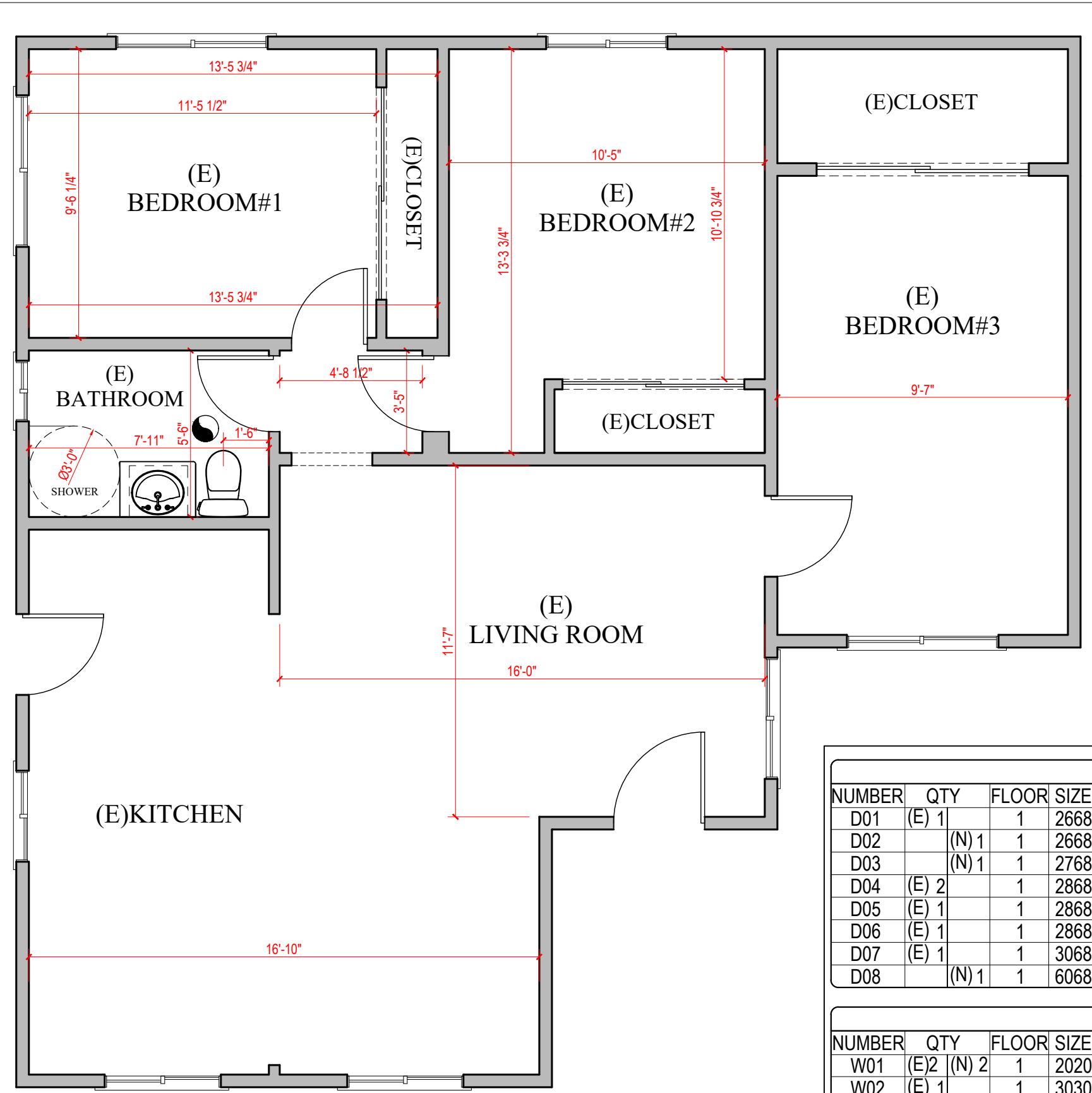
- A minimum of 65 percent of the construction waste generated at the site shall be diverted to recycle or salvage, per CGBSC 4.408.1.
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

**Glazing Note**

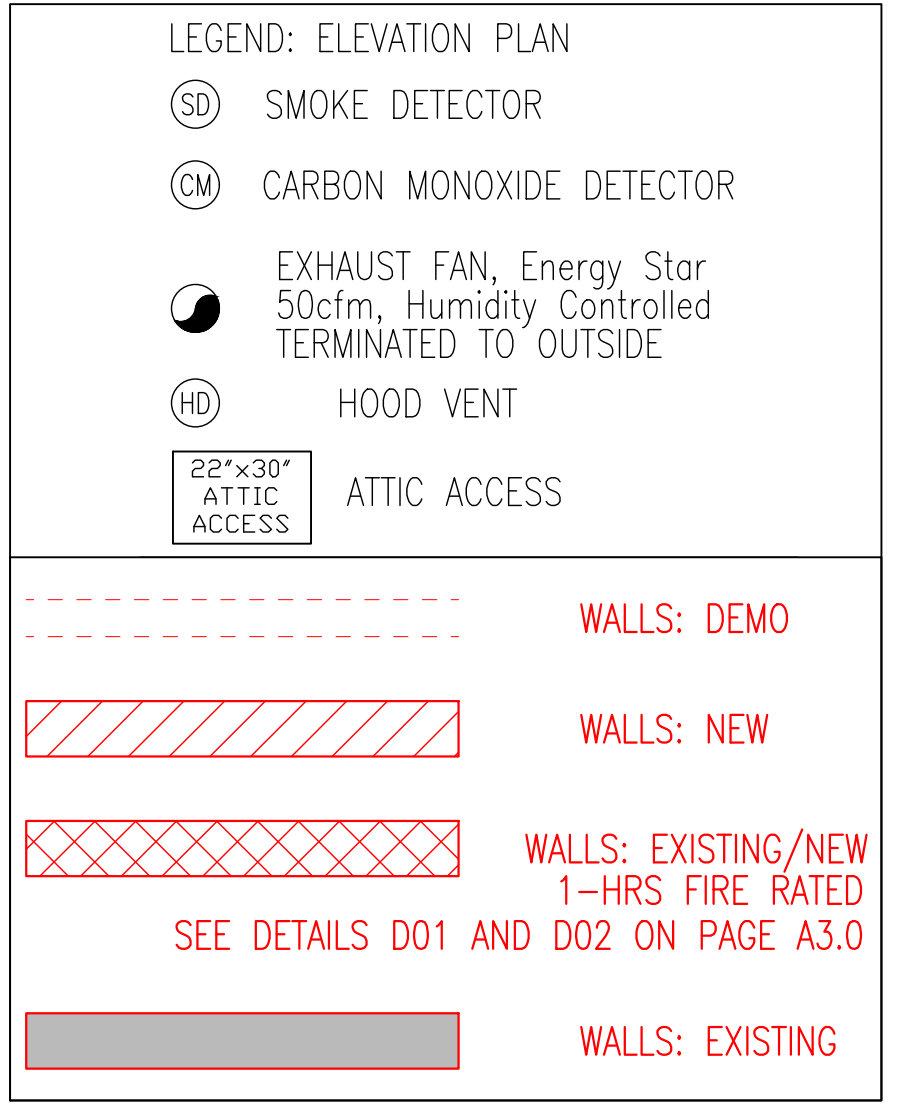
- All new glazing shall be dual panel with min. one panel tempered Vinyl window and door frames must have welded corners to prevent glass from falling out with frame impingement and metal reinforcing in the interlock area to prevent windows from opening or falling unexpectedly. In addition vinyl windows and doors must have a label showing they are certified that they are ANSI/AAMA/NWDA 1011.S.2-97 structural requirements.

**Note:**  
All hose bibs must have an approved anti-siphon device.

**PLUMBING NOTE:**  
PEX Piping for all water lines



**(E)FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**Note #1:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

**Note #2:** A hand-held shower shall be considered a showerhead.

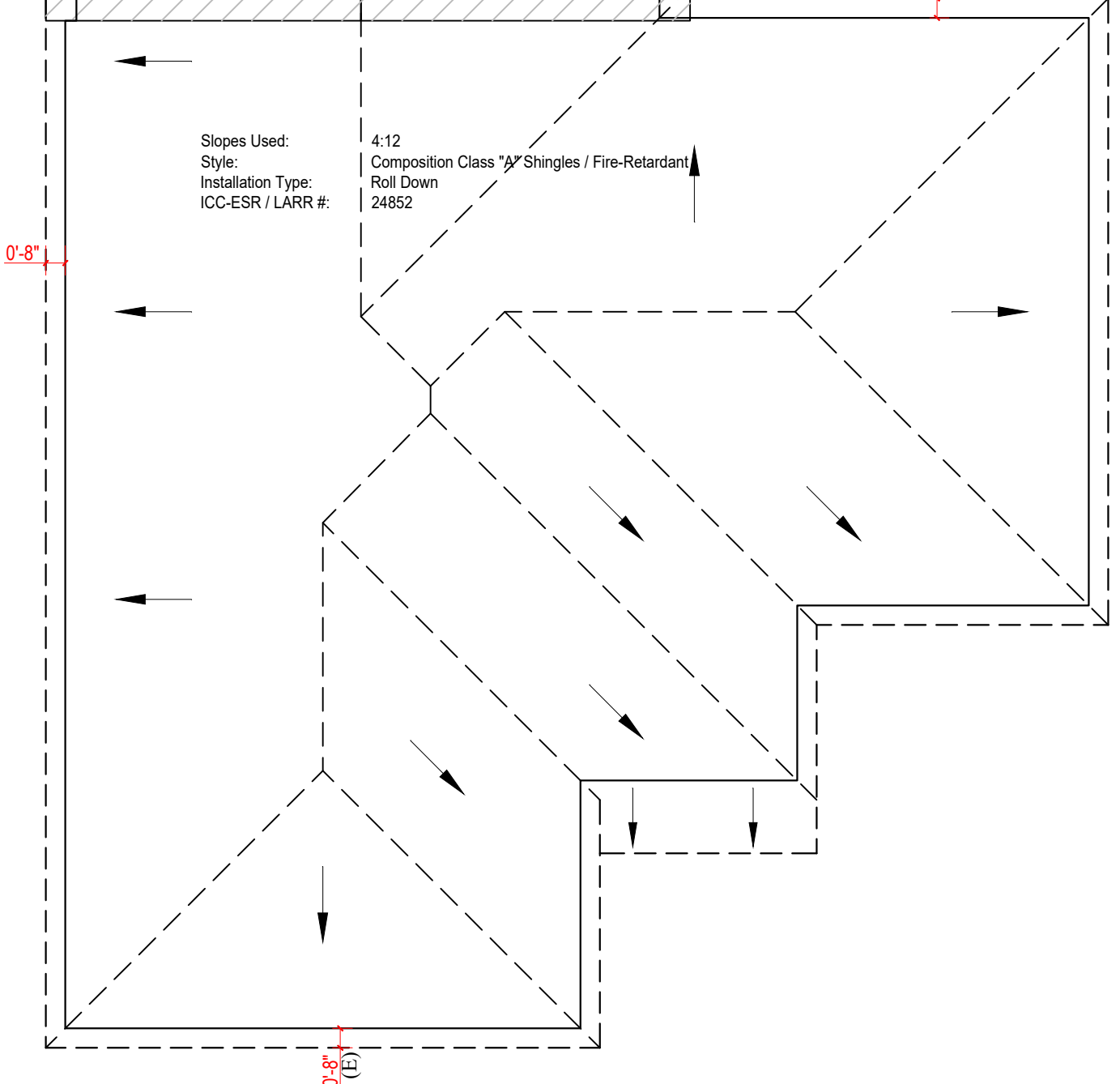
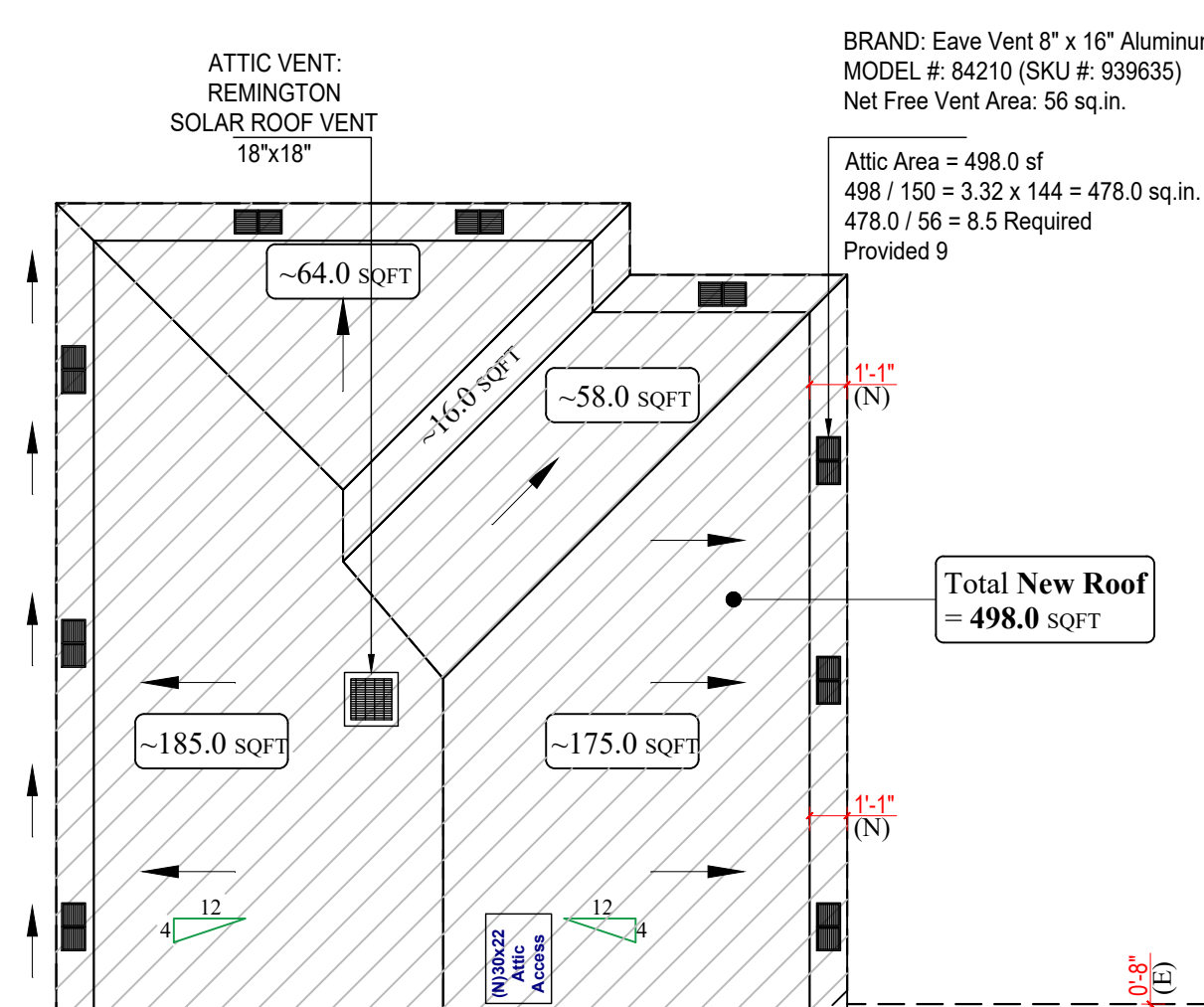
**Note #3:** Project shall install EnergyStar qualified appliances, as applicable.

**DOOR SCHEDULE**

NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	HEADER	COMMENTS	SHGC	TEMPERED	U-FACTOR
D01	(E) 1	1	2668 L IN	30"	80"	HINGED-DOOR P04	2X6X35" (2)		0.23		0.3
D02	(N) 1	1	2668 R IN	30"	80"	HINGED-DOOR P04	2X6X35" (2)		0.23		0.3
D03	(N) 1	1	2768 L IN	30 15/16"	80"	HINGED-DOOR P04	2X6X35 15/16" (2)		0.23		0.3
D04	(E) 2	1	2868 L IN	32"	80"	HINGED-DOOR P04	2X6X37" (2)		0.23		0.3
D05	(E) 1	1	2868 R EX	32"	80"	EXT. HINGED-DOOR E31	2X6X37" (2)		0.23		0.3
D06	(E) 1	1	2868 R IN	32"	80"	HINGED-DOOR P04	2X6X37" (2)		0.23		0.3
D07	(E) 1	1	3068 R EX	36"	80"	EXT. HINGED-DOOR E31	2X6X41" (2)		0.23		0.3
D08	(N) 1	1	6068 L EX	72"	80"	EXT. SLIDER-GLASS PANEL	2X10X77" (2)			TEMP	0.3

**WINDOW SCHEDULE**

NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	HEADER	COMMENTS	SHGC	U-FACTOR	AREA, STANDARD (SQ FT)	TEMPERED	TYPE
W01	(E) 2	(N) 2	2020LS	24"	24"	LEFT SLIDING	2X6X28" (2)		0.23	0.30	4.0		LEFT SLIDING
W02	(E) 1	1	3030LS	36"	36"	LEFT SLIDING	2X6X40" (2)		0.23	0.30	9.0		LEFT SLIDING
W03	(N) 1	1	3104LS	48"	48"	LEFT SLIDING	2X6X50" (2)		0.23	0.30	15.29		LEFT SLIDING
W04	(E) 2	1	3104LS	46"	48"	LEFT SLIDING	2X6X52" (2)		0.23	0.30	15.33		LEFT SLIDING
W05	(N) 1	1	4020LS	48"	24"	LEFT SLIDING	2X8X52" (2)		0.23	0.30	8.0		LEFT SLIDING
W06	(E) 1	1	4040LS	48"	48"	LEFT SLIDING	2X8X52" (2)		0.23	0.30	16.0		LEFT SLIDING
W07	(E) 1	1	5040LS	60"	48"	LEFT SLIDING	2X8X64" (2)		0.23	0.30	20.0		LEFT SLIDING
W08	(E) 1	1	5030LS	60"	36"	LEFT SLIDING	2X8X64" (2)		0.23	0.30	15.0		LEFT SLIDING
TOTALS:											129.95		



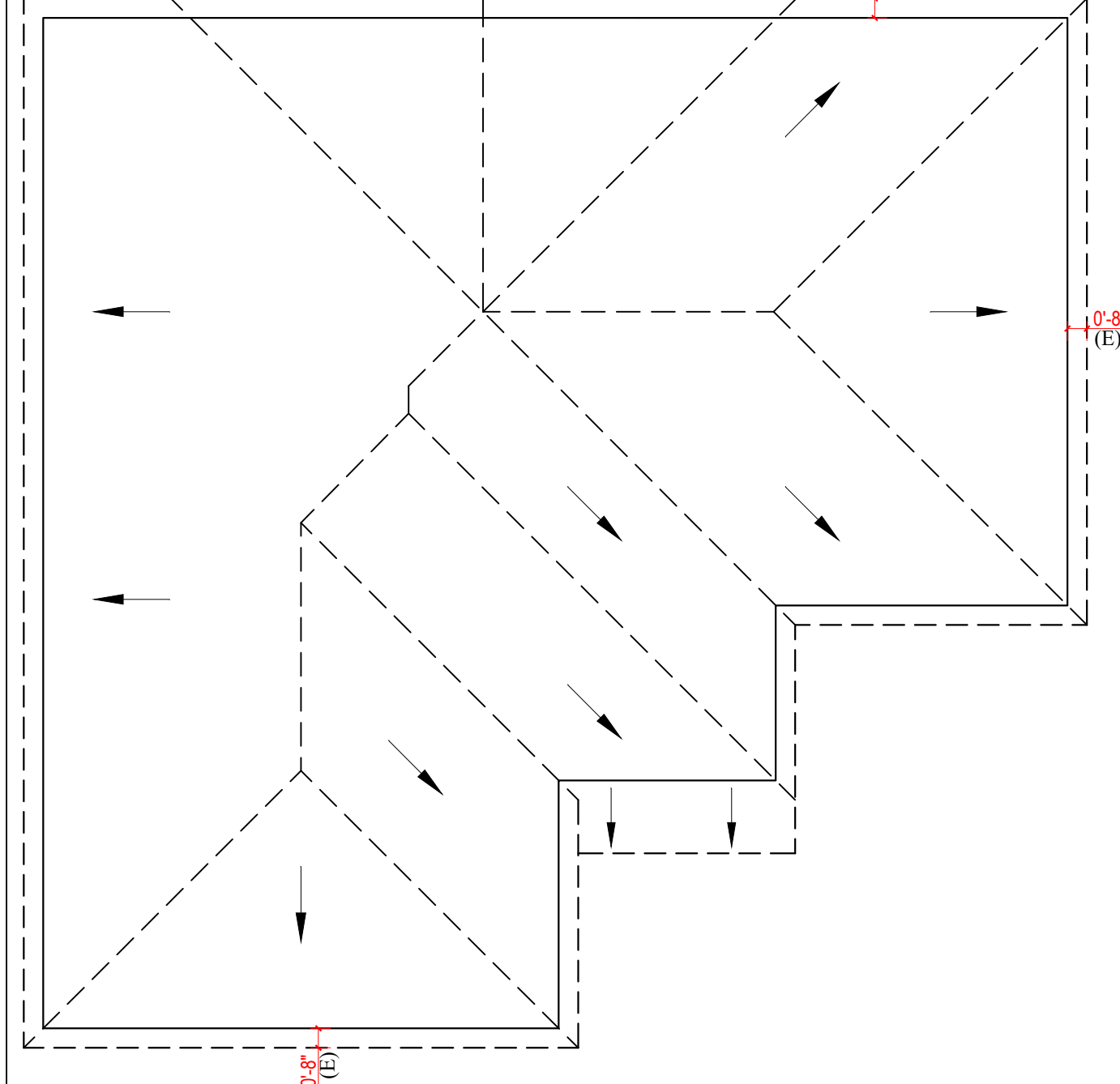
**(P)ROOF PLAN**  
SCALE: 3/16" = 1'-0"

**COOL ROOF COLLECTION**

Owens Corning® COOL Roof Shingles	Meets ENERGY STAR® Requirements	CRRC Product ID	Warranty Length	Solar Reflectance	Thermal Emittance	Solar Reflectance Index (SRI)
Supreme® Amber		0890-0014	25 Years	0.22	0.92	22
Supreme® Aspen Gray		0890-0010	25 Years	0.20	0.92	20
Supreme® Shasta White		0890-0001	25 Years	0.29	0.92	31

**Composition Class "A" Asphalt Shingles**  
Owens Corning® Supreme - Aspen Gray  
CRRC Product ID: 0890-0010  
Manufacturer: Owens Corning Roofing and Asphalt, LLC  
Brand and Model: Supreme® Aspen Gray  
Product Type: Asphalt Shingle  
Color: Gray

Attic Area = 498.0 sf  
498 / 150 = 3.32 x 144 = 478.0 sq.in.  
478.0 / 56 = 8.5 Required  
Provided 9



**(E)ROOF PLAN**  
SCALE: 3/16" = 1'-0"

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF MATCAD AS BUILT INC AND CANNOT BE COPIED, DUPLICATED OR EXPLOITED IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION OF THE DESIGNER.

Digitizing and preparing AutoCAD layouts from paper drawings and maps  
Laser measurements and preparing AutoCAD (2D/3D) floor plans

**MatCAD As Built INC**  
Floor Plans and Drawings

MatCAD As Built INC  
5928 WHITSETT AVE  
VALLEY VILLAGE CA 91607

Tel. (818) 331-5259  
Fax (818) 000-0000  
E-Mail: matcad2015@gmail.com  
matcad2015@hotmail.com

www.Matfloorcad.com

**Owner:**  
LEIDA PEREZ  
Tell#: +1(657)464-0846

**Project Name:**  
ADDITION OF MASTER BEDROOM  
AND LAUNDRY ROOM  
TO EXISTING SFD  
(TOTAL ADDITION ~428.0 SQFT)

**Project Address:**  
311 W 223Rd St,  
CARSON CA 90745

REV #1	REV #2	REV #3

FOR APPROVAL STAMP

FOR APPROVAL STAMP	
CONSULTANT:	<i>AShot</i>
DRAWN BY:	ASHOT MATEVOSYAN
JOB NUMBER:	000-01820-4/4
PRINT DATE:	08/04/2022
SHEET NO:	

CONSULTANT:	<i>AShot</i>
DRAWN BY:	ASHOT MATEVOSYAN
JOB NUMBER:	000-01820-4/4
PRINT DATE:	08/04/2022
SHEET NO:	

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF **MATCAD AS BUILT INC** AND CANNOT BE COPIED, DUPLICATED OR EXPLOITED IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION OF THE DESIGNER.

Digitizing and preparing AutoCAD layouts from paper drawings and maps  
Laser measurements and preparing AutoCAD (2D/3D) floor plans

**MatCAD As Built INC**  
Floor Plans and Drawings

MatCAD As Built INC  
5928 WHITSETT AVE  
VALLEY VILLAGE CA 91607

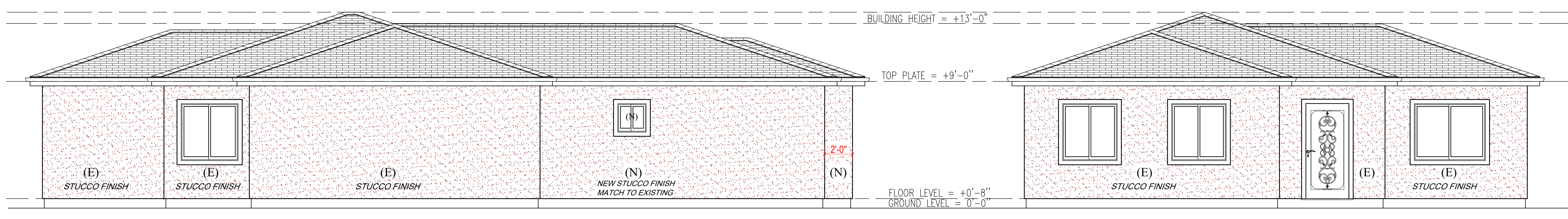
Tel. (818) 331-5259  
Fax (818) 000-0000  
E-Mail: matcad2015@gmail.com  
matcad2015@hotmail.com

www.Matfloorcad.com

**Owner:**  
LEIDA PEREZ  
Tell#: +1(657)464-0846

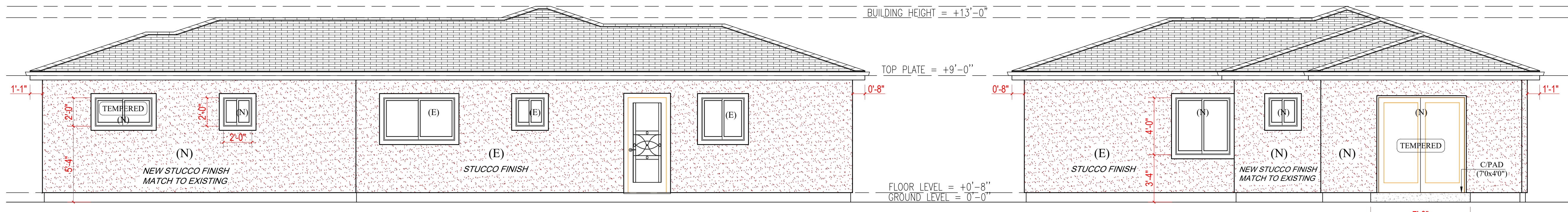
**Project Name:**  
ADDITION OF MASTER BEDROOM  
AND LAUNDRY ROOM  
TO EXISTING SFD  
(TOTAL ADDITION ~428.0 SQFT)

**Project Address:**  
311 W 223Rd St,  
CARSON CA 90745



**Elevation Plan**  
Scale: 1/4" = 1'-0"  
2  
A-3.0

**Elevation Plan**  
Scale: 1/4" = 1'-0"  
1  
A-3.0



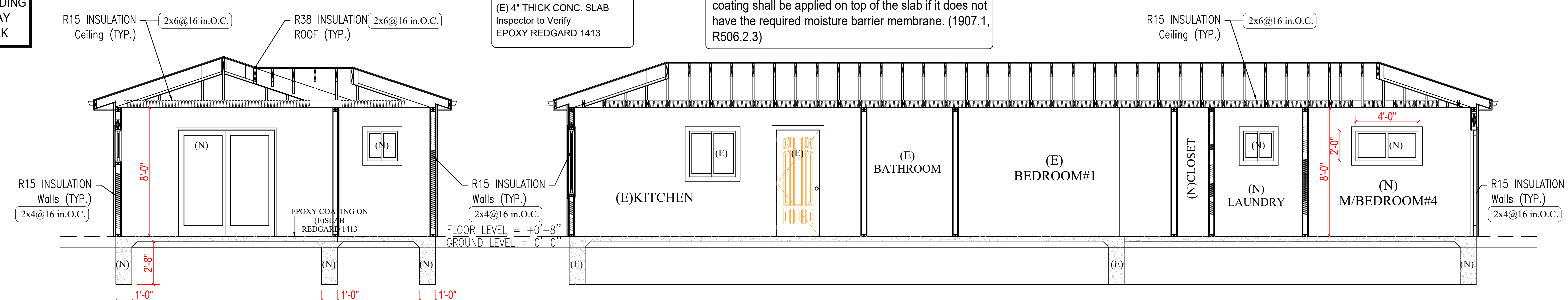
**Elevation Plan**  
Scale: 1/4" = 1'-0"  
4  
A-3.0

**Elevation Plan**  
Scale: 1/4" = 1'-0"  
3  
A-3.0

**ELEVATION NOTE**  
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK

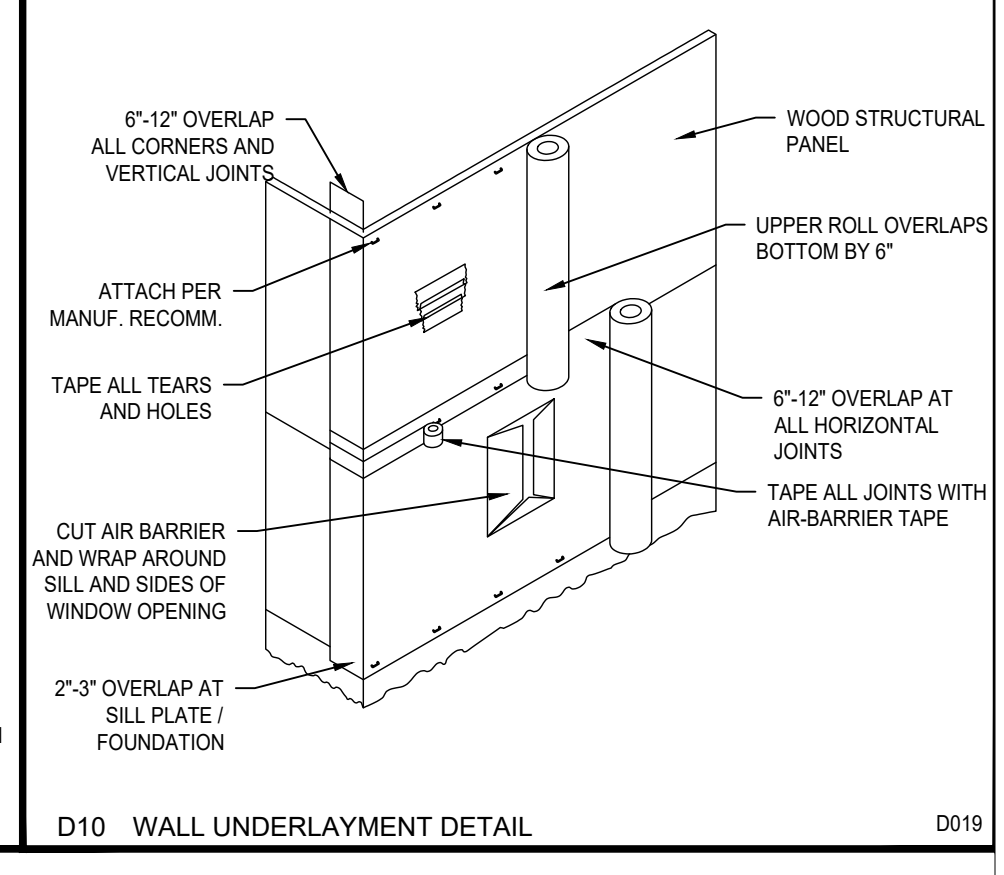
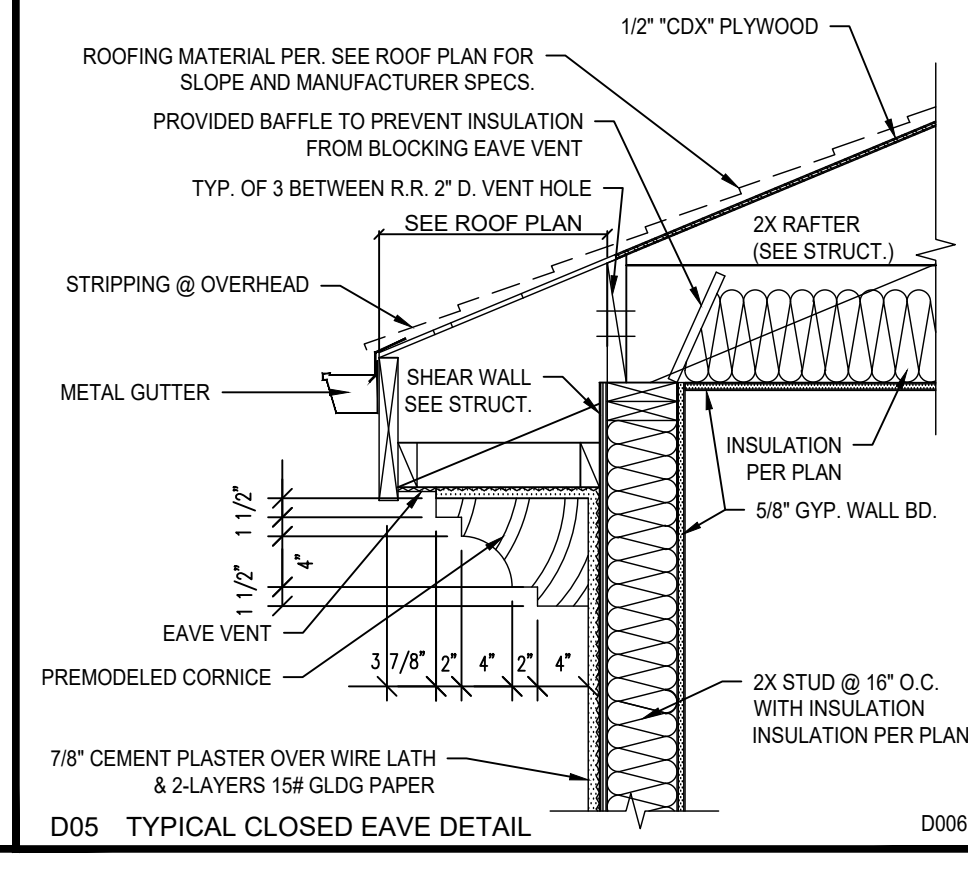
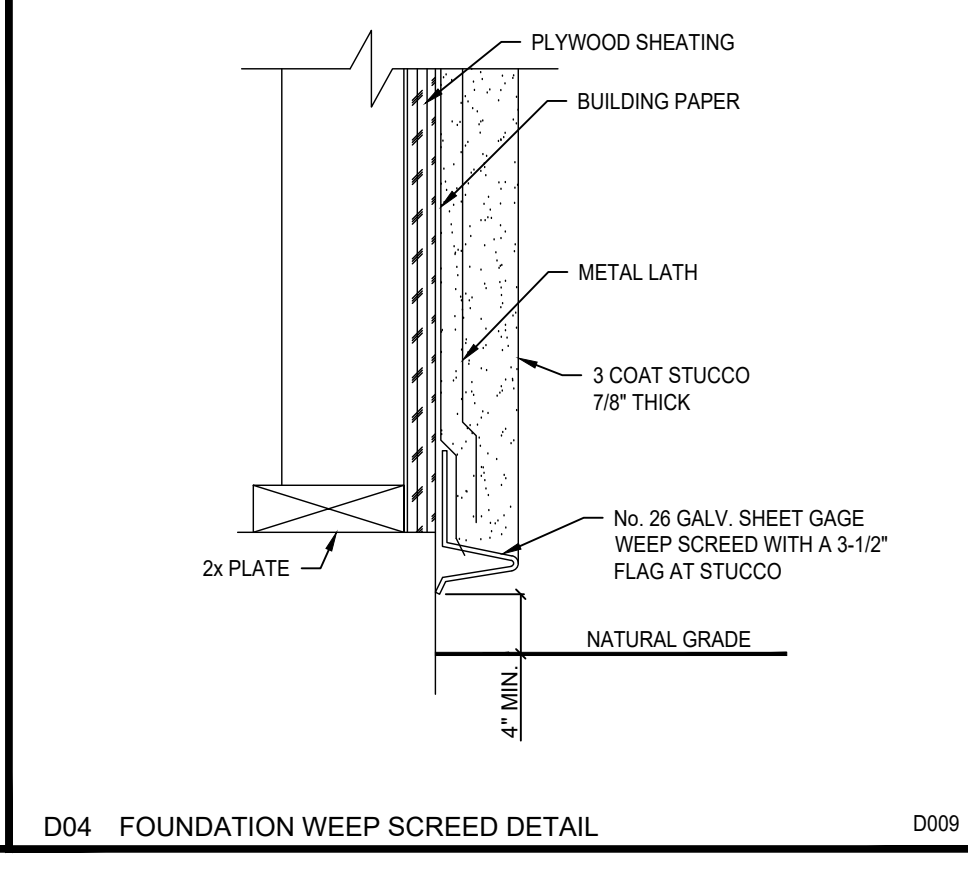
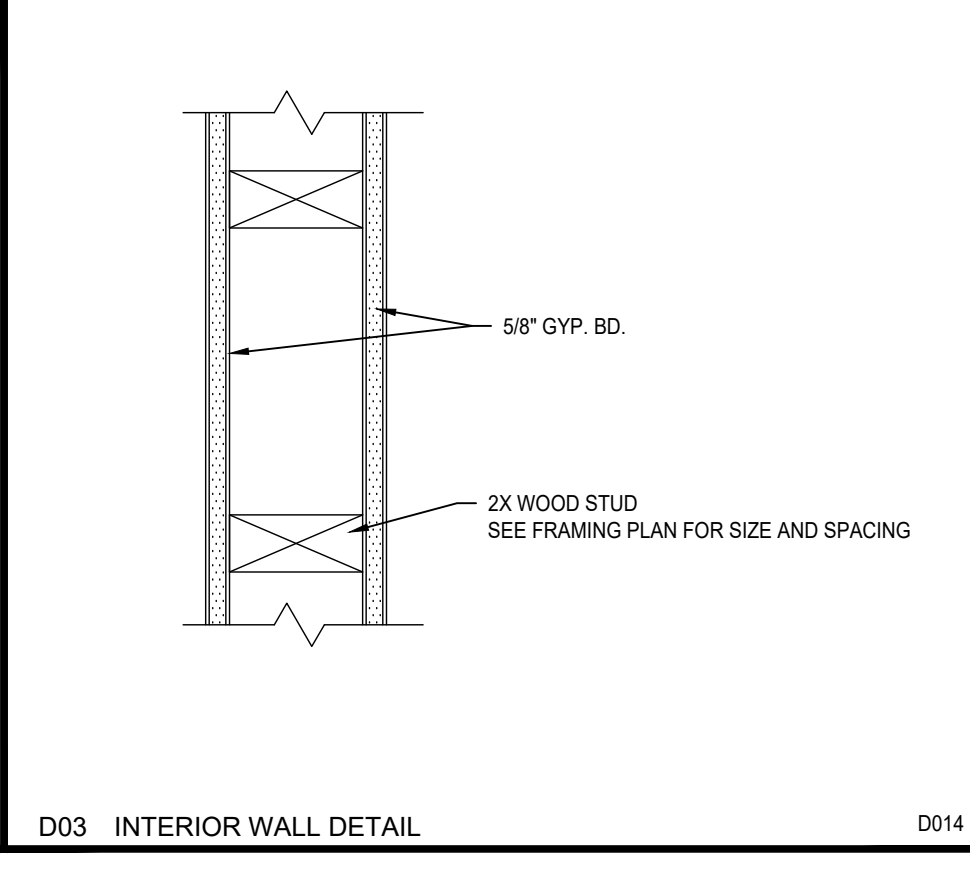
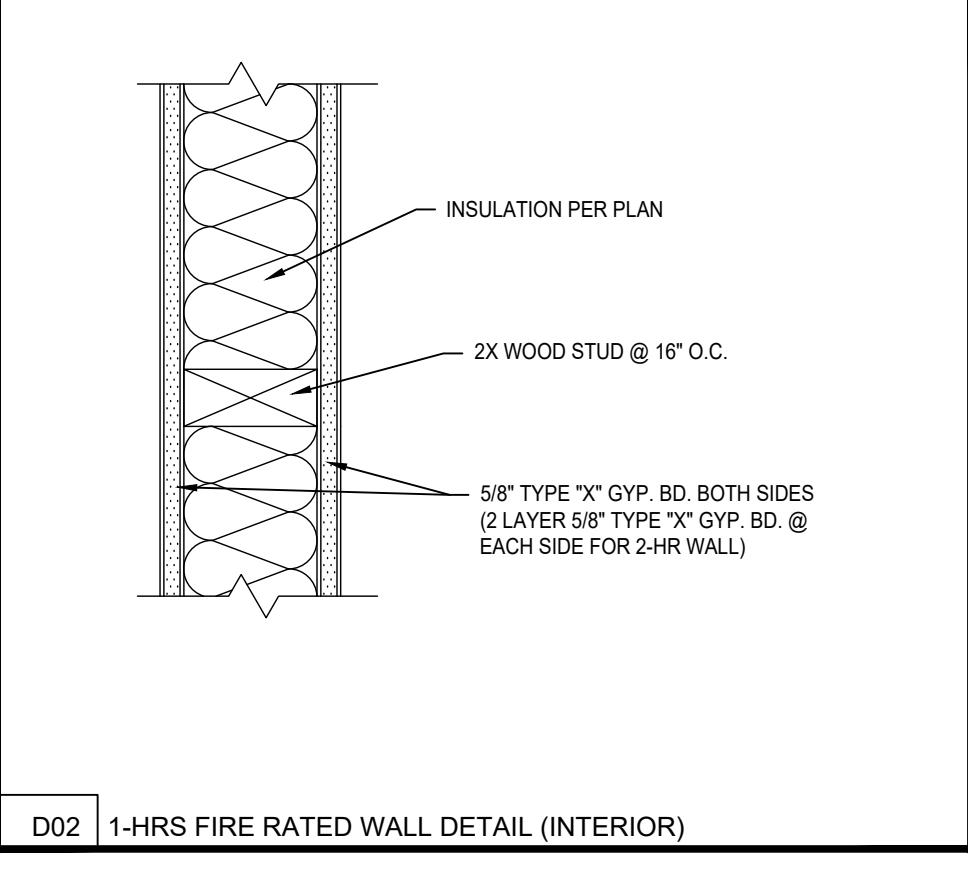
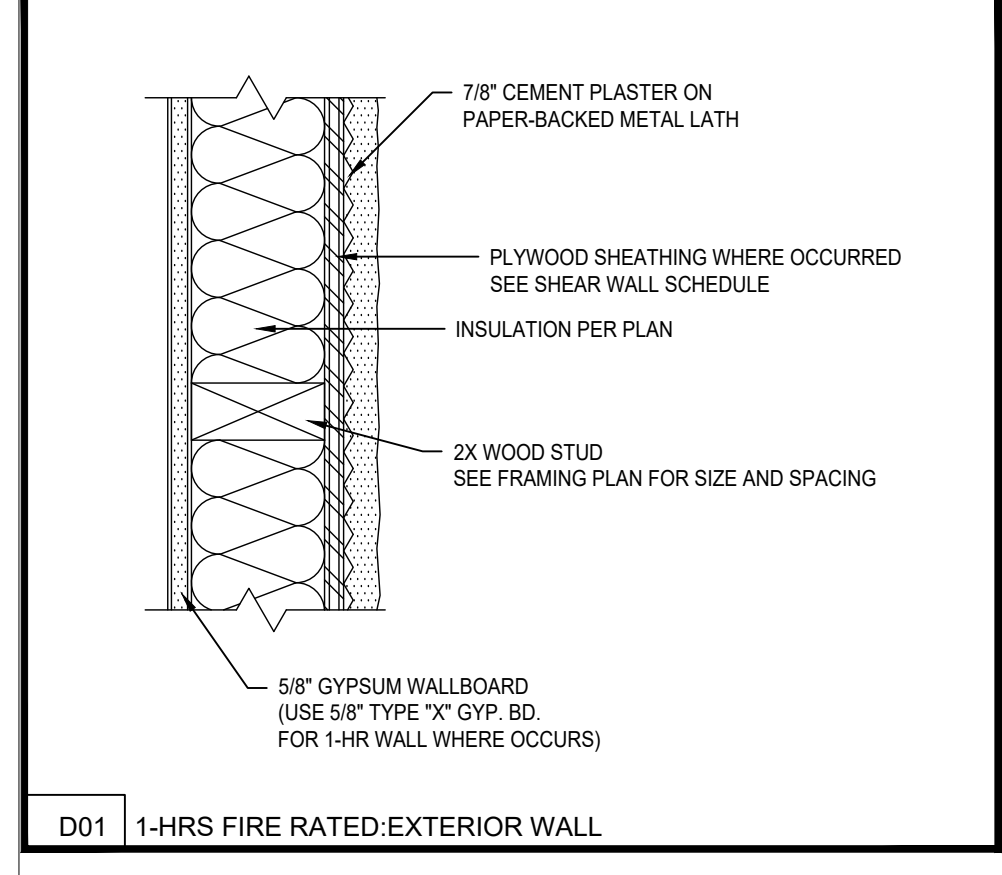
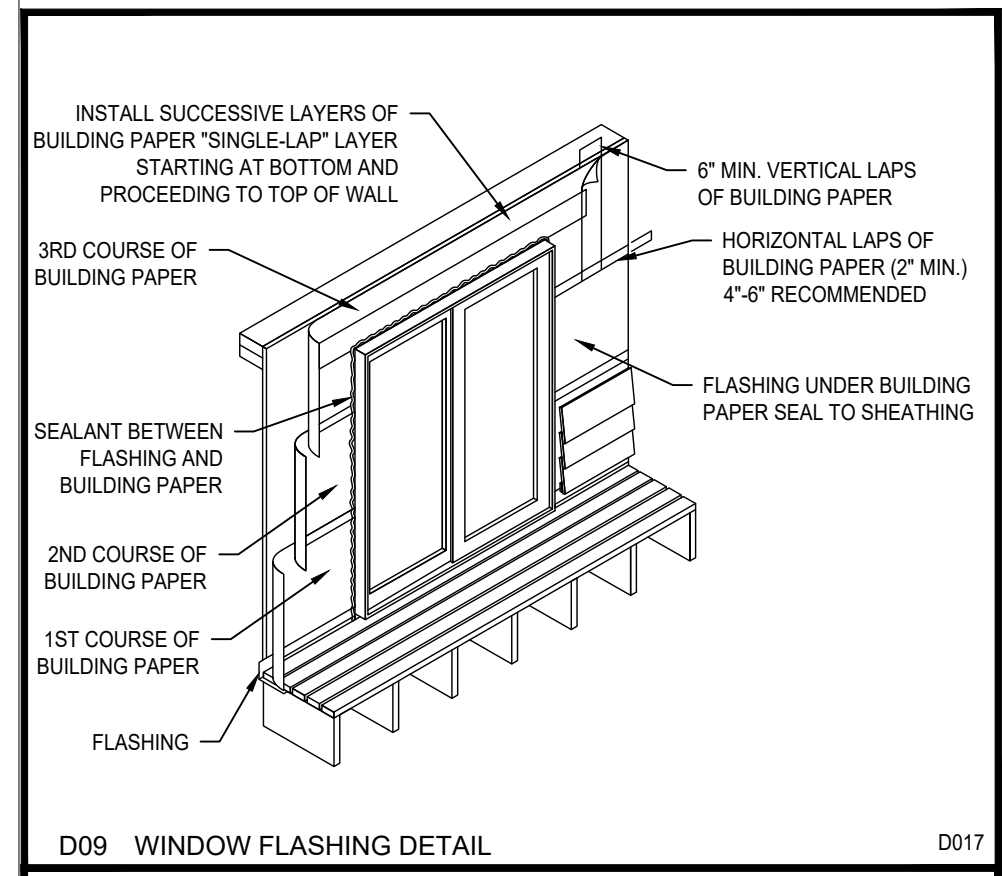
**CONCRETE NOTE:**  
(E) 4" THICK CONC. SLAB  
Inspector to Verify EPOXY REDGARD 1413

Provide 6-mil polyethylene or approved vapor retarder below the concrete floor slab. An approved epoxy slab coating shall be applied on top of the slab if it does not have the required moisture barrier membrane. (1907.1, R506.2.3)



**Section Plan (A)**  
Scale: 1/4" = 1'-0"  
A  
A-3.0

**Section Plan (D)**  
Scale: 1/4" = 1'-0"  
D  
A-3.0



REV #1	
REV #2	
REV #3	

FOR APPROVAL STAMP

FOR APPROVAL STAMP

CONSULTANT: *[Signature]*  
DRAWN BY: ASHOT MATEVOSYAN  
JOB NUMBER: 000-01820-4/4  
PRINT DATE: 08/04/2022

SHEET NO: **A-3.0**

STORM WATER POLLUTION CONTROL FORM GRN 1

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

- Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CA5004001 - Part 5: Definitions)

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code MANDATORY REQUIREMENTS CHECKLIST

ADDITIONS AND ALTERATIONS TO RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Table with columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items for Planning and Design, Energy Efficiency, Water Efficiency & Conservation, Material Conservation & Resource Efficiency, and Environmental Quality.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code MANDATORY REQUIREMENTS CHECKLIST

NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Table with columns: ITEM #, CODE SECTION, REQUIREMENT, REFERENCE SHEET, COMMENTS. Includes items for Mechanical equipment during construction, Finish material pollutant control, Carpet systems, Resilient flooring systems, Composite wood products, Filters, Capillary break, Moisture content of building materials, Bathroom exhaust fans, Heating and air-conditioning system design.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code MANDATORY REQUIREMENTS CHECKLIST

NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Table with columns: ITEM #, CODE SECTION, REQUIREMENTS, REFERENCE SHEET, COMMENTS. Includes items for Storm water drainage and retention during construction, Grading and paving, Electric vehicle (EV) charging, Cool roof for reduction of heat island effect, Reduction of heat island effect for non-roof areas, Solar ready buildings, Water conserving plumbing fixtures and fittings, Multiple showerheads serving one shower, Water submeters, Water use reduction, Outdoor water use in landscape areas, Irrigation controllers, Metering outdoor water use, Exterior faucets, Swimming pool covers, Graywater ready, Recycled water supply to fixtures, Cooling towers (buildings <= 25 stories), Cooling towers (buildings > 25 stories), Groundwater discharge, Rodent proofing, Flashing details.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

VOC AND FORMALDEHYDE LIMITS FORM GRN 11

Table with columns: VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS, VOC Content Limit, Current Limit, and Formaldehyde Limits. Includes categories for Coatings Category 2.3, Less Water and Less Solvent Coatings, and Architectural Applications.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code GREEN BUILDING CODE PLAN CHECK NOTES

- 1. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 200(40) volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).
2. For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated ampacity of the Electric Vehicle Supply Equipment (EVSE).
3. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 200(40) volt branch circuit.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code PLUMBING FIXTURE FLOW RATES FORM GRN 12

Table with columns: Fixture Type, Maximum Allowable Flow Rate. Includes Showerheads, Lavatory faucets, Kitchen faucets, Metering Faucets, Dishwashers ENERGY-STAR certified, etc.

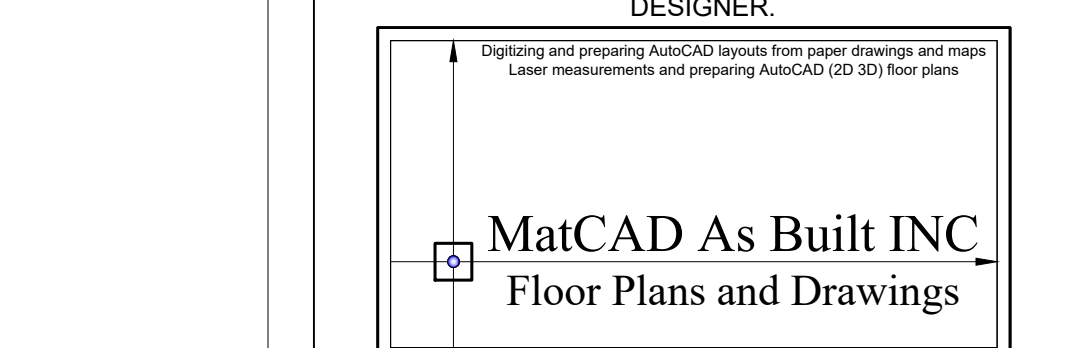
As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2020 Los Angeles Green Building Code WATER CONSERVATION NOTES - ORDINANCE #184248 FORM GRN 18R

- 1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter and submeter within common areas and within each individual dwelling unit.
2. Water use reduction shall be met by complying with one of the following:
A. Provide a 20% reduction in the overall potable water use within the building.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

THE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF MAT CAD AS BUILT INC AND CANNOT BE COPIED, DUPLICATED OR EXPLOITED IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION OF THE DESIGNER.



MatCAD As Built INC 5928 WHITTSETT AVE VALLEY VILLAGE CA 91607 Tel. (818) 331-5259 Fax (818) 000-0000 E-Mail: matcad2015@gmail.com matcad2015@hotmail.com www.Matfloorcad.com

Owner: LEIDA PEREZ Tell#: +1(657)464-0846

Project Name: ADDITION OF MASTER BEDROOM AND LAUNDRY ROOM TO EXISTING SFD (TOTAL ADDITION ~428.0 SQFT)

Project Address: 311 W 223Rd St, CARSON CA 90745

Table with columns: REV #1, REV #2, REV #3

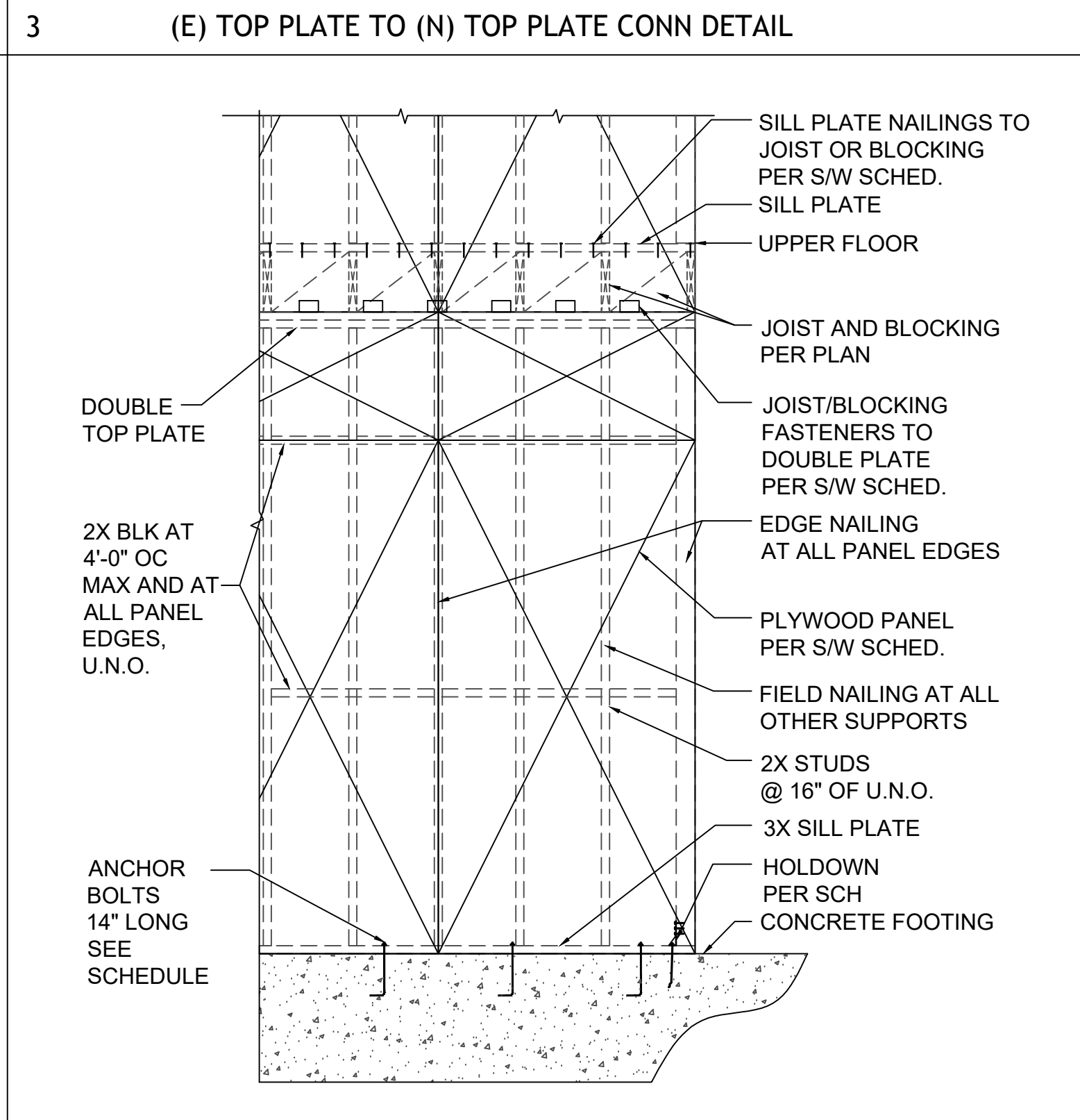
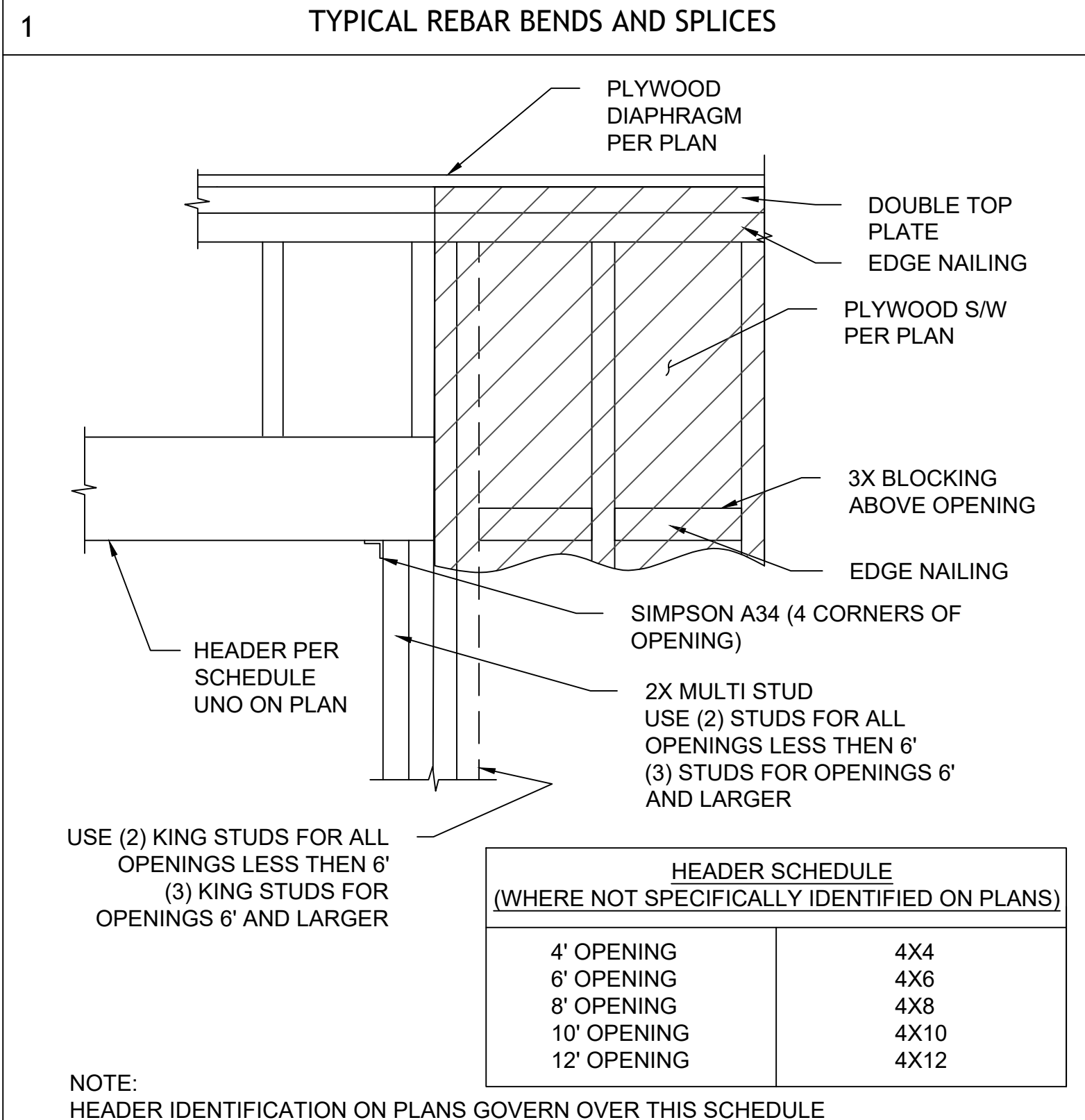
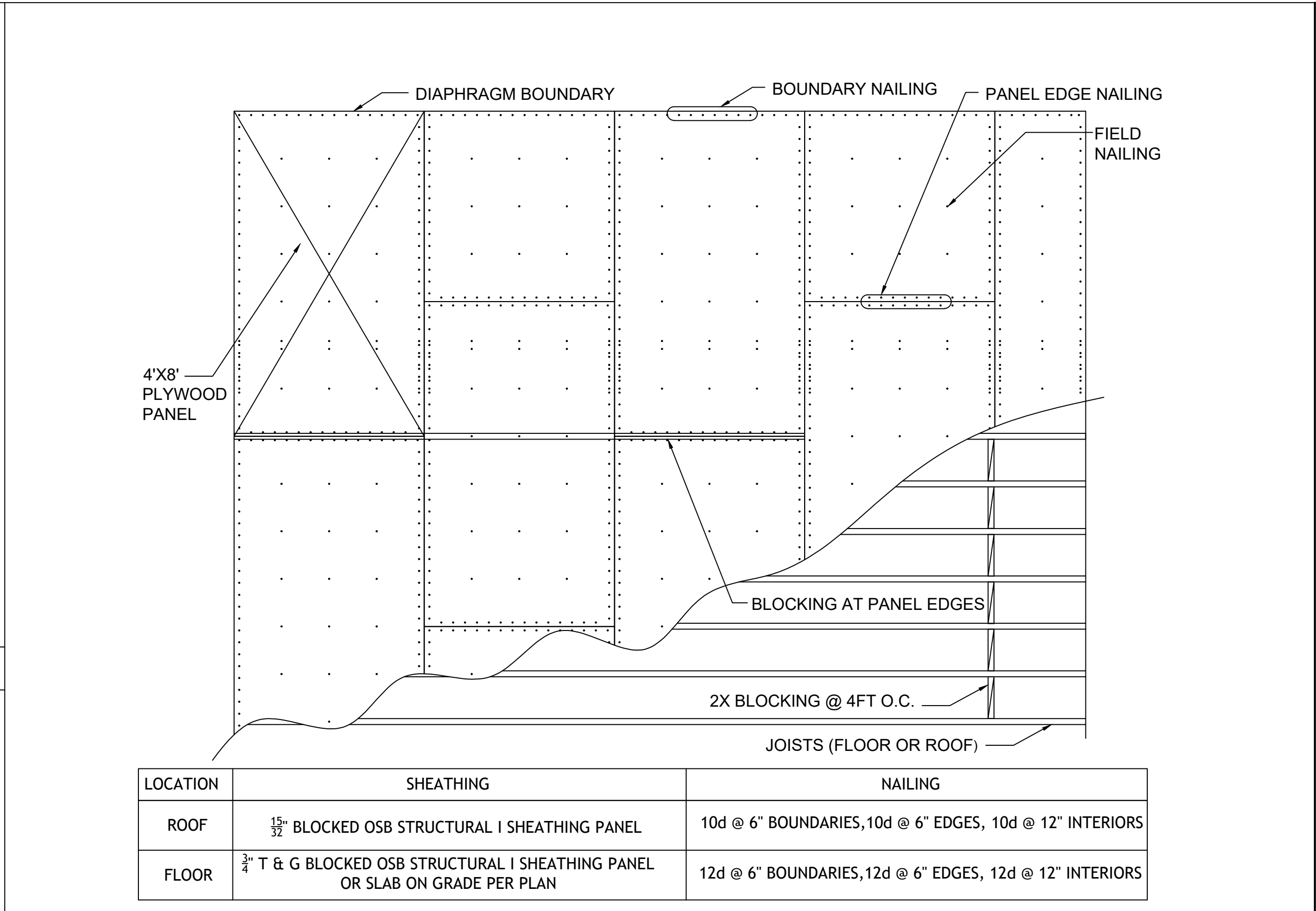
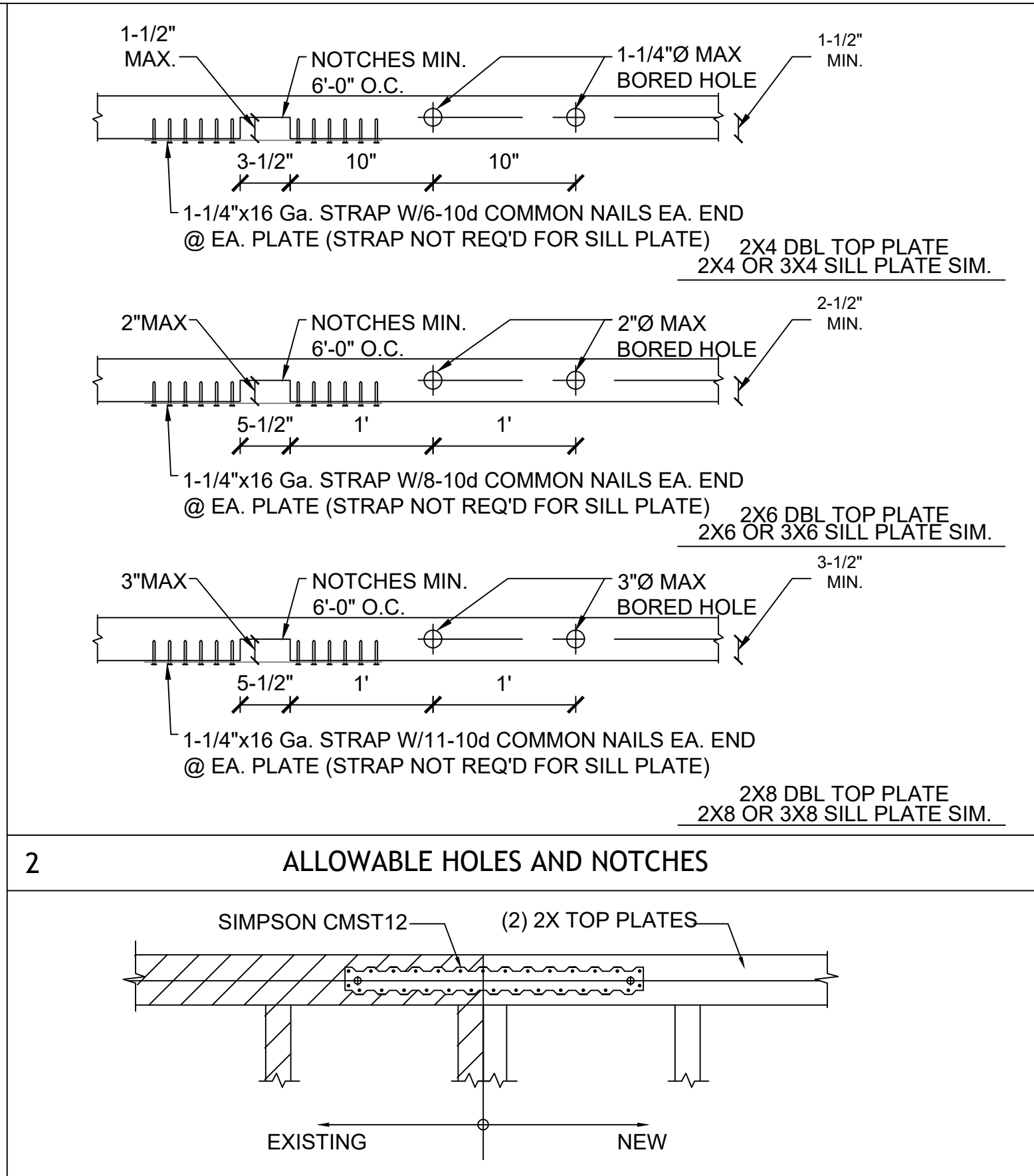
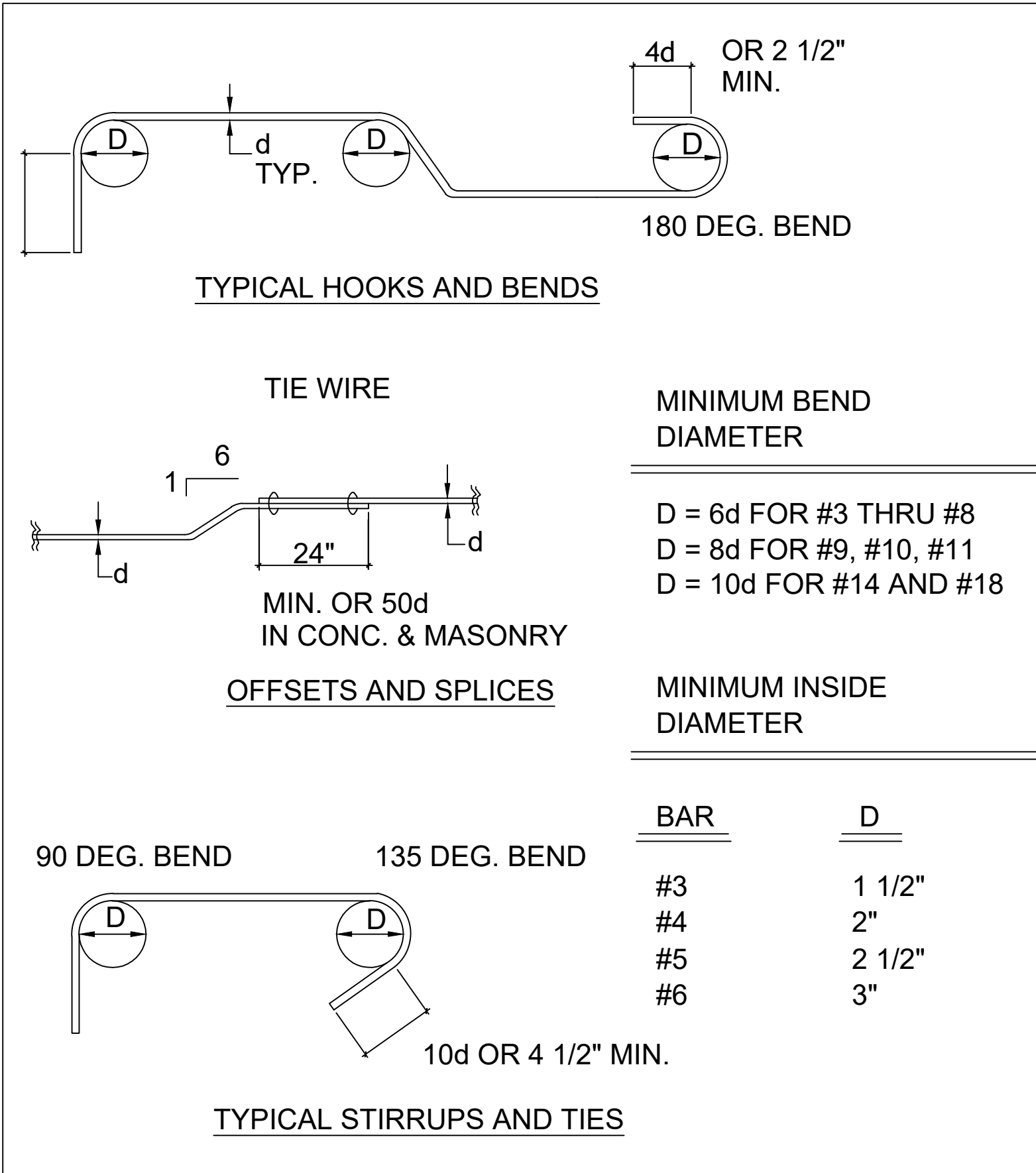
FOR APPROVAL STAMP

Table with columns: CONSULTANT: ASHOT MATEVOSYAN, DRAWN BY: ASHOT MATEVOSYAN, JOB NUMBER: 000-01820-4/4, PRINT DATE: 08/04/2022, SHEET NO: GRN-1

GRN-1





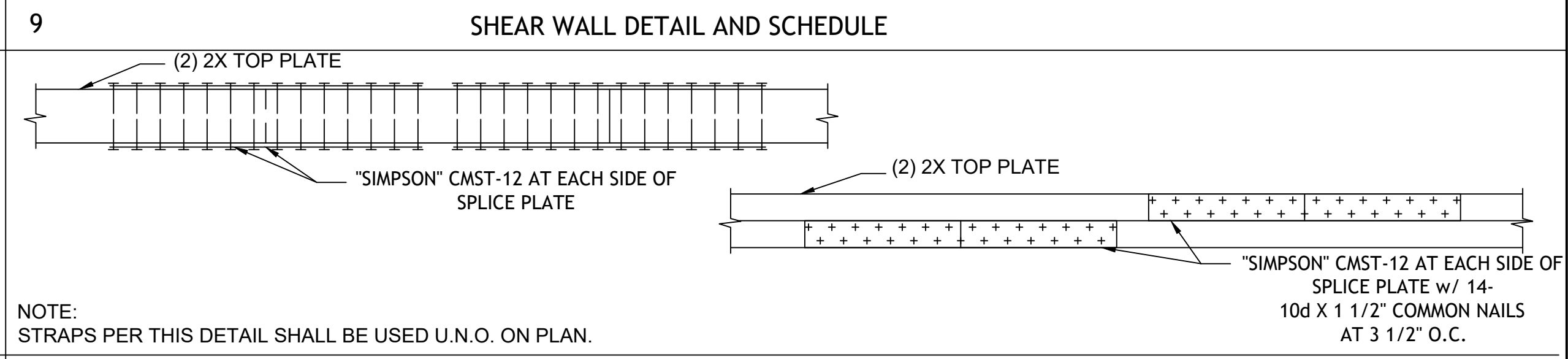
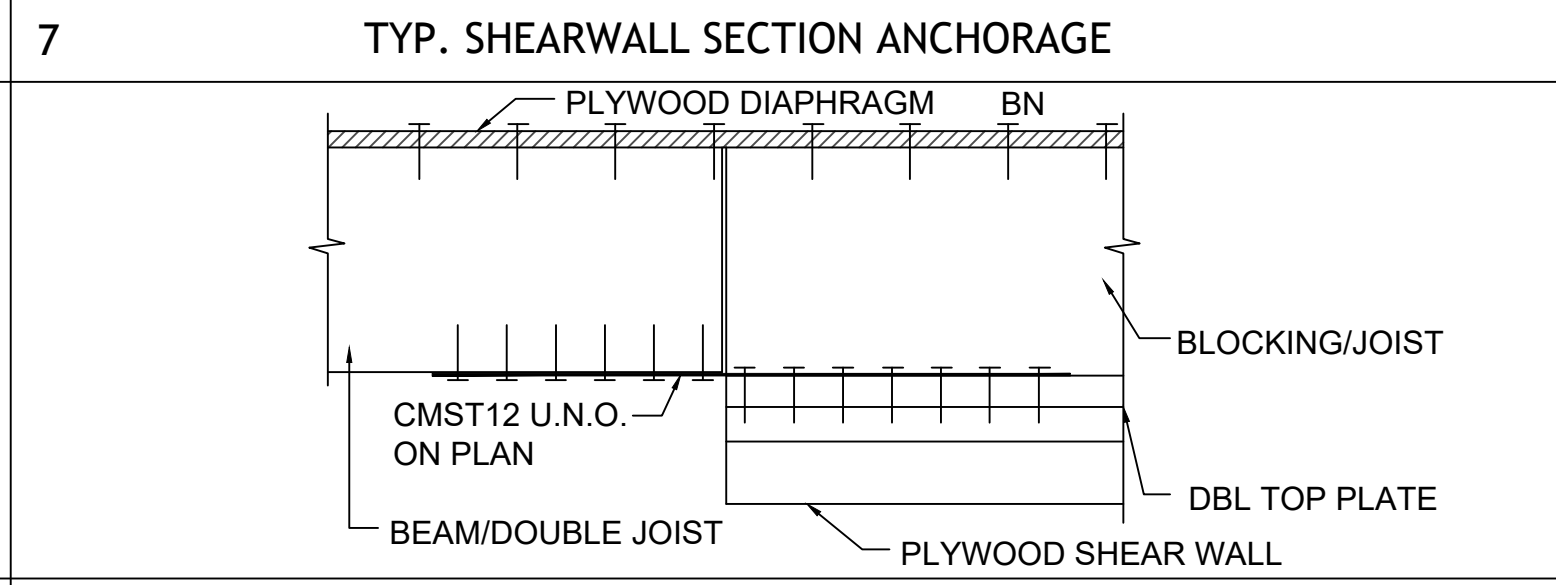
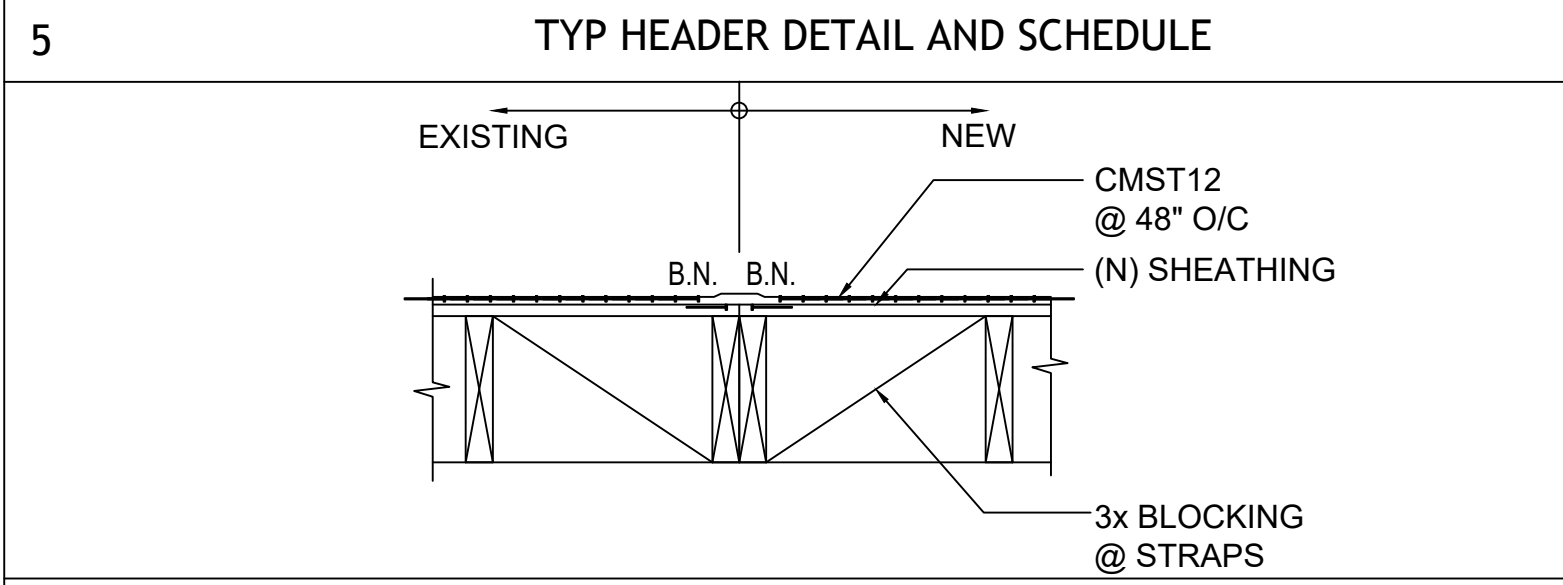


**Roof & Floor Diaphragm Detail**

Type	Sheathing/ Nailing	Grade	A35/LTP4 Spacing (in)	1/2" Lag Spacing (in)	5/8" Anchor Bolt Spacing (in)	Resistance (plf)
Type A	15/32" w/8d nails @6-6-12	Sheathing	24.0	31.0	48.0	300
Type B	15/32" w/8d nails @6-6-12	Sheathing	18.0	23.0	48.0	400
Type C	15/32" w/10d nails @6-6-12	Structural I	14.0	19.0	48.0	500
Type D	15/32" w/8d nails @4-4-12 <sup>5</sup>	Sheathing	12.0	15.0	43.0	600
Type E	15/32" w/10d nails @4-4-12 <sup>5</sup>	Structural I	10.0	13.0	36.0	700
Type F	15/32" w/10d nails @4-4-12 <sup>5</sup>	Structural I	9.0	11.0	32.0	800
Type G	15/32" w/10d nails @3-3-12 <sup>5</sup>	Structural I	8.0	10.0	28.0	900
Type H	15/32" w/10d nails @3-3-12 <sup>5</sup>	Structural I	6.0	9.0	24.0	1060
Type I	15/32" w/10d nails @3-3-12 <sup>4,5</sup>	Structural I	8.0 <sup>4</sup>	5.0	16.0	1600
Type J	15/32" w/10d nails @3-3-12 <sup>4,5</sup>	Structural I	6.0 <sup>4</sup>	4.0	12.0	2000

**Notes:**

- Lumber shall be DF-L with Specific Gravity of 0.50 min. All panel edges shall be fastened to 2-inch nominal or wider framing.
- Framing at adjoining edges shall be 3 or wider nominal. Nails shall be staggered in two lines along panel edges when nail spacing is 2" o.c., or when 10d common nails spaced 3" o.c. penetrate framing more than 1-5/8".
- Min two bolts per piece of sill plate and one located within 12" of each end of each sill plate. Placement of lag bolts: Min edge distance shall be 1.5D; Min end distance shall be 7D, Min spacing shall be 4D. Edge distances, end distances and spacing shall be sufficient to prevent splitting of wood. If splitting occurs, notify the engineer for an alternate product.
- Type I and J shearwalls shall have plywood installed on both sides. Install A35/LTP4 staggered on both sides. Blocking and studs at panel edges shall be min 3x in thickness.
- Type D, E, F, G, H shearwalls shall have min. 3x studs at panel edges.



6 EXISTING TO NEW DIAPHRAGM CONNECTION DETAIL

8 TYP DRAG STRAP DETAIL

10 TOP PLATE SPLICE DETAIL

No.	DESCRIPTION	DATE
1	INITIAL DESIGN	08/15/2022

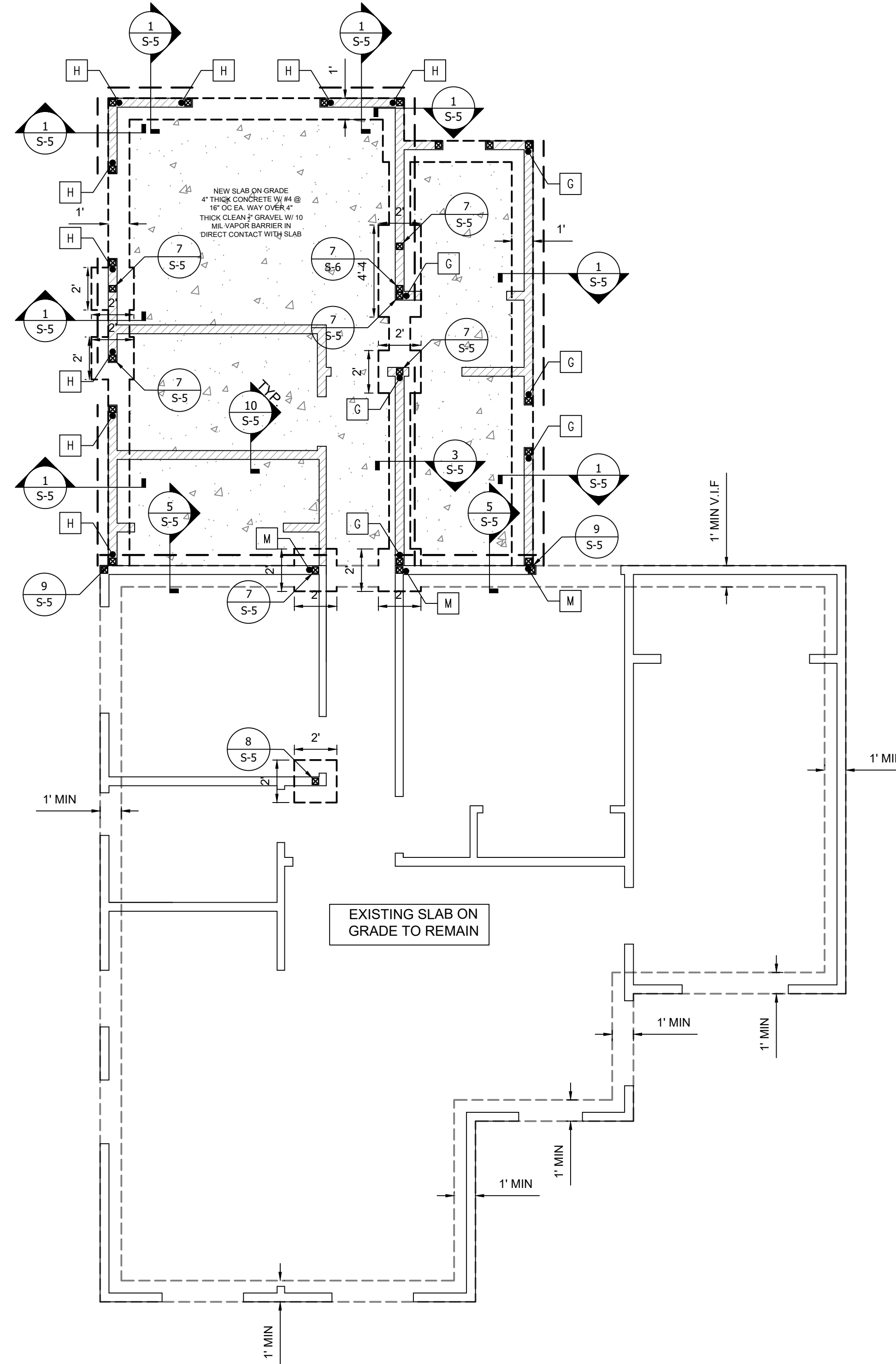
PROJECT No.22-262  
DESIGNED BY: OH  
CHECKED BY: SG

JOB ADDRESS:  
331 W 223RD ST,  
CARSON, CA 90745

**TYPICAL DETAILS**







**A** FOUNDATION PLAN  
Scale: 1/4" = 1'

- NOTE:
- FOR SHEATHING INFORMATION SEE SHEET S-2.
  - ALL PLUMBING WALLS SHALL BE CONSTRUCTED USING 2X6 DF-L No.2 STUDS 16" O.C.
  - IF ANY DISCREPANCIES IN MEMBER SIZES OCCUR, LARGER SIZE SHALL GOVERN.
  - ALL UNLABELED HDRS SHALL CONFORM TO HDR SCHEDULE ON S-2.
  - CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF RECORD IF ANY DISCREPANCIES TO PLAN ARE PRESENT.
  - ALL GIVEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.

LEGEND	
	EXISTING STUD WALL TO REMAIN
	NEW STUD WALL. SEE STUD WALL SCHEDULE.
	4X4 POST DF-L No.2 (C-1)
	EXISTING FOUNDATION TO REMAIN
	NEW FOUNDATION F/C= 2500 PSI
	SHEAR WALL PER SCHED.
	-HOLDDOWN INTO (N) EXT. FOUNDATION. SEE 2/S-5 FOR H.D.'S G,H,I,J,K. -HOLDDOWN INTO (N) INT. FOUNDATION. SEE 4/S-5 FOR H.D.'S G,H,I,J,K. -HOLDDOWN INTO (E) EXT. FOUNDATION. SEE 6/S-5 FOR H.D.'S M,N,O,MS,NS,OS.

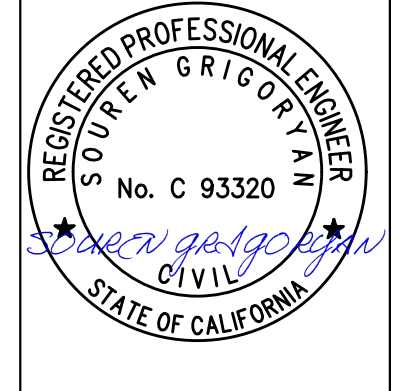
STUD WALL SCHEDULE	
WALL TYPE	STUD WALL SPECIFICATIONS
EXTERIOR 1ST FLOOR WALLS	2X4 DF-L No.2 STUDS @ 16" O.C.
INTERIOR 1ST FLOOR WALLS	2X4 DF-L No.2 STUDS @ 16" O.C.
ALL PLUMBING WALLS	2X6 DF-L No.2 STUDS @ 16" O.C.

No.	DESCRIPTION	DATE
1	INITIAL DESIGN	08/15/2022

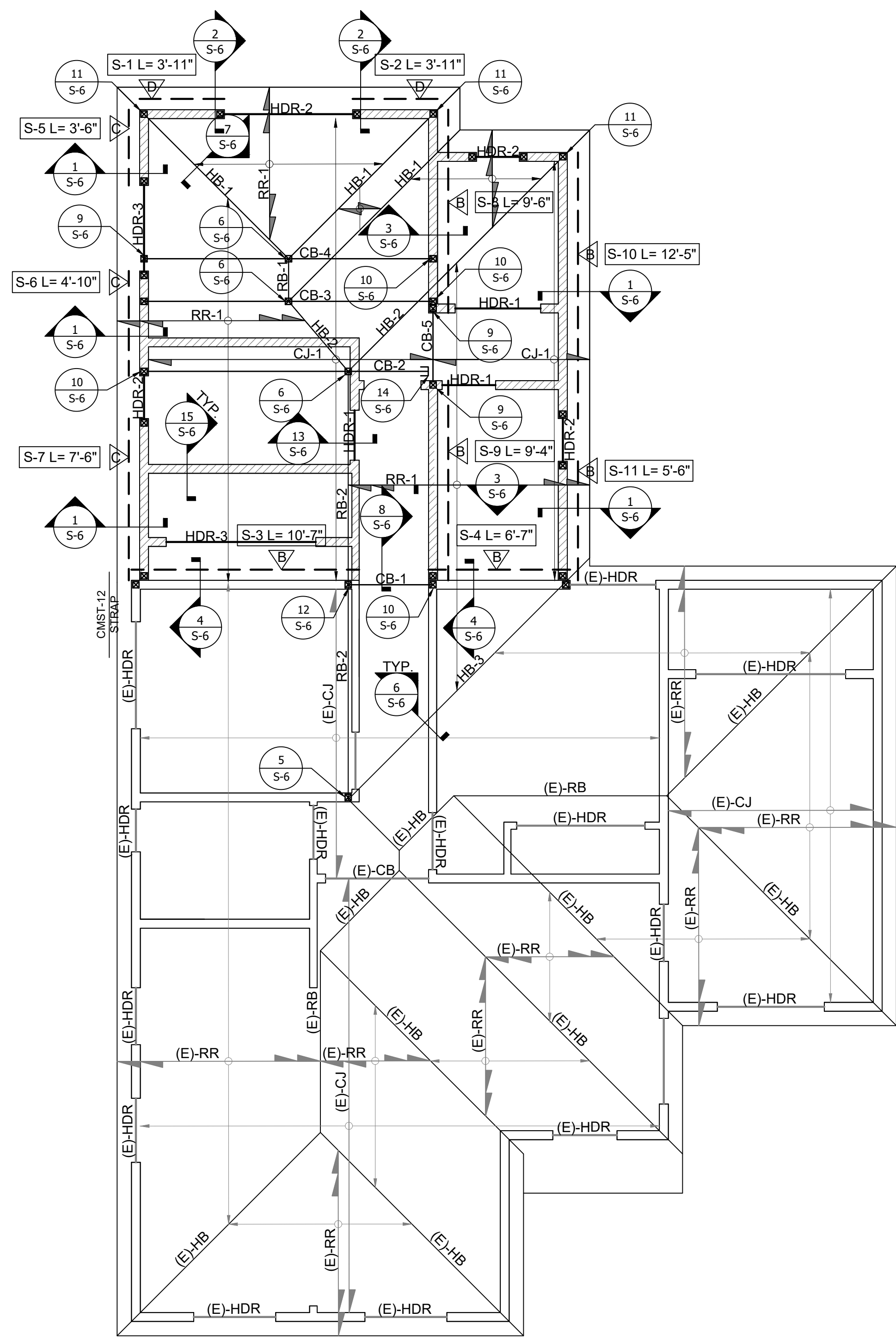
PROJECT No.22-262  
DESIGNED BY: OH  
CHECKED BY: SG

JOB ADDRESS:  
331 W 223RD ST,  
CARSON, CA 90745

FOUNDATION PLAN



S-3  
SHEET NUMBER



**B** ROOF FRAMING PLAN  
Scale: 1/4" = 1'

- NOTE:
- FOR SHEATHING INFORMATION SEE SHEET DETAIL 4/S-2.
  - ALL PLUMBING WALLS SHALL BE CONSTRUCTED USING 2X6 DF-L NO.2 STUDS 16 IN O.C.
  - IF ANY DISCREPANCIES IN MEMBER SIZES OCCUR, LARGER SIZE SHALL GOVERN.
  - ALL UNLABELED HDRS SHALL CONFORM TO HDR SCHEDULE ON S-2.
  - CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF RECORD IF ANY DISCREPANCIES TO PLAN ARE PRESENT.
  - ALL GIVEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.

LEGEND	
	NEW STUD WALL. SEE STUD WALL SCHEDULE.
	EXISTING STUD WALL TO REMAIN
	4X4 POST DF-L No.2 (C-1)
	SHEAR WALL PER SCHED.
	SHEAR WALL SPECIFICATIONS
	SHEARWALL LENGTH
	SHEARWALL NUMBER
	SHEARWALL TYPE PER DETAIL 9/S-2
	ROOF RAFTER SEE MEMBERS SCHED.
	CEILING JOIST SEE MEMBERS SCHED.

MEMBER SCHEDULE		
MEMBER	SIZE	GRADE
RR-1	2X6 @ 16" O.C.	DF-L No.1
CJ-1	2X8 @ 16" O.C.	DF-L No.1
RB-1	4X8	DF-L No.1
RB-2	4X10	DF-L No.1
HB-1	4X8	DF-L No.1
HB-2	4X8	DF-L No.1
HB-3	4X10	DF-L No.1
CB-1	4X10	DF-L No.1
CB-2	4X12	DF-L No.1
CB-3	4X10	DF-L No.1
CB-4	4X10	DF-L No.1
CB-5	4X12	DF-L No.1
HDR-1	4X4	DF-L No.2
HDR-2	4X6	DF-L No.1
HDR-3	4X8	DF-L No.1

STUD WALL SCHEDULE	
WALL TYPE	STUD WALL SPECIFICATIONS
EXTERIOR 1ST FLOOR WALLS	2X4 DF-L No.2 STUDS @ 16" O.C.
INTERIOR 1ST FLOOR WALLS	2X4 DF-L No.2 STUDS @ 16" O.C.
ALL PLUMBING WALLS	2X6 DF-L No.2 STUDS @ 16" O.C.

No.	DESCRIPTION	DATE
1	INITIAL DESIGN	08/15/2022

PROJECT No.22-262  
DESIGNED BY: OH  
CHECKED BY: SG

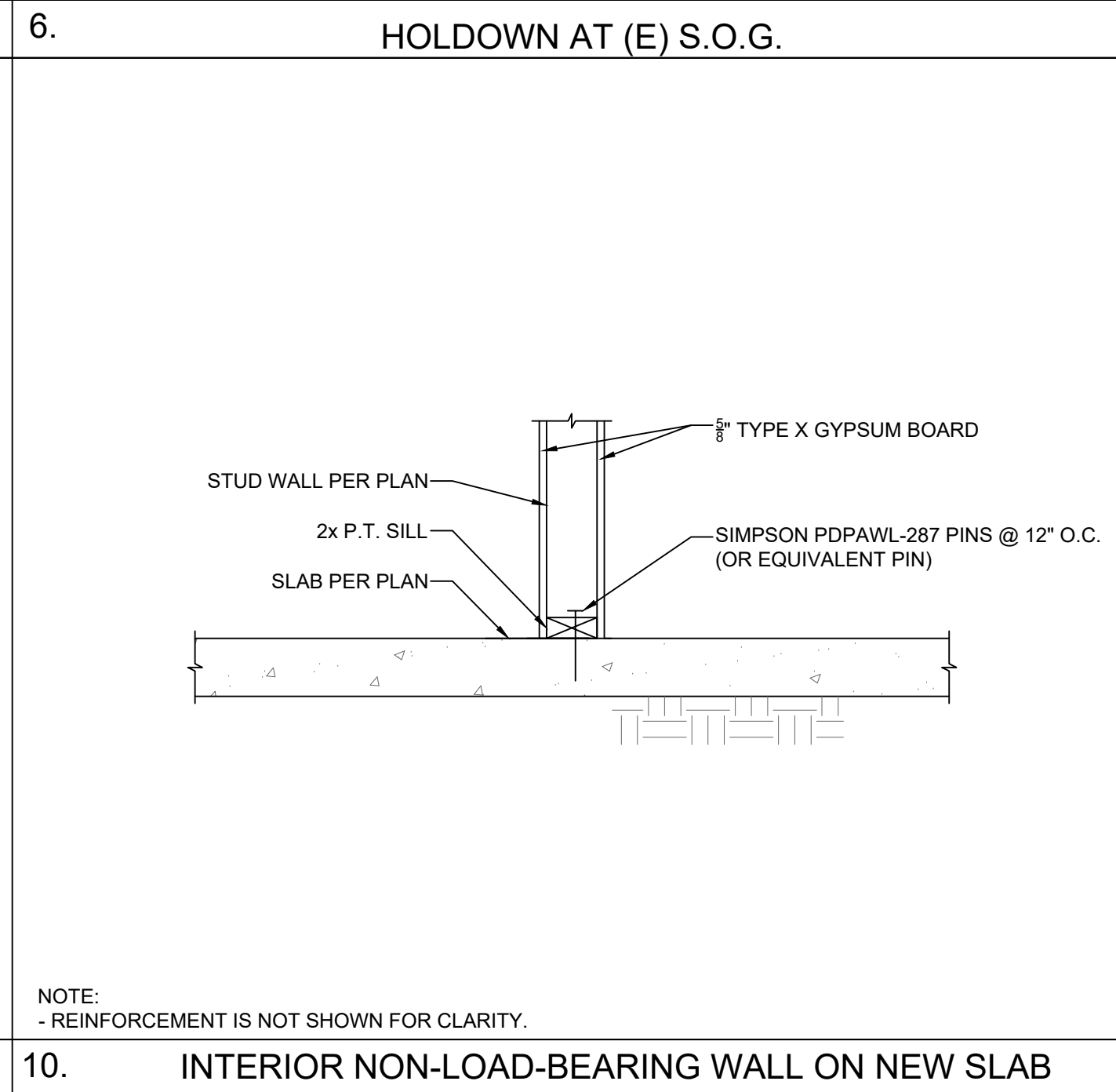
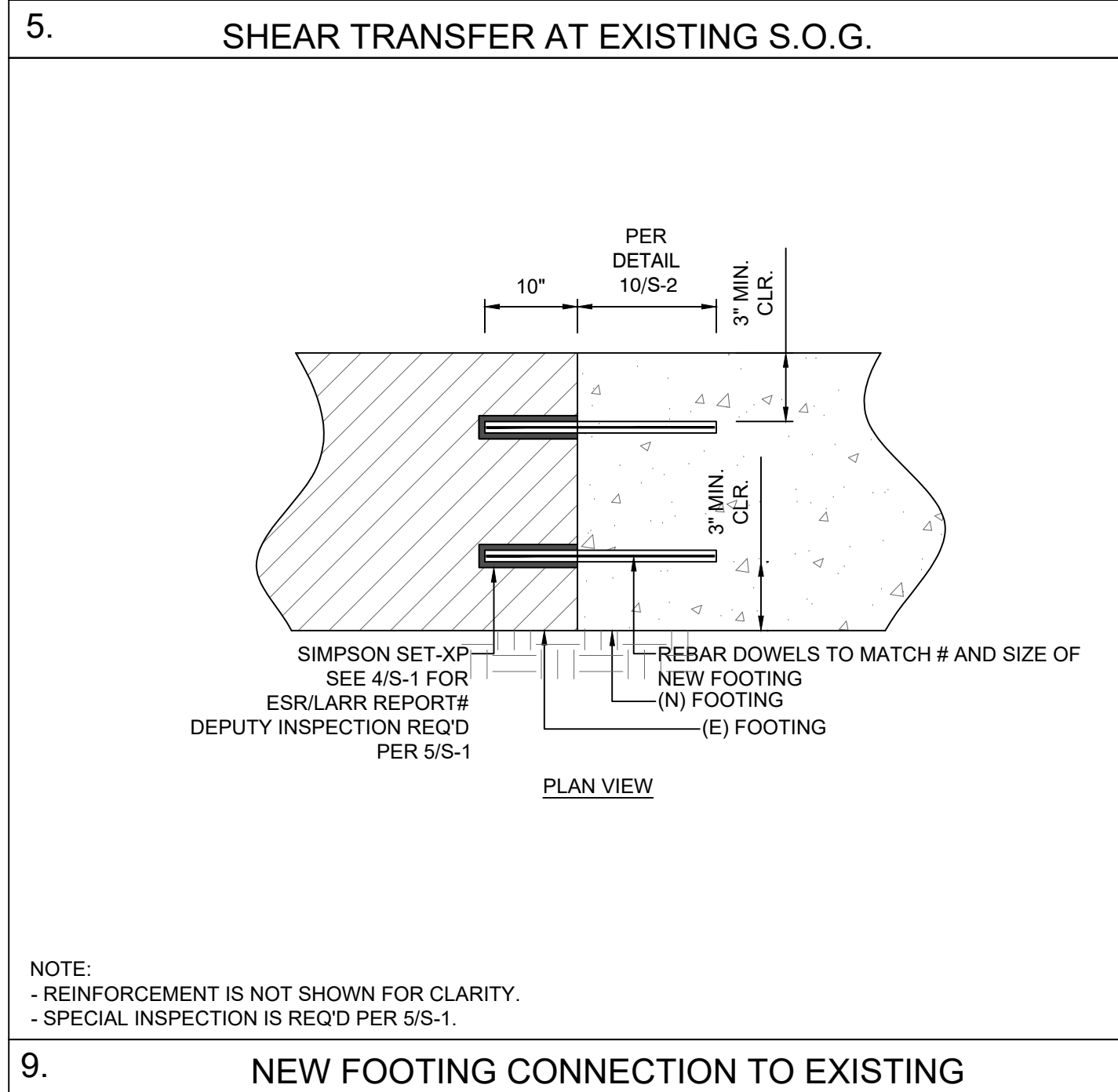
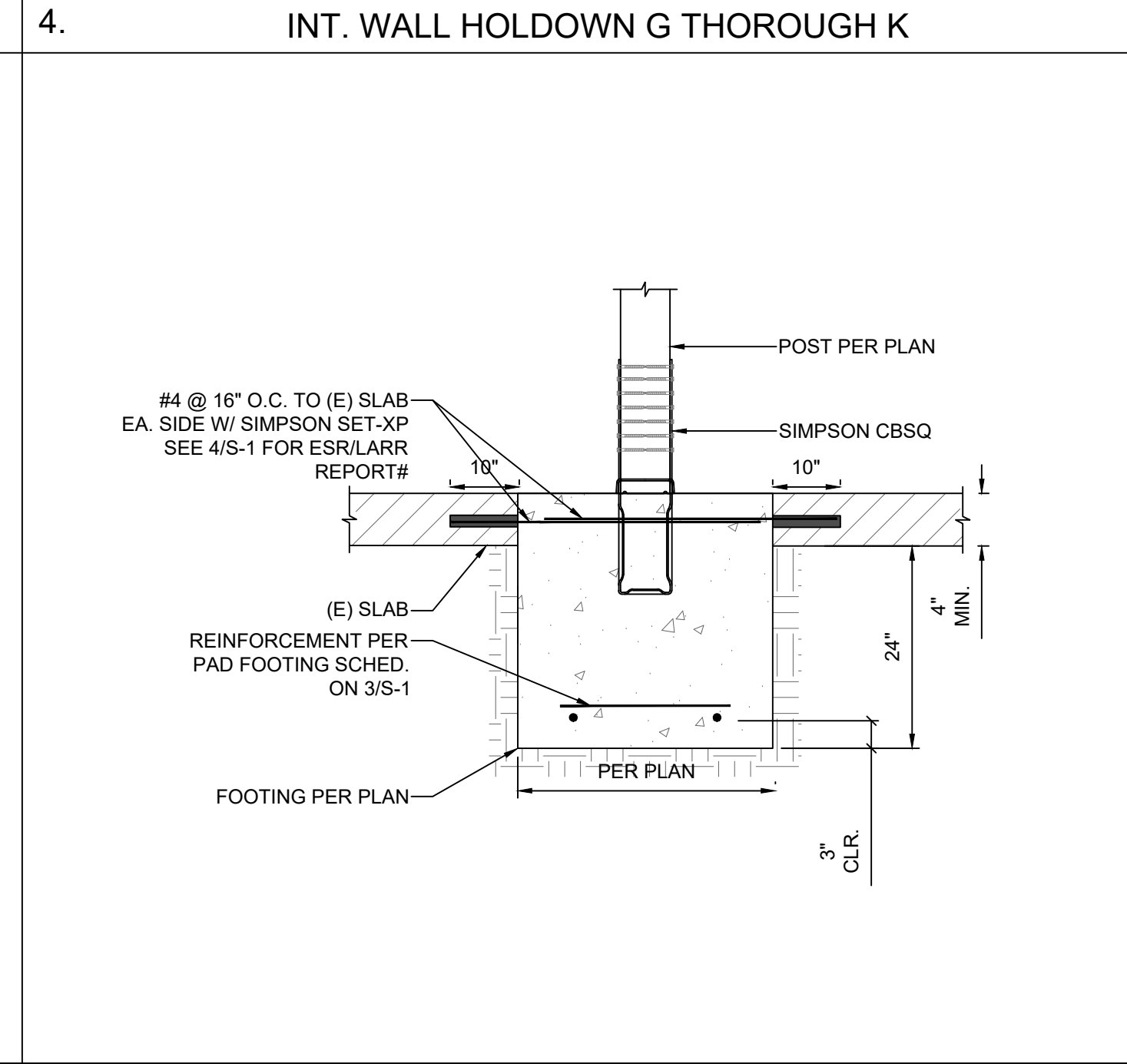
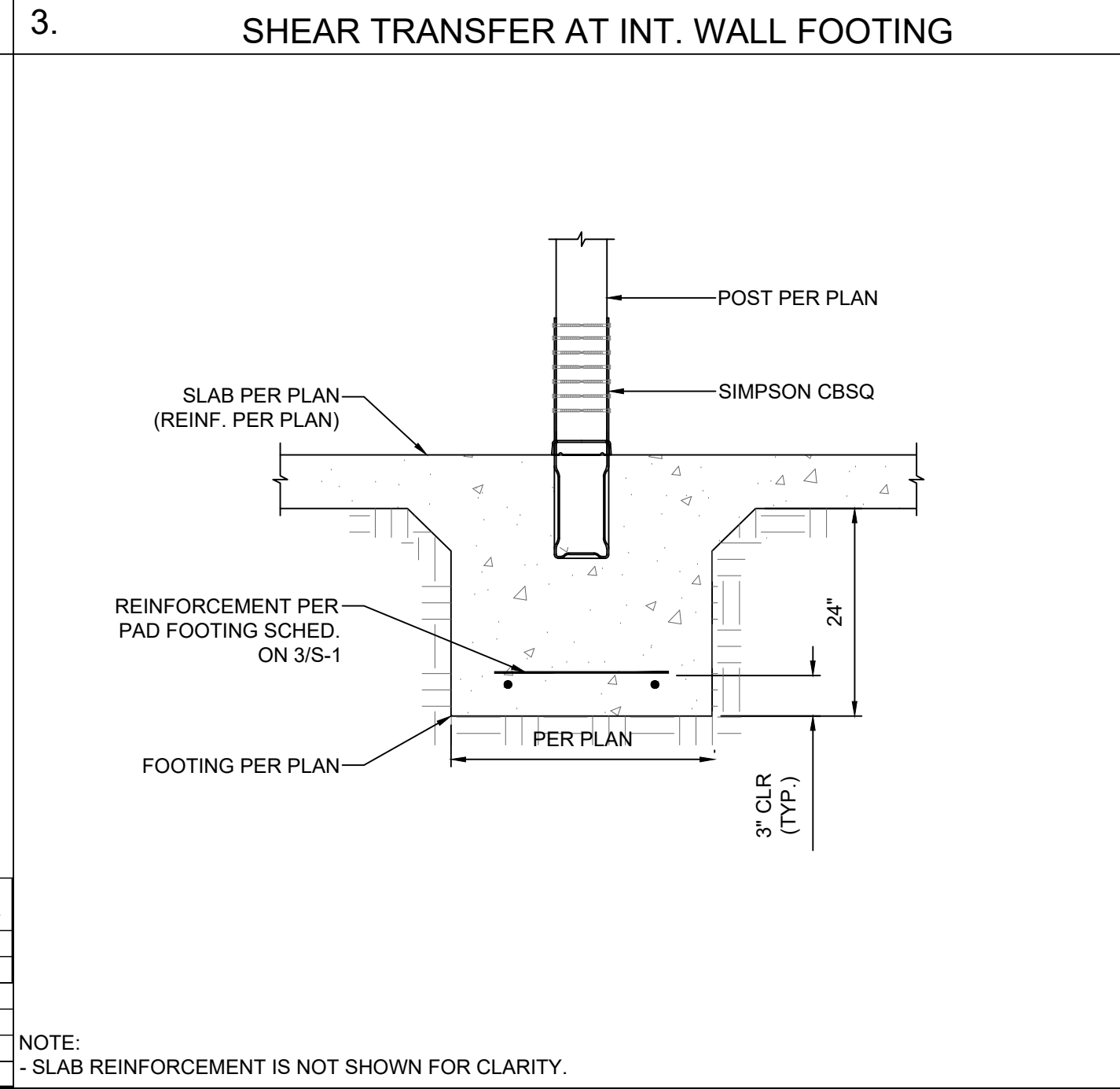
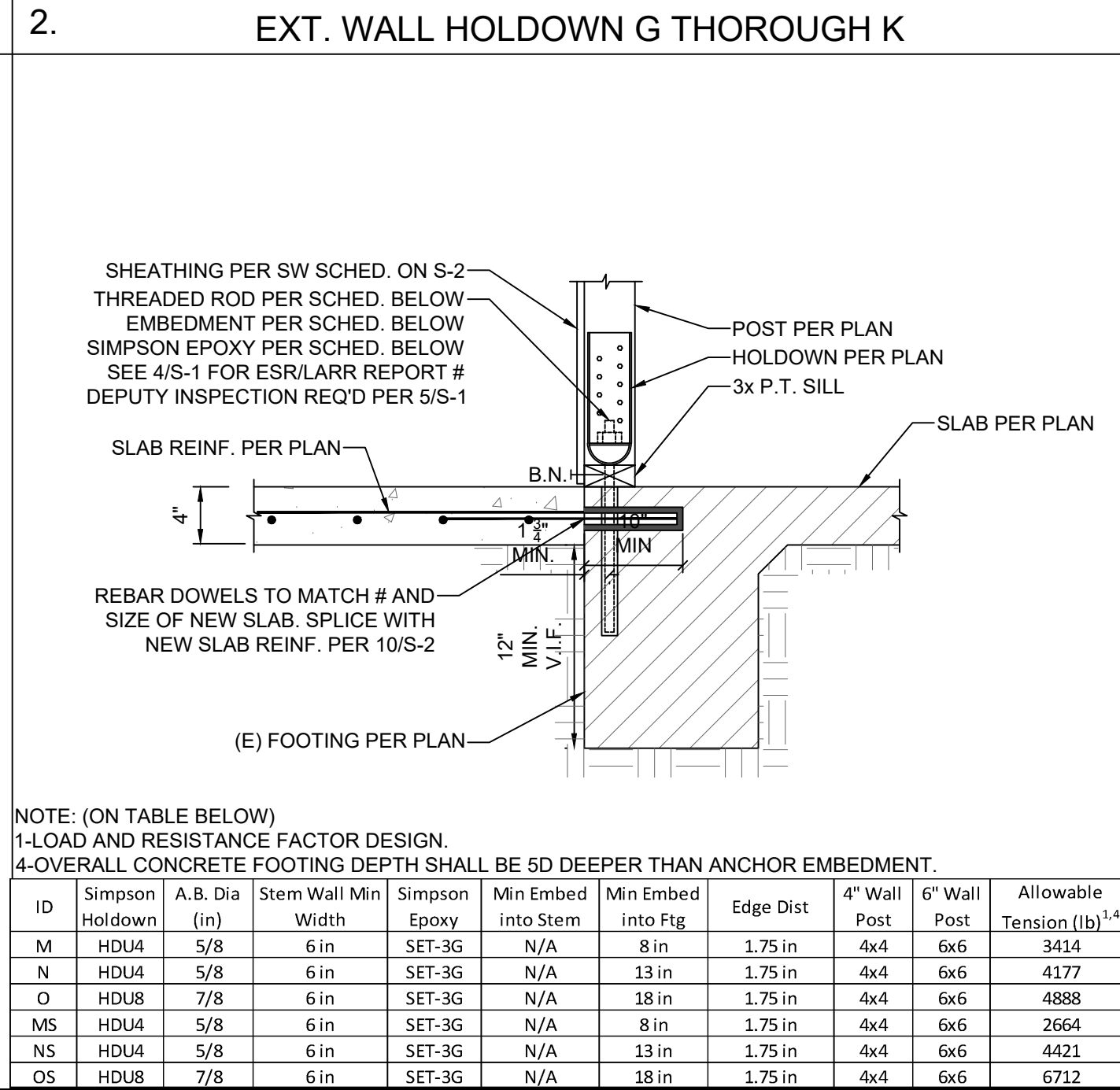
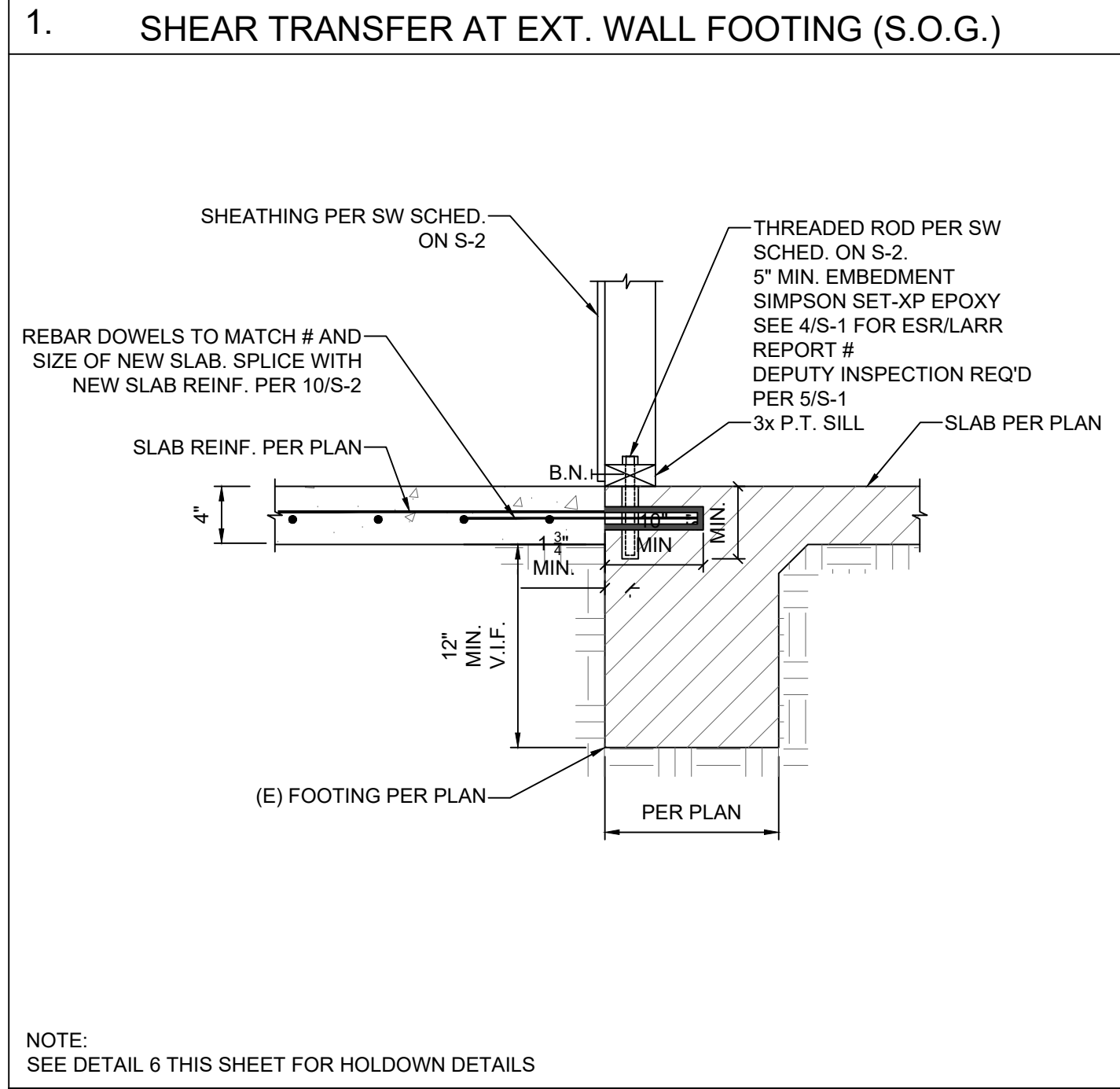
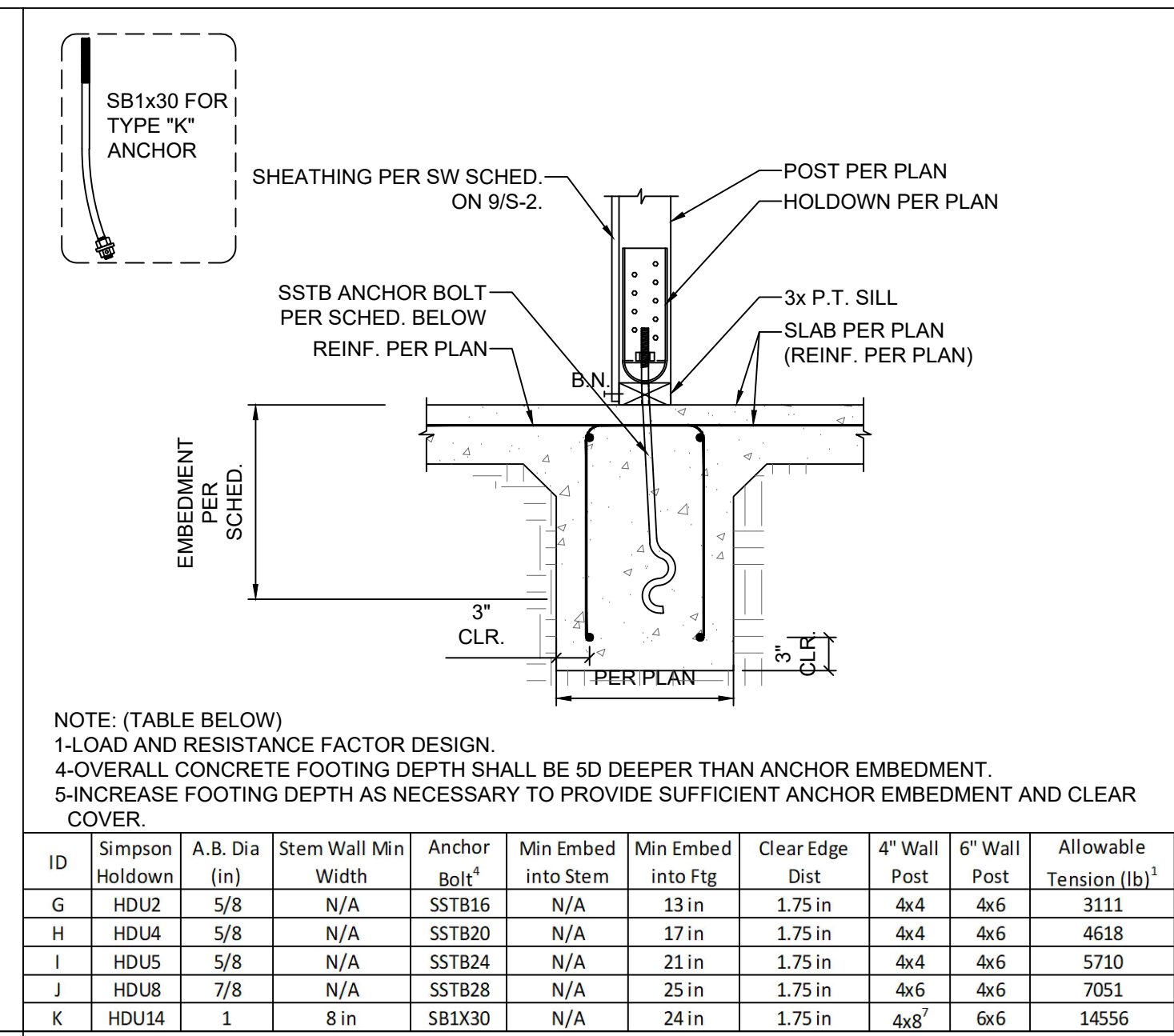
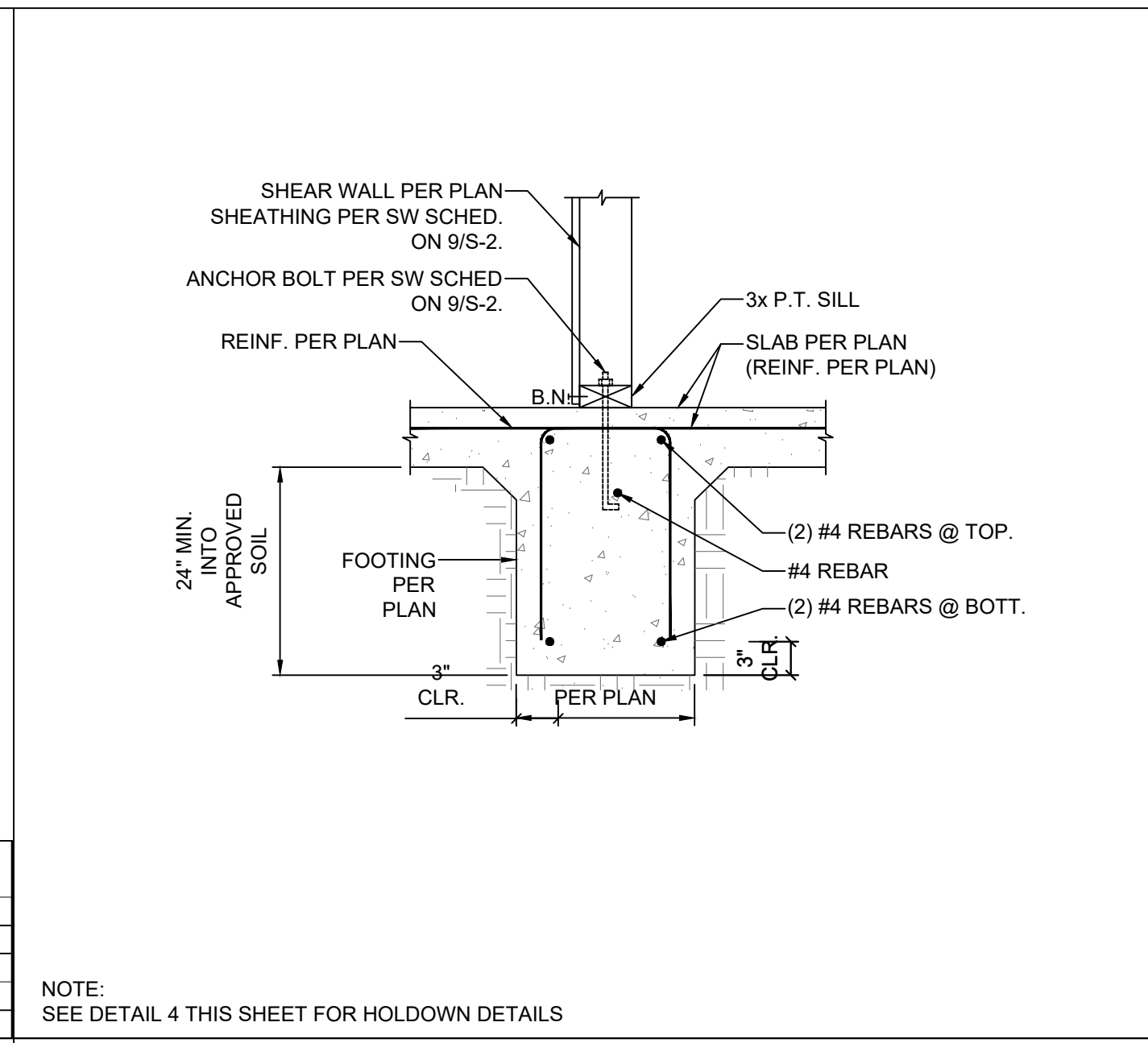
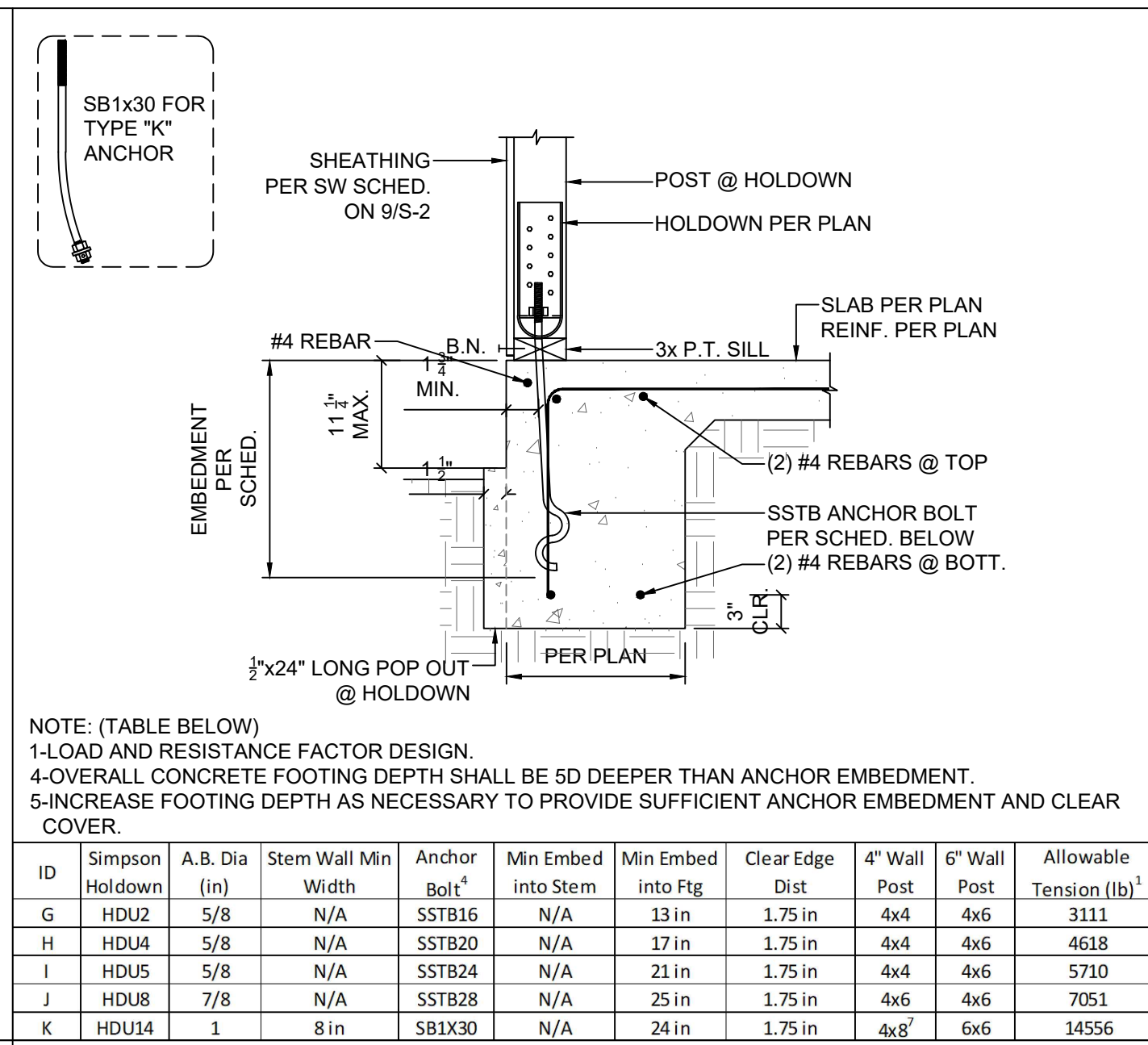
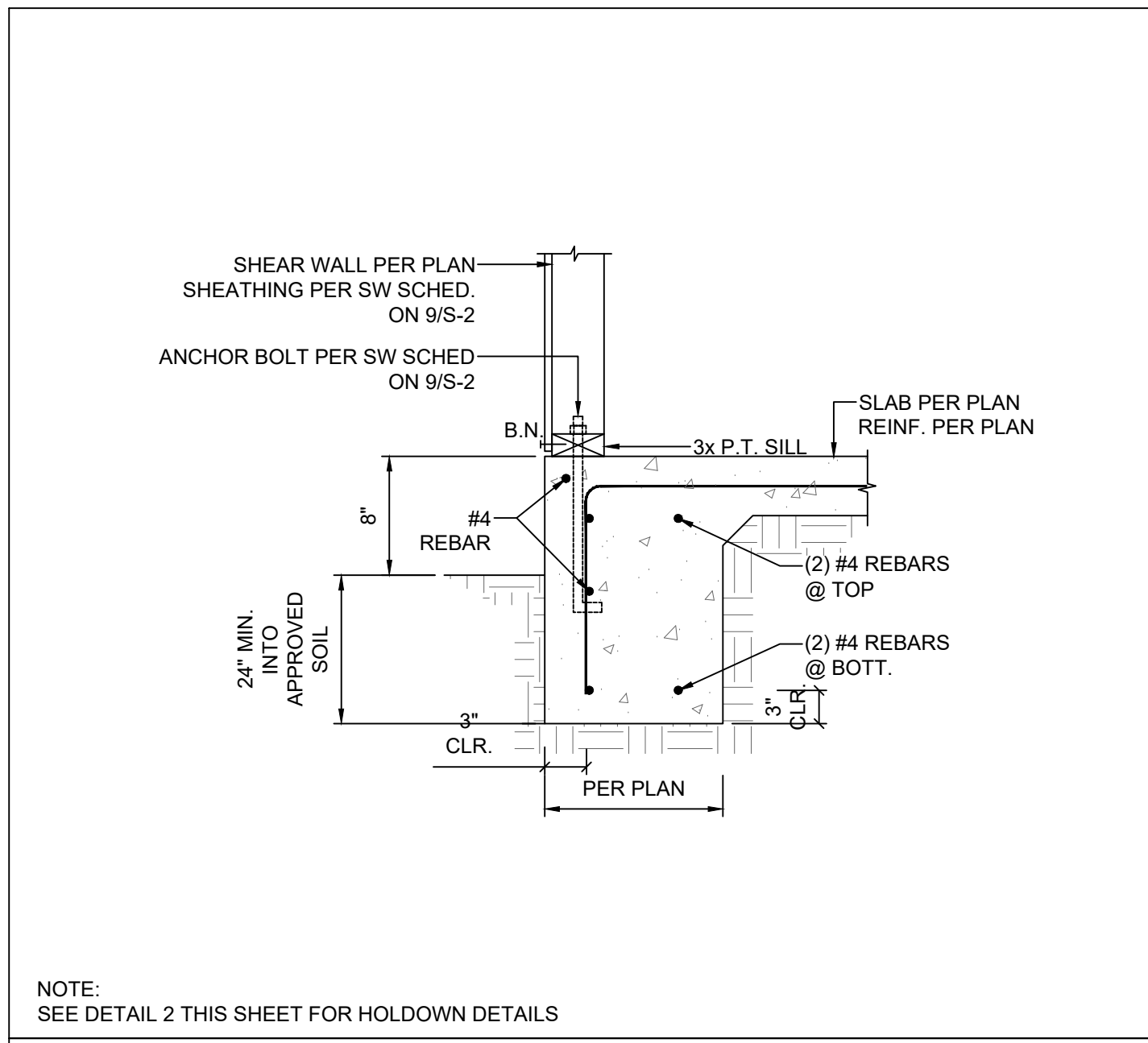
JOB ADDRESS:  
331 W 223RD ST,  
CARSON, CA 90745

ROOF FRAMING PLAN



S-4

SHEET NUMBER

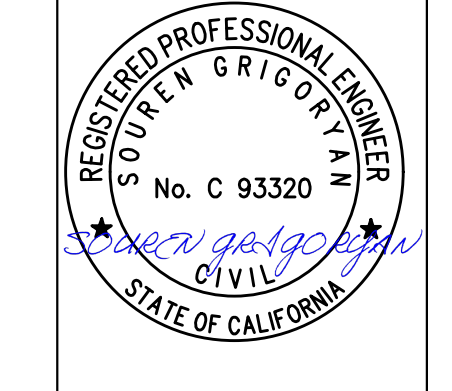


DATE	DESCRIPTION
08/15/2022	INITIAL DESIGN

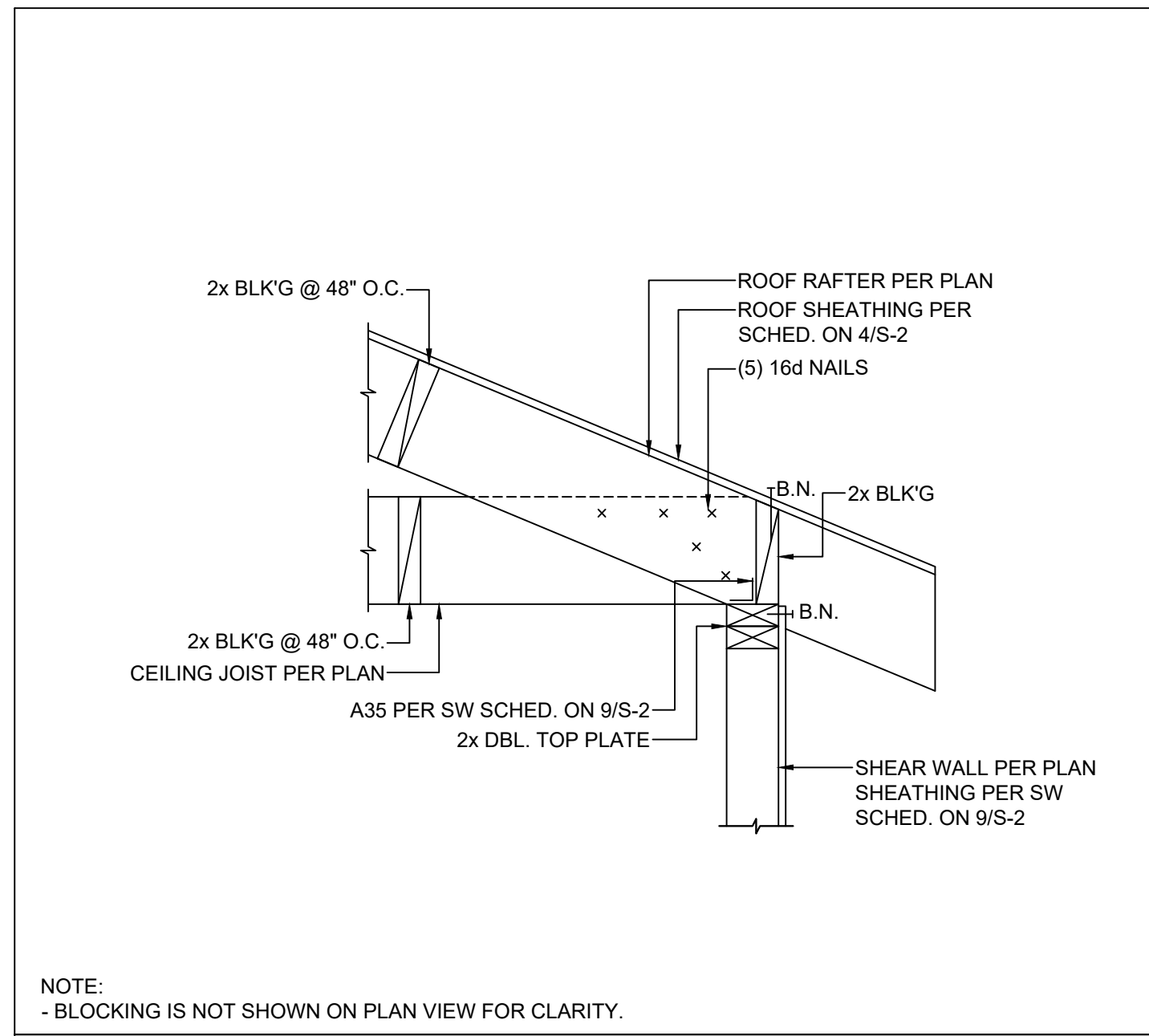
PROJECT No.22-262  
 DESIGNED BY: OH  
 CHECKED BY: SG

JOB ADDRESS:  
 331 W 223RD ST,  
 CARSON, CA 90745

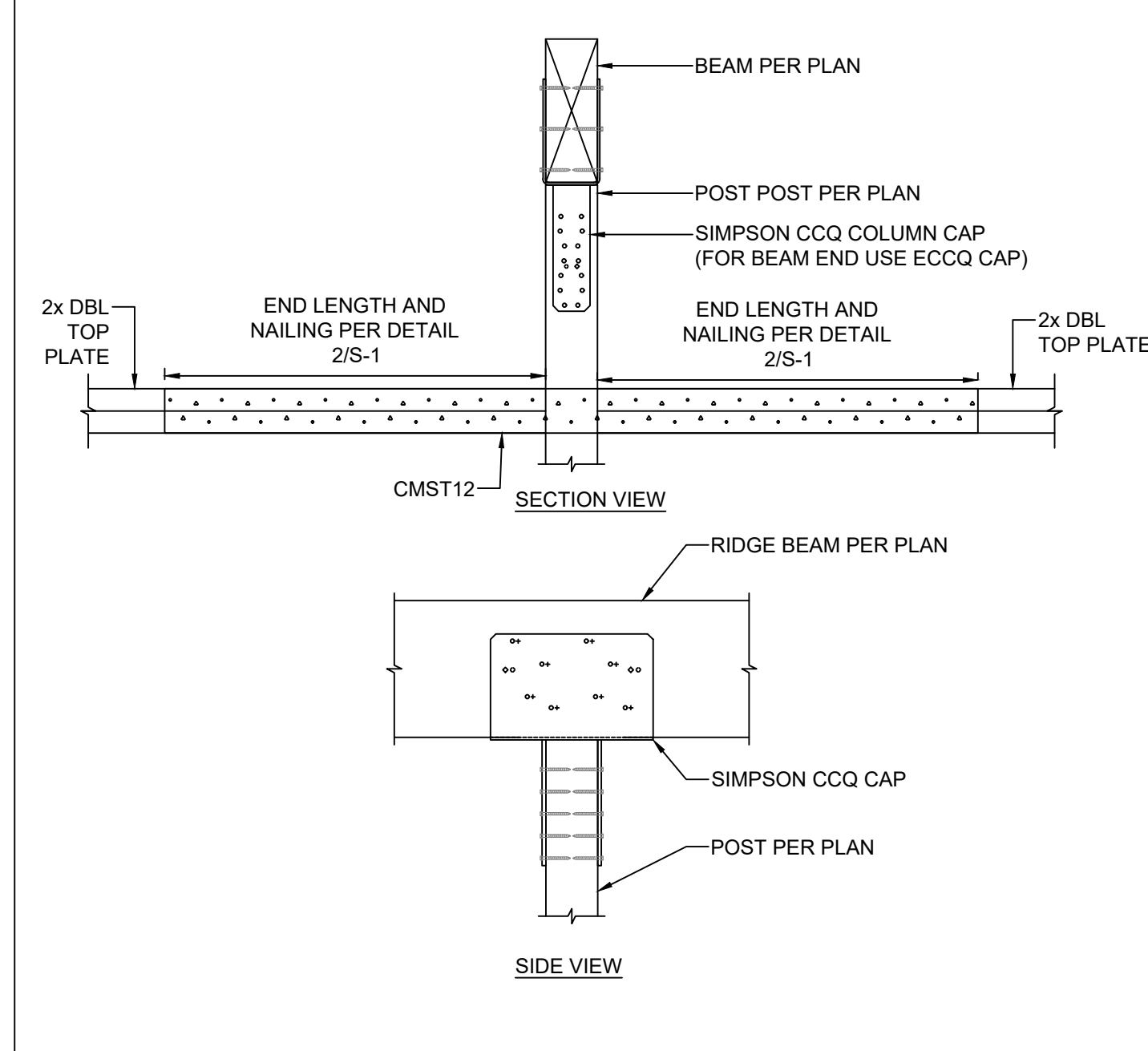
FOUNDATION DETAILS



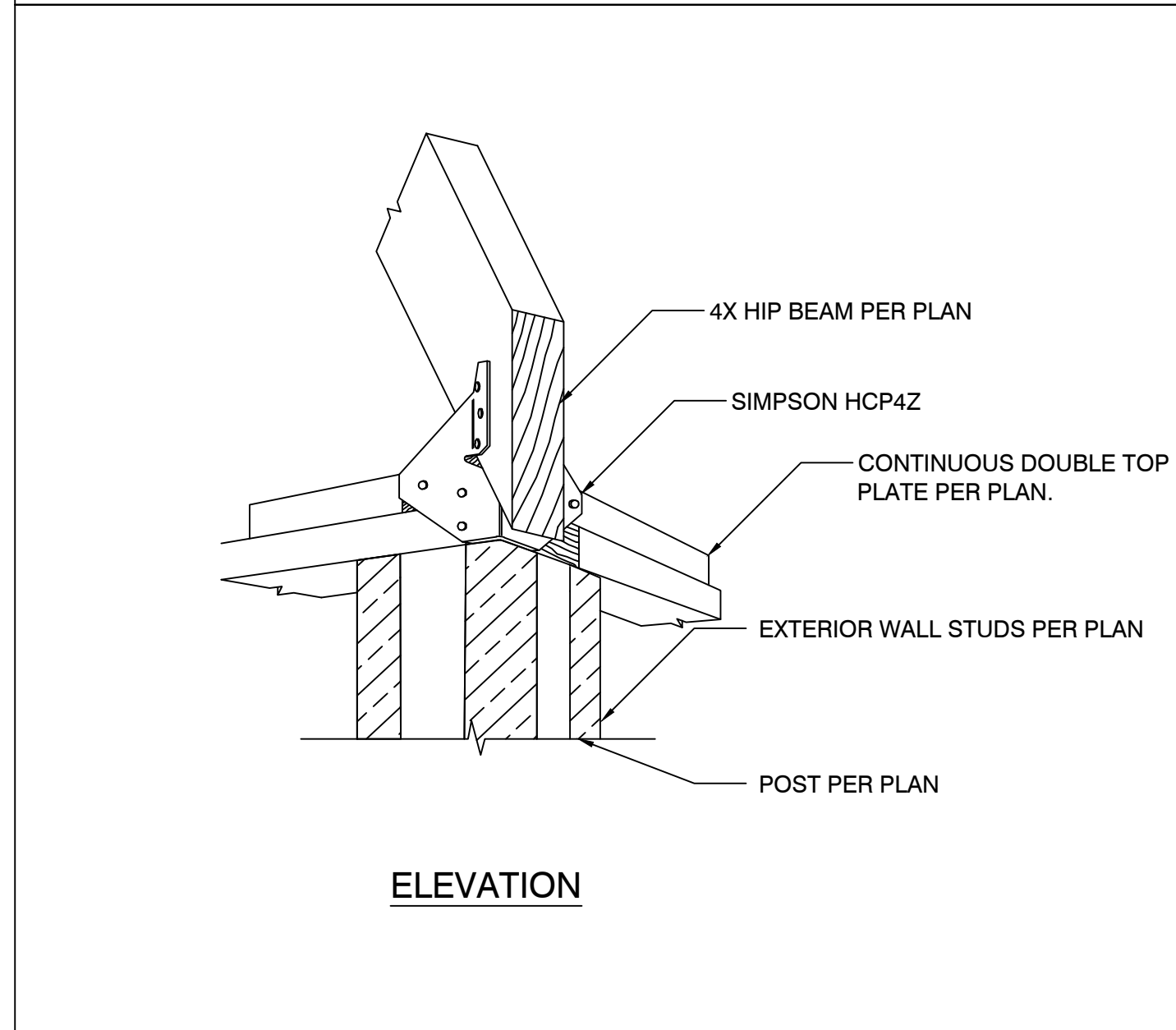
S-5  
 SHEET NUMBER



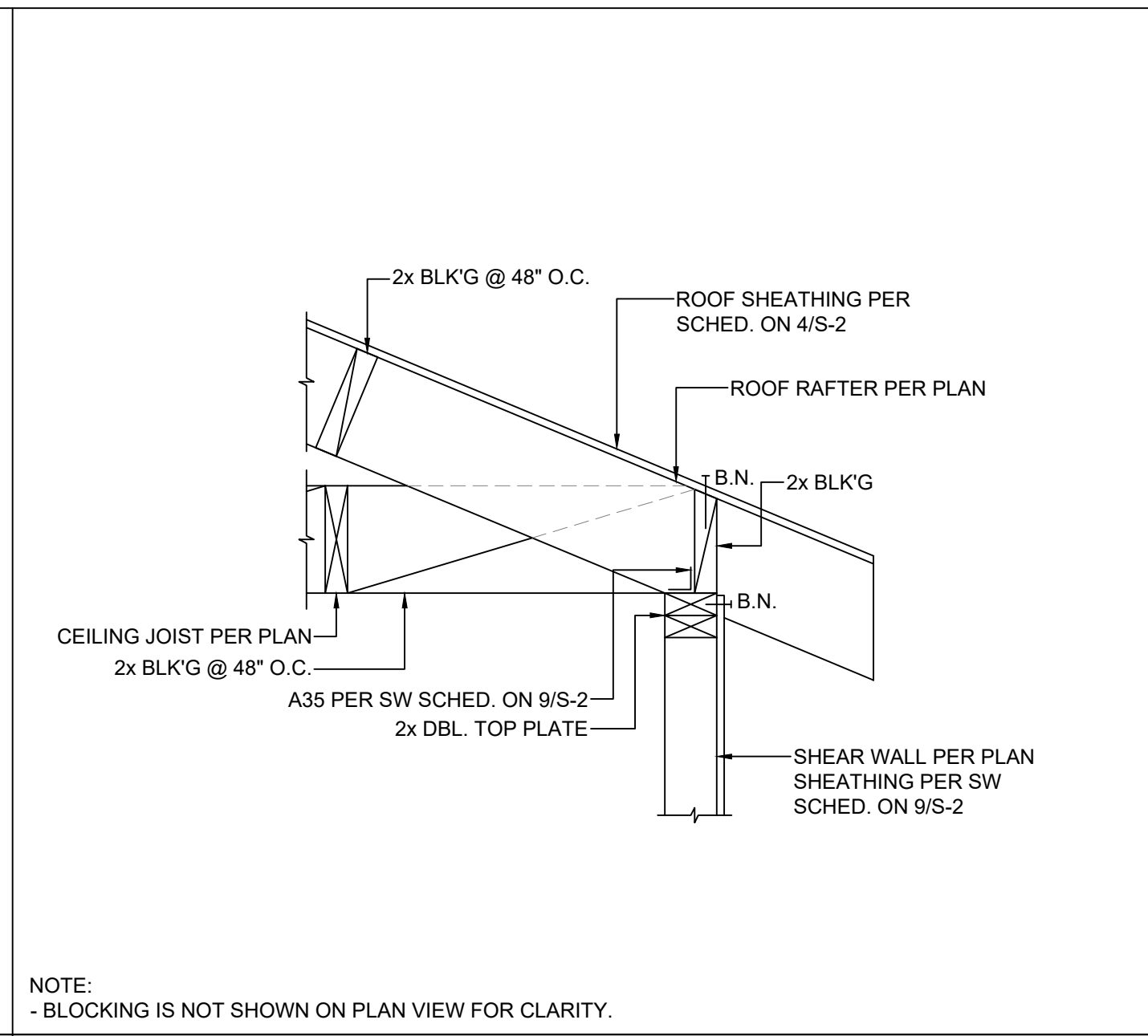
1. SHEAR TRANSFER AT EXTERIOR WALL



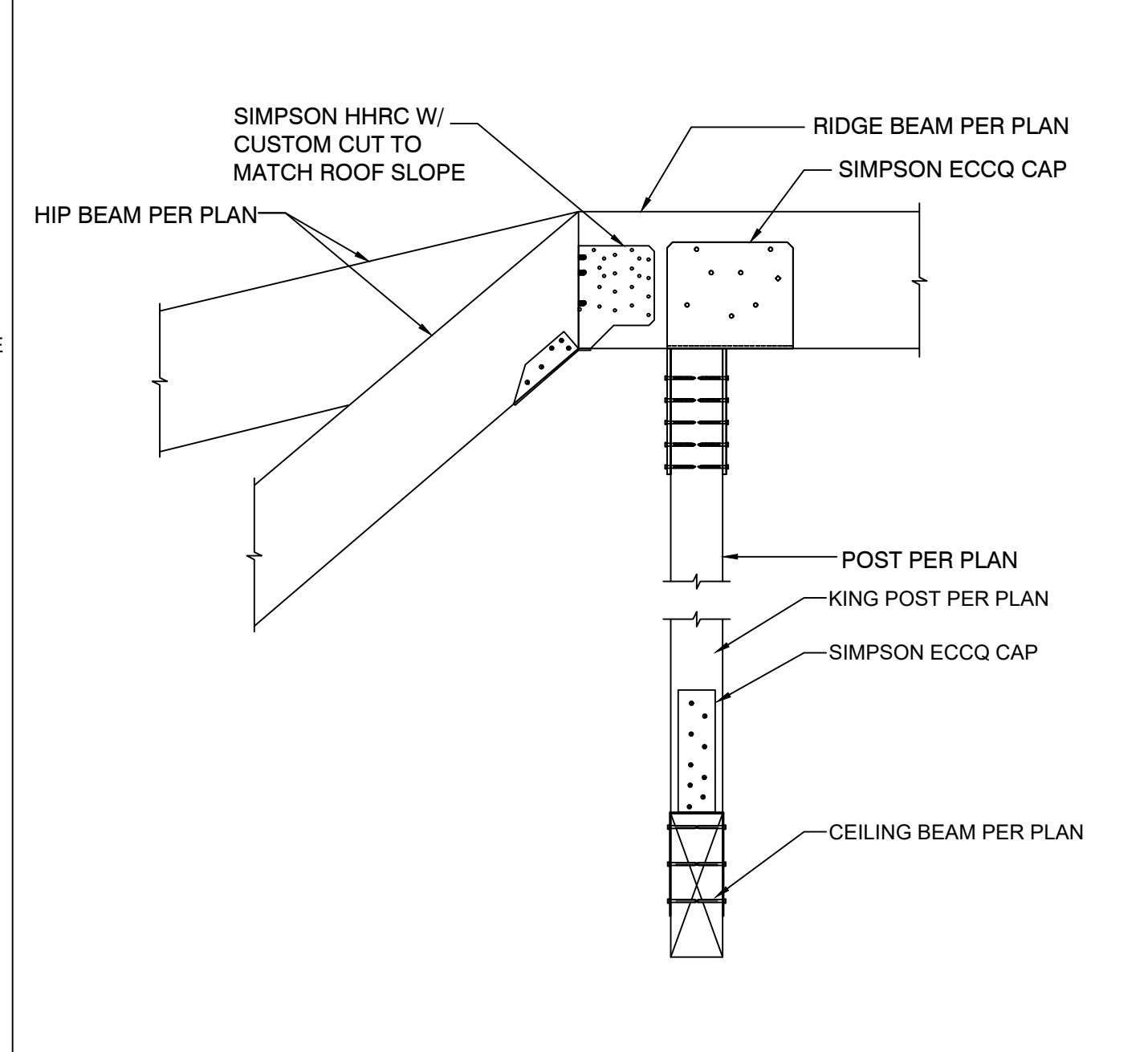
5. POST TO RIDGE BEAM CONNECTION



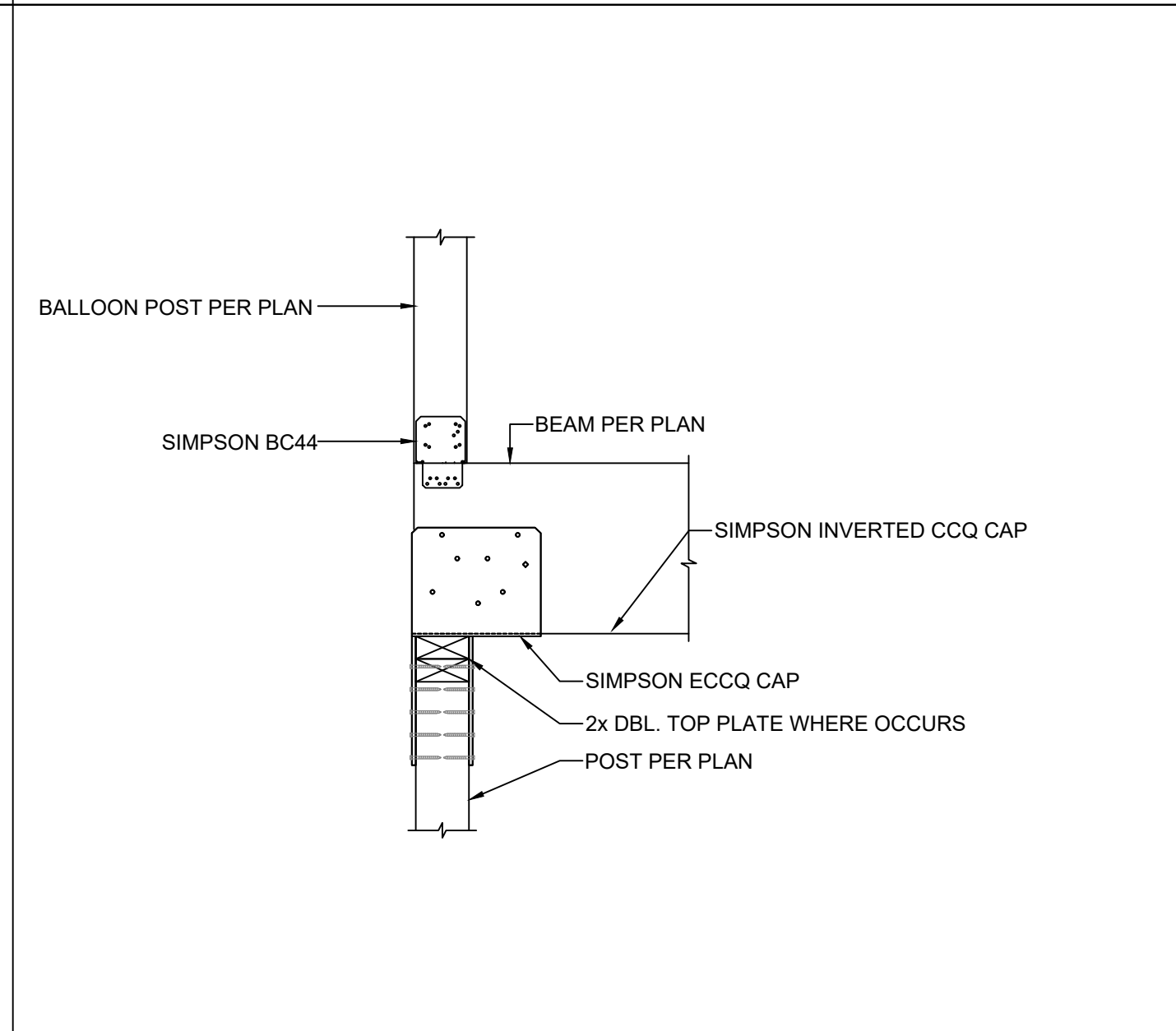
11. HIP BEAM TO POST CONNECTION



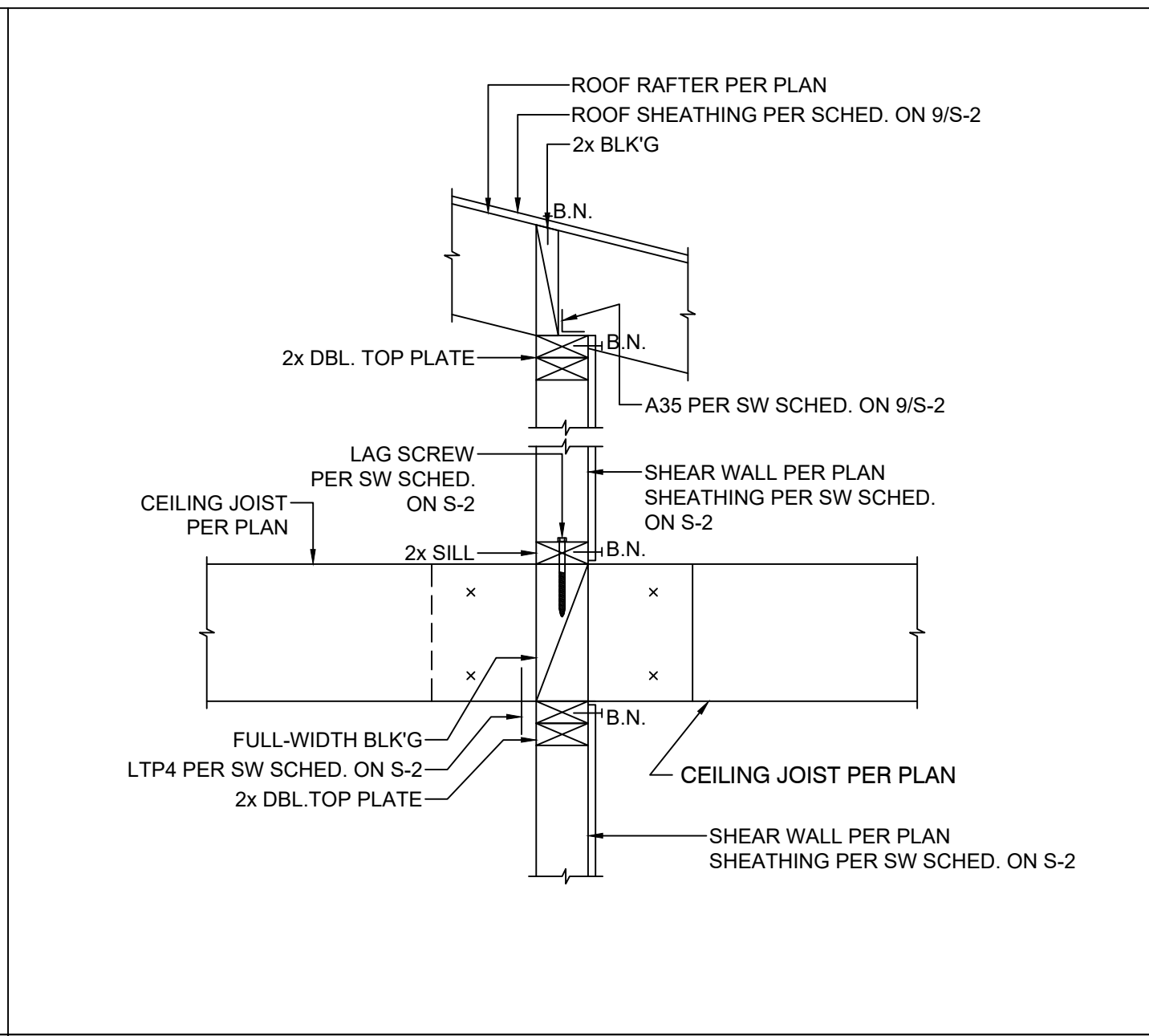
2. SHEAR TRANSFER AT EXTERIOR WALL



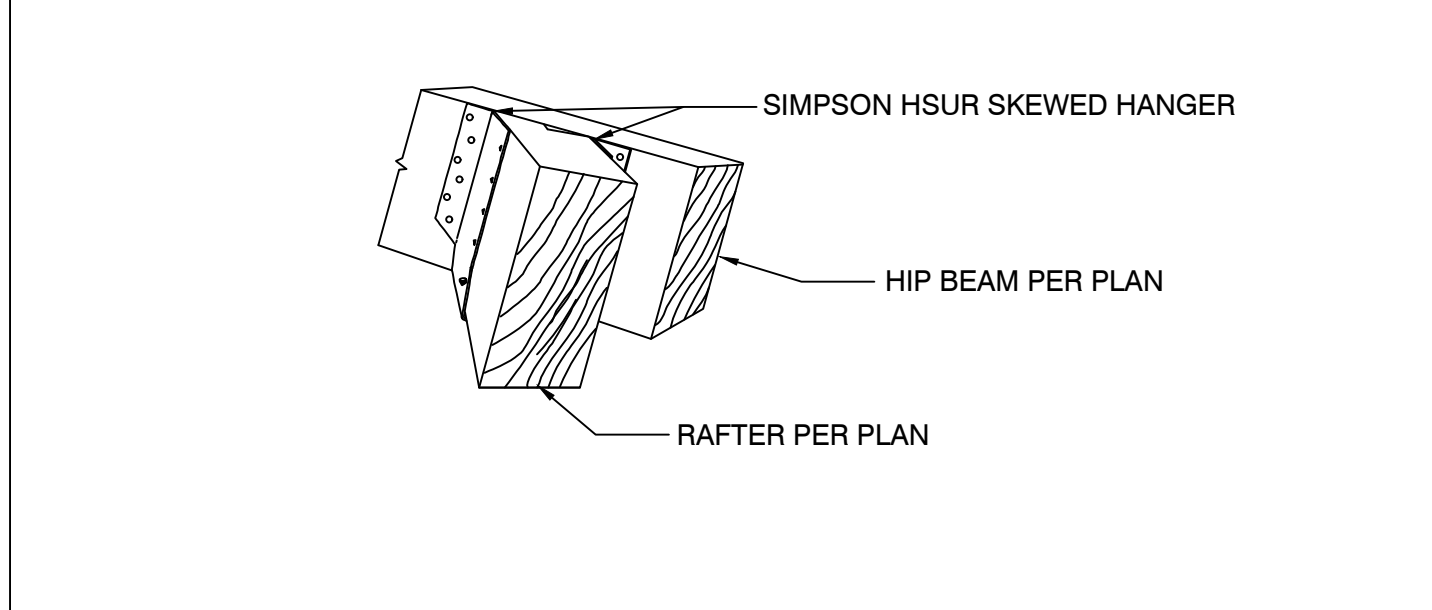
6. HIP TO RIDGE CONNECTION



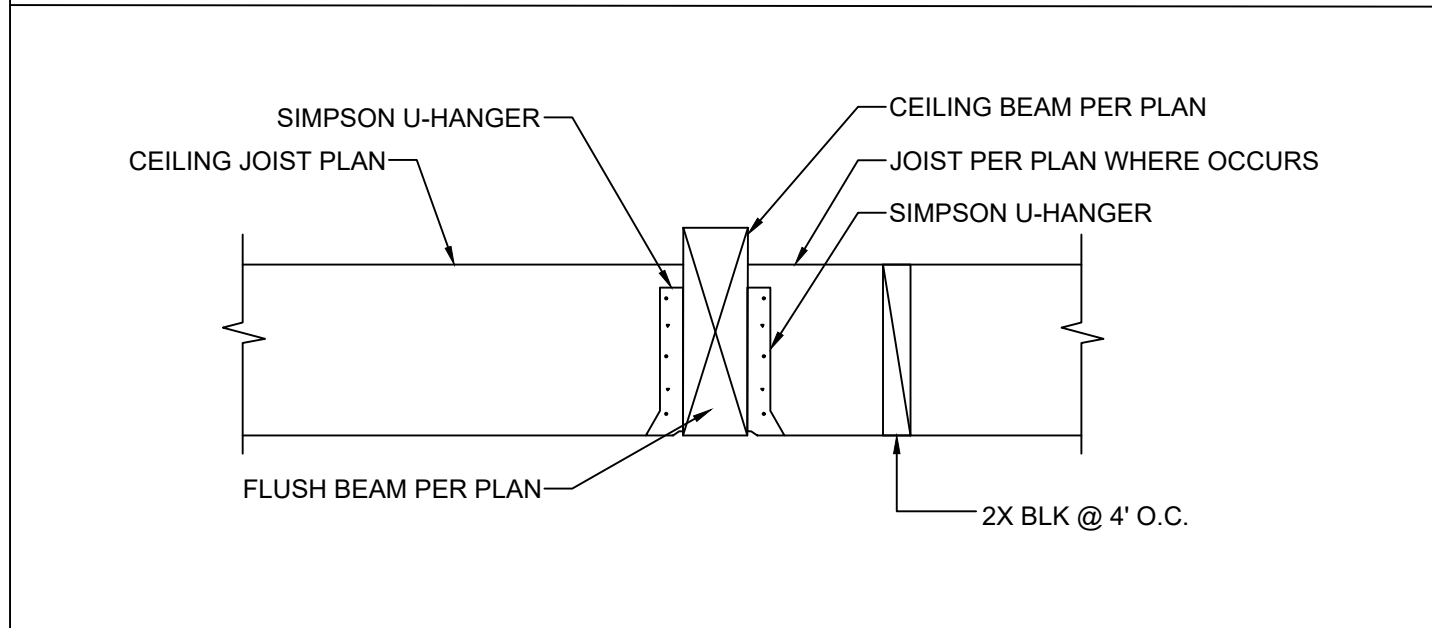
12. POST CONNECTION AT BEAM



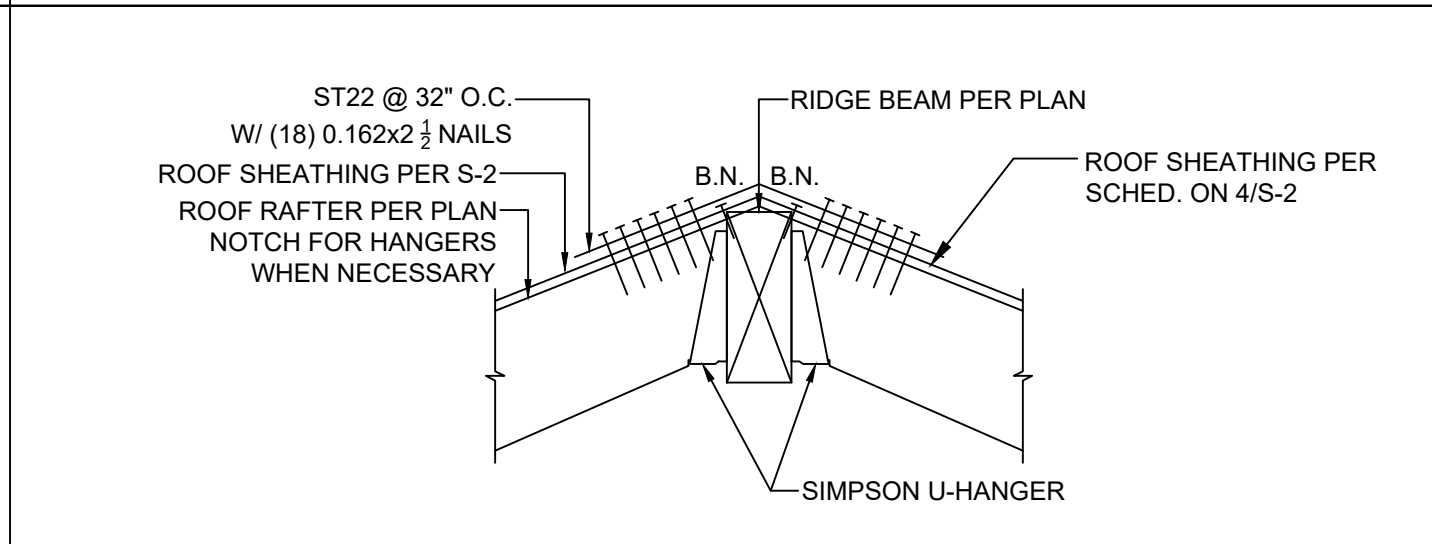
3. INTERIOR SHEARWALL AT ROOF



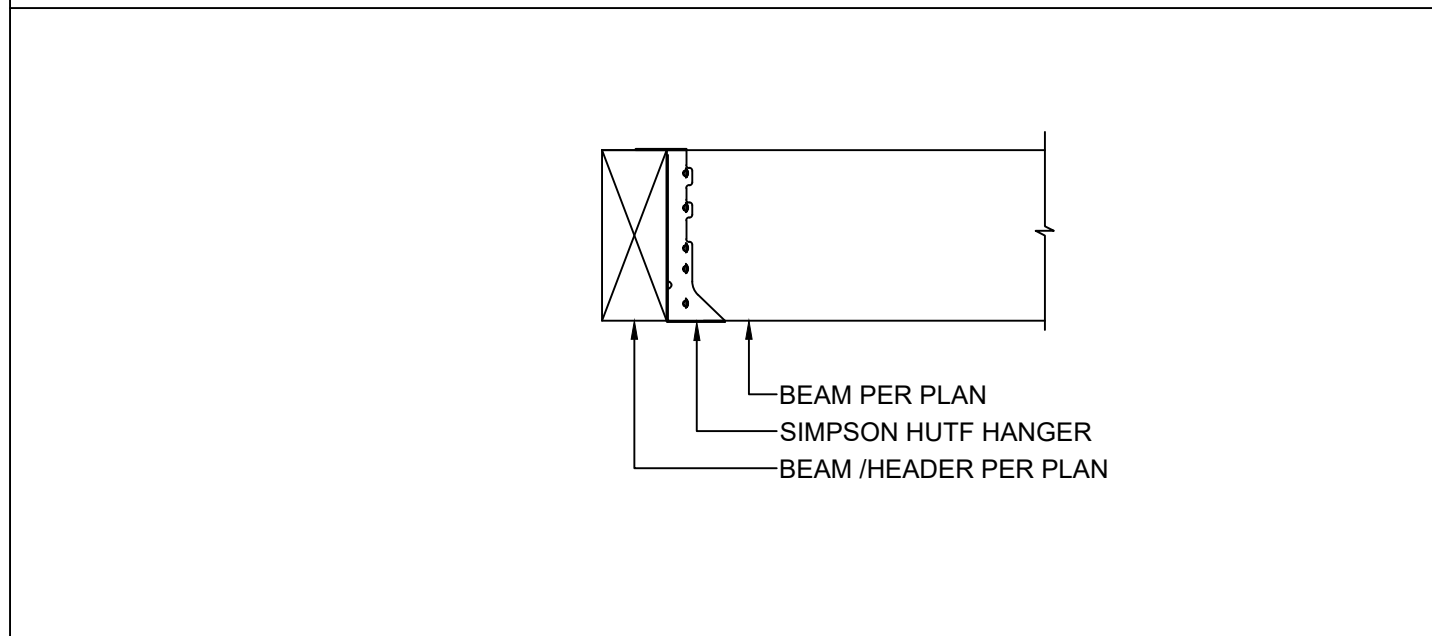
7. RAFTER TO HIP BEAM CONNECTION



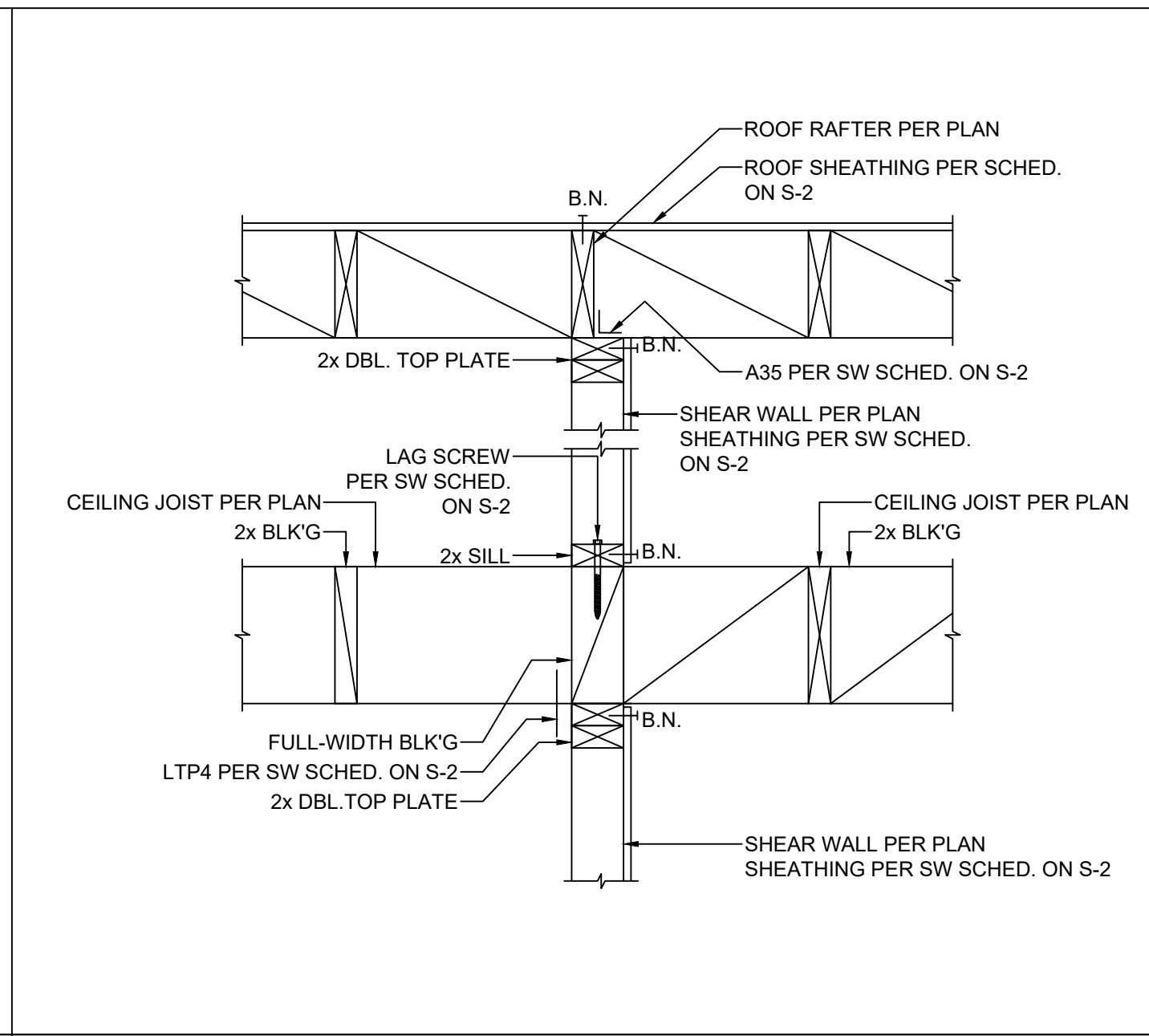
8. JOISTS AT FLUSH BEAM



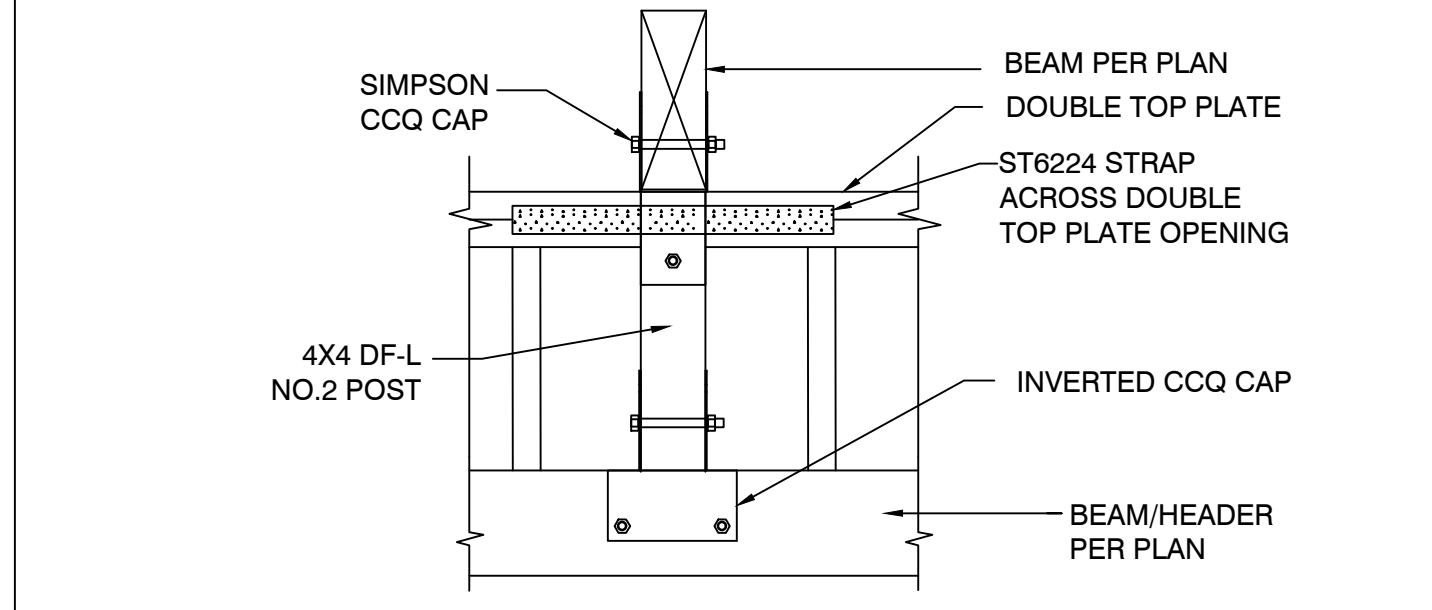
13. RIDGE BEAM



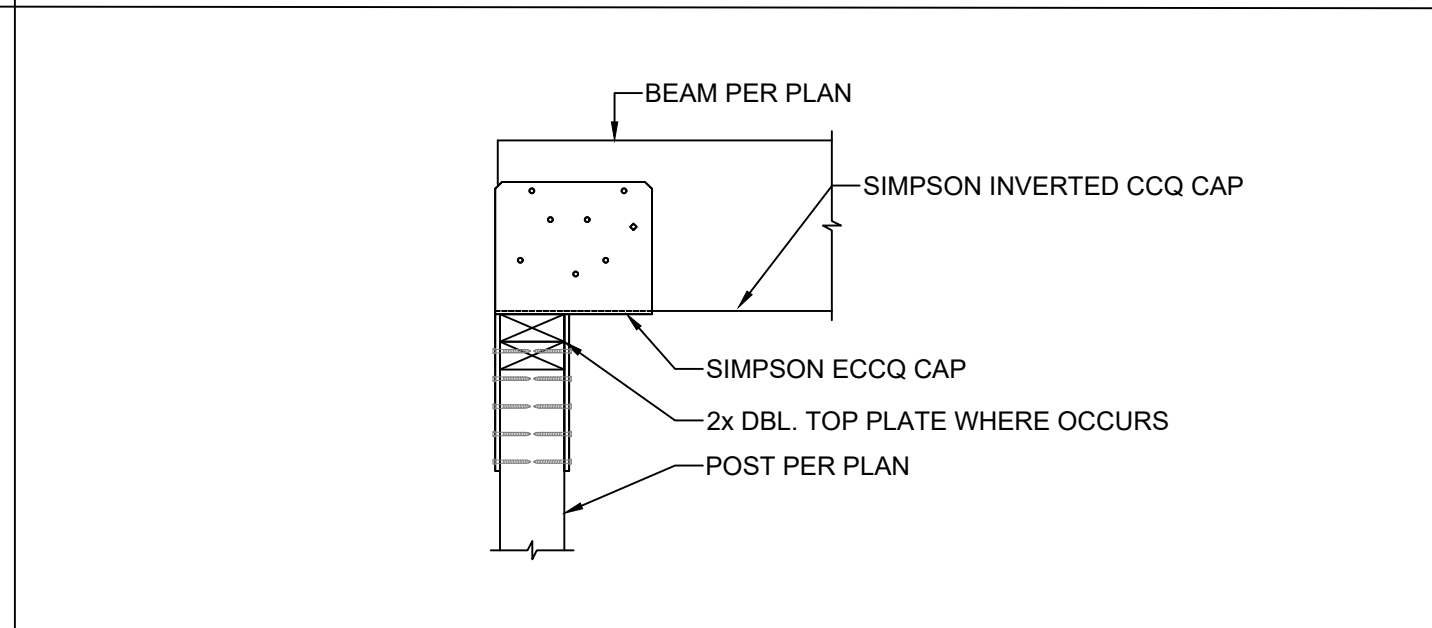
14. WOOD BEAM TO WOOD BEAM CONNECTION (HUTF)



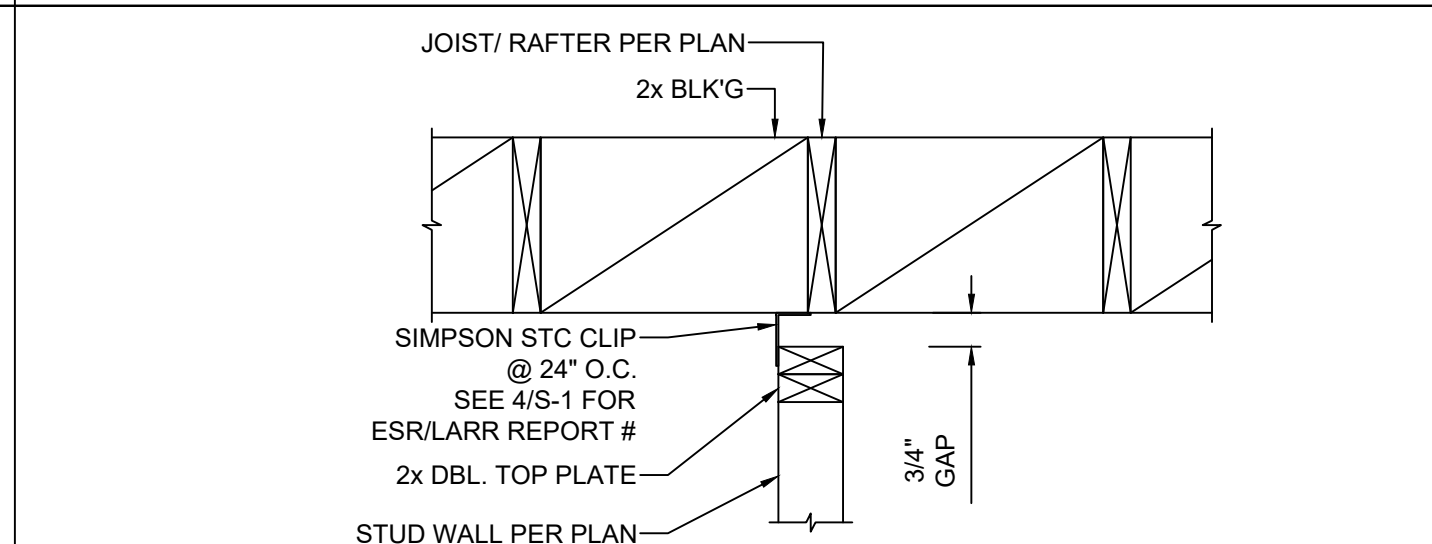
4. INTERIOR SHEARWALL AT ROOF



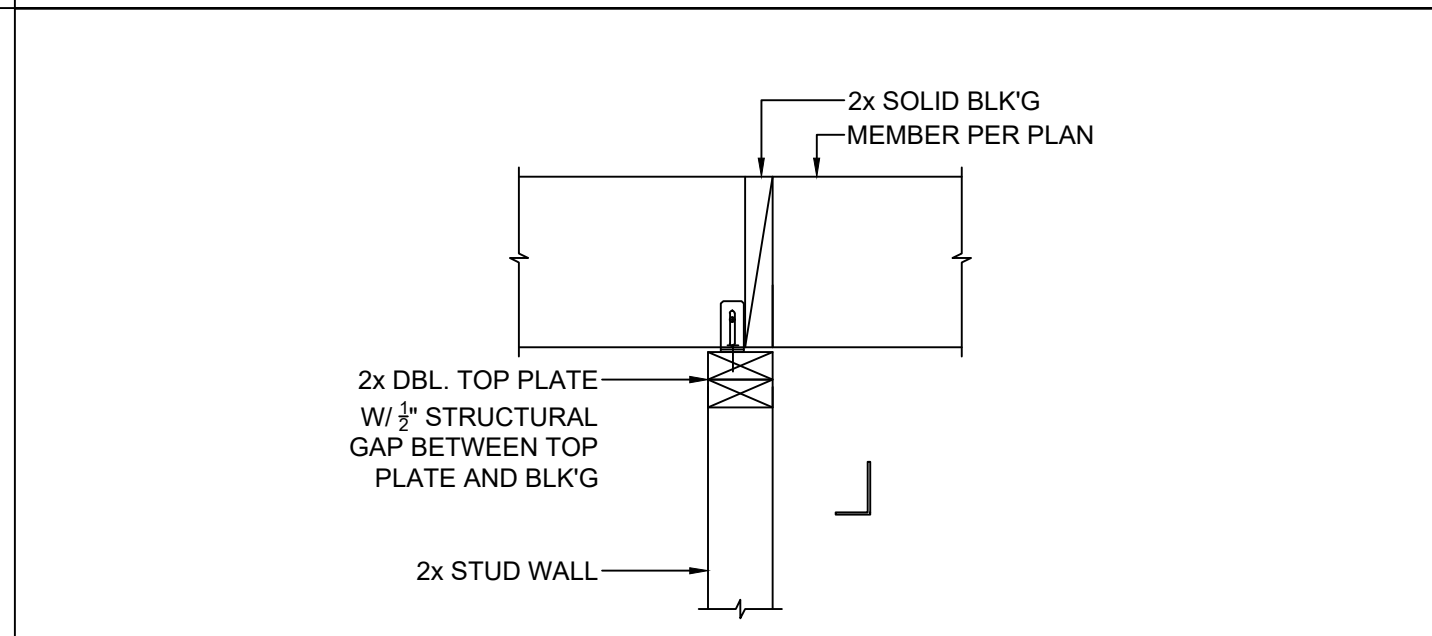
9. WOOD BEAM TO HEADER CONNECTION



10. CCQ SIMPSON CAP CONNECTION



15. NON-LOAD BEARING WALL

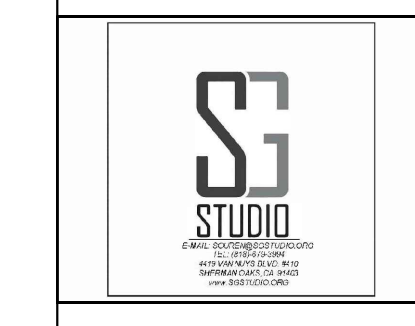



16. NON-LOAD BEARING WALL

DATE	08/15/2022	PROJECT No.22-262
DESCRIPTION	INITIAL DESIGN	DESIGNED BY: OH
No.	1	CHECKED BY: SG

**JOB ADDRESS:**  
331 W 223RD ST,  
CARSON, CA 90745

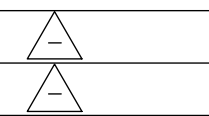
**ROOF FRAMING DETAILS**





S-6

SHEET NUMBER



Roben Mardirosian, P.E.  
10540 Jardine Ave.  
Sunland, CA 91040  
Tel: (818) 484-0495  
Email: roben@armenengineers.com

311 W. 223 RD. ST.  
CARSON, CA 90745

TITLE-24 REPORT

DATE: 8/08/22

SHEET NUMBER

T-1

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 1 of 9)

GENERAL INFORMATION table with columns 01-22 and rows for Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count, and Is Natural Gas Available?

COMPLIANCE RESULTS table with columns 01-03 and rows for Building Complies with Computer Performance, Building does not require field testing or HERS verification, and This building incorporates one or more Special Features shown below.

ENERGY USE SUMMARY table with columns for Energy Use (KTDW/ft²-yr), Standard Design, Proposed Design, Compliance Margin, and Percent Improvement. Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, and Compliance Energy Total.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 2 of 9)

REQUIRED SPECIAL FEATURES table with columns 01-11 and rows for New ductwork added is less than 40 ft. in length.

HERS FEATURE SUMMARY table with columns 01-11 and rows for Building-level Verifications, Cooling System Verifications, Heating System Verifications, HVAC Distribution System Verifications, and Domestic Hot Water System Verifications.

BUILDING - FEATURES INFORMATION table with columns 01-07 and rows for Project Name, Conditioned Floor Area (ft²), Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, and Number of Water Heating Systems.

ZONE INFORMATION table with columns 01-07 and rows for Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, and Water Heating System 2.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 3 of 9)

OPAQUE SURFACES table with columns 01-11 and rows for Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg), Wall Exceptions, Status, and Verified Existing Condition.

ATTIC table with columns 01-10 and rows for Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof, Status, and Verified Existing Condition.

FENESTRATION / GLAZING table with columns 01-16 and rows for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, SHGC Source, SHGC, Exterior Shading, Status, and Verified Existing Condition.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 4 of 9)

FENESTRATION / GLAZING table with columns 01-16 and rows for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, SHGC Source, SHGC, Exterior Shading, Status, and Verified Existing Condition.

OPAQUE DOORS table with columns 01-06 and rows for Name, Side of Building, Area (ft²), U-factor, Status, and Verified Existing Condition.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 5 of 9)

SLAB FLOORS table with columns 01-10 and rows for Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated, Status, and Verified Existing Condition.

OPAQUE SURFACE CONSTRUCTIONS table with columns 01-08 and rows for Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, and Assembly Layers.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02

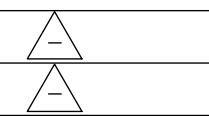
**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Input File Name: 311 W. 223 Rd. St..ribd19x  
CF1R-PRF-01E  
(Page 6 of 9)

OPAQUE SURFACE CONSTRUCTIONS table with columns 01-08 and rows for Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, and Assembly Layers.

BUILDING ENVELOPE - HERS VERIFICATION table with columns 01-04 and rows for Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, and CFM50.

WATER HEATING SYSTEMS table with columns 01-10 and rows for Name, System Type, Distribution Type, Water Heater Name (#), Solar Heating System, Compact Distribution, HERS Verification, Status, Verified Existing Condition, and Existing Water Heating System.

Registration Number: 222-P010155366A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS, Inc.  
Report Generated: 2022-08-05 16:27:02



Roben Mardirosoian, P.E.  
10540 Jardine Ave.  
Sunland, CA 91040  
Tel: (818) 484-0495  
Email: roben@armenengineers.com

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Calculation Description: Title 24 Analysis  
Input File Name: 311 W. 223 Rd. St. r1bd19x

CF1R-PRF-01E  
(Page 7 of 9)

Table with 14 columns: 01-14. Headers include Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Energy Factor or Efficiency, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, NEEA Heat Pump Brand or Model, Tank Location or Ambient Condition, Status, Verified Existing Condition.

Table with 8 columns: 01-08. Headers include Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Central DHW Distribution, Shower Drain Water Heat Recovery.

Table with 11 columns: 01-11. Headers include Name, System Type, Heating Unit Name, Cooling Unit Name, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Heating Equipment Count, Cooling Equipment Count.

Table with 4 columns: 01-04. Headers include Name, System Type, Number of Units, Heating Efficiency.

Registration Number: 222-P010155365A-000-000-000000-0000  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Calculation Description: Title 24 Analysis  
Input File Name: 311 W. 223 Rd. St. r1bd19x

CF1R-PRF-01E  
(Page 8 of 9)

Table with 8 columns: 01-08. Headers include Name, System Type, Number of Units, Efficiency EER/CEER, Efficiency SEER, Zonally Controlled, Multi-speed Compressor, HERS Verification.

Table with 16 columns: 01-16. Headers include Name, Type, Design Type, Supply, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution system, New Ducts 40 ft.

Table with 4 columns: 01-04. Headers include Name, Type, Fan Power (Watts/CFM), Name.

Table with 3 columns: 01-03. Headers include Name, Verified Fan Watt Draw, Required Fan Efficacy (Watts/CFM).

Registration Number: 222-P010155365A-000-000-000000-0000  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS inc.  
Report Generated: 2022-08-05 16:27:02

**CERTIFICATE OF COMPLIANCE**  
Project Name: 311 W. 223 Rd.  
Calculation Date/Time: 2022-08-05T16:27:30-07:00  
Calculation Description: Title 24 Analysis  
Input File Name: 311 W. 223 Rd. St. r1bd19x

CF1R-PRF-01E  
(Page 9 of 9)

Table with 2 columns: Documentation Author Name, Documentation Author Signature.

Documentation Author Name: Roben Mardirosoian  
Signature Date: 2022-08-05 16:57:49  
Address: 10540 Jardine Ave, Sunland, CA 91040  
Phone: 818-484-0495

Table with 2 columns: Responsible Designer Name, Responsible Designer Signature.

Responsible Designer Name: Ashot Matevosyan  
Signature Date: 2022-08-05 16:58:34  
Address: 5928 Whitsett Ave, Valley Village, CA 91607  
Phone: 818-331-5259

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



Registration Number: 222-P010155365A-000-000-000000-0000  
Registration Date/Time: 2022-08-05 16:58:34  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CalCERTS inc.  
Report Generated: 2022-08-05 16:27:02

**RESIDENTIAL MEASURES SUMMARY** RMS-1

Project Name: 311 W. 223 Rd.  
Building Type: Single Family  
Date: 8/5/2022  
Project Address: 311 W. 223 Rd. Carson  
California Energy Climate Zone: CA Climate Zone 08  
Total Cond. Floor Area: 1,440  
Addition: 428  
# of Units: 1

Table with 5 columns: Construction, Type, Area (ft²), Special Features, Status.

FENESTRATION  
Total Area: 171 | Glazing Percentage: 11.9% | New/Altered Average U-Factor: 0.30

Table with 7 columns: Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidesfins, Exterior Shades, Status.

Table with 6 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status.

Table with 6 columns: Location, Heating, Cooling, Duct Location, Duct R-Value, Status.

Table with 6 columns: Qty, Type, Gallons, Min. Eff, Distribution, Status.

**RESIDENTIAL MEASURES SUMMARY** RMS-1

Project Name: 311 W. 223 Rd.  
Building Type: Single Family  
Date: 8/5/2022  
Project Address: 311 W. 223 Rd. Carson  
California Energy Climate Zone: CA Climate Zone 08  
Total Cond. Floor Area: 1,440  
Addition: 428  
# of Units: 1

Table with 5 columns: Construction, Type, Area (ft²), Special Features, Status.

FENESTRATION  
Total Area: 171 | Glazing Percentage: 11.9% | New/Altered Average U-Factor: 0.30

Table with 7 columns: Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidesfins, Exterior Shades, Status.

Table with 6 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status.

Table with 6 columns: Location, Heating, Cooling, Duct Location, Duct R-Value, Status.

Table with 6 columns: Qty, Type, Gallons, Min. Eff, Distribution, Status.

311 W. 223 RD. ST.  
CARSON, CA 90745

TITLE-24 REPORT



### 2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply. (1) (CCC)

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Fireplaces, Decorative Gas Appliances, and Gas Log Measures.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Solar Water-heating Systems, Ducts and Fans Measures, and Space Conditioning System Airflow Rate and Fan Efficacy.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, Lighting Measures, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Residential Garages for Eight or More Vehicles, Interior Common Areas of Low-rise Multifamily Residential Buildings, Solar Ready Buildings, and Main Electrical Service Panel.

REVISIONS  
Roben Mardirosoian, P.E.  
10540 Jardine Ave.  
Sunland, CA 91040  
Tel: (818) 484-0495  
Email: roben@armenengineers.com

311 W. 223 RD. ST.  
CARSON, CA 90745

TITLE-24 REPORT  
DATE: 8/08/22  
SHEET NUMBER  
T-3