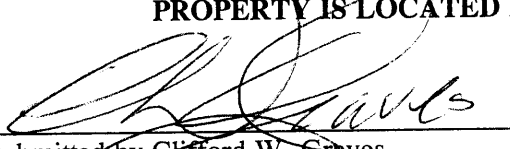





City of Carson Report to Redevelopment Agency

January 17, 2012
New Business Consent

SUBJECT: CONSIDER RESOLUTION NO. 12-03 APPROVING DESIGN OVERLAY REVIEW NO. 1385-10 TO REMODEL AN EXISTING COMMERCIAL BUILDING AND CONVERT AN EXISTING SINGLE-FAMILY DWELLING TO AN OFFICE IN THE MU-CS (MIXED-USE, CARSON STREET) ZONING DISTRICT AND WITHIN THE CARSON CONSOLIDATED REDEVELOPMENT PROJECT AREA. THE SUBJECT PROPERTY IS LOCATED AT 333-341 WEST CARSON STREET


Submitted by Clifford W. Graves
Economic Development General Manager


Approved by David C. Biggs
City Manager

I. SUMMARY

On December 13, 2011, at a noticed public hearing, the Planning Commission recommended approval of Design Overlay Review No. 1385-10 to remodel an existing commercial building and convert an existing single-family dwelling to an office building in the MU-CS (Mixed-Use, Carson Street) zoning district and within the Carson Consolidated Redevelopment Project Area (Exhibit Nos. 1 and 2).

II. RECOMMENDATION

TAKE the following actions:

1. APPROVE Design Overlay Review No. 1385-10 subject to the conditions of approval attached as Exhibit "B" to the resolution.
2. WAIVE further reading and ADOPT Resolution No. 12-03, "A RESOLUTION OF THE REDEVELOPMENT AGENCY OF THE CITY OF CARSON, CALIFORNIA, APPROVING DESIGN OVERLAY REVIEW NO. 1385-10 TO REMODEL AN EXISTING COMMERCIAL BUILDING AND CONVERT AN EXISTING SINGLE-FAMILY DWELLING TO AN OFFICE LOCATED AT 333-341 WEST CARSON STREET."

III. ALTERNATIVES

1. DENY Design Overlay Review No. 1385-10.
2. CONTINUE the request.
3. REFER the item back to the Planning Commission with direction for further consideration.
4. TAKE another action the Redevelopment Agency Board deems appropriate.

5

IV. BACKGROUND

The applicant, Juanita Myles, requests approval to convert an existing single-family dwelling to an office building, which includes interior and exterior remodeling of the structure. In addition, the project includes exterior remodeling of an existing commercial building. Site upgrades will include new landscaping, removal of two pole signs and construction of a monument sign, repaving, parking striping and a new trash enclosure. The project will feature a new parking lot layout with 18 regular parking spaces including 2 handicapped spaces that will be restriped and provided with wheel stops.

The proposed project is consistent and adheres to the Carson General Plan Mixed Use - Residential Land Use designation and adheres to the policies, goals and objectives of the Carson Street Master Plan. The proposed project will be complementary to the surrounding uses and will be appropriate for the subject property. Surrounding land uses include mobilehome parks to the north and west, and apartments to the south and east.

The project features a more contemporary style of architecture, which will feature cornices, lighting elements and metal awnings. Existing plaster and window trims will be painted. To make the residential building look like a commercial building: 1) a parapet will be added to hide the roof; 2) the parapet will be extended approximately 10 feet along the sides of the house to minimize the view from passing traffic; and surrounding properties (the same design theme is being used for the commercial building). In addition, the converted residential structure will be made ADA (American Disabilities Act) compliant with renovated bathrooms, ADA-accessible doors and a concrete ADA ramp.

Resolution No. 12-03 (Exhibit No. 3) is for approval of Design Overlay Review No. 1385-10. Development plans are included as Exhibit No. 4 under separate cover.

V. FISCAL IMPACT

Redevelopment Agency funds will not be utilized for the proposed project. The applicant has applied for commercial façade improvement funds to assist in the remodeling effort. The façade project will be paid for from Community Development Block Grant funds up to a maximum of \$100,000.00. A separate approval will be necessary for approval of the funding.

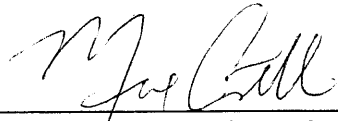
VI. EXHIBITS

1. Planning Commission draft disposition dated December 13, 2011. (pg. 4)
2. Planning Commission Resolution No. 11-2414, recommending approval of Design Overlay Review No. 1385-10 to the Redevelopment Agency.

(pgs. 5 - 13)

- 3. Draft Redevelopment Agency Resolution No. 12-03 approving Design Overlay Review No. 1385-10. (pgs. 14 - 22)
- 4. Development Plans (pgs. 23 - 37).

Prepared by:



Max Castillo, Assistant Planner

TO:Rev102511

Reviewed by:

City Clerk	City Treasurer
Administrative Services	Development Services
Economic Development	Public Services

Action taken by Redevelopment Agency

Date _____ Action _____



CITY OF CARSON

PLANNING COMMISSION STAFF REPORT

PUBLIC HEARING: December 13, 2011
 SUBJECT: Design Overlay Review No. 1385-10
 APPLICANT: Juanita Myles
 30050 Via Borica
 Rancho Palos Verdes, CA 90275
 REQUEST: Approval to remodel an existing commercial building and convert an existing single-family dwelling to an office building in the MU-CS (Mixed-Use, Carson Street) zoning district and within the Carson Consolidated Redevelopment Project Area
 PROPERTY INVOLVED: 333-341 West Carson Street

COMMISSION ACTION

- Concurred with staff
 Did not concur with staff
 Other

Commissioner Diaz moved, seconded by Commissioner Brimmer, to approve the applicant's request, thus adopting Resolution No. 11-2414. Motion carried, 8-0 (absent Commissioner Williams).

COMMISSIONERS' VOTE

AYE	NO		AYE	NO	
X		Chairman Faletogo	X		Saenz
X		Vice-Chair Gordon	X		Schaefer
X		Brimmer	X		Verrett
X		Diaz	Absent		Williams
X		Goolsby			



CITY OF CARSON
PLANNING COMMISSION
RESOLUTION NO. 11-2414

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARSON RECOMMENDING APPROVAL OF DESIGN OVERLAY REVIEW NO. 1385-10 TO THE CARSON REDEVELOPMENT AGENCY TO REMODEL AN EXISTING COMMERCIAL BUILDING AND CONVERT AN EXISTING SINGLE-FAMILY DWELLING TO AN OFFICE LOCATED AT 333 WEST CARSON STREET

THE PLANNING COMMISSION OF THE CITY OF CARSON, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by the applicant, Juanita Myles, with respect to real property located at 333 West Carson Street as described in Exhibit "A" attached hereto, requesting the approval to remodel an existing commercial building and to convert an existing single-family dwelling to an office building on a 0.4 acre site in the MU-CS (Mixed-Use, Carson Street) zoning district and within the Carson Consolidated Redevelopment Project Area.

A public hearing was duly held on December 13, 2011, at 6:30 P.M. at the Carson City Hall Council Chambers, 701 East Carson Street, Carson, California. A notice of time, place and purpose of the aforesaid meeting was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid meeting.

Section 3. Per Section 9182.09 – Conversion of Residential Structures to Commercial Uses – of the Carson Municipal Code (CMC), conversion of residential structures to commercial uses in commercial zones shall be subject to site plan and design review pursuant to CMC 9172.23 as well as additional site development and design standards. The Planning Commission finds that:

1. The proposed project is consistent and adheres to the Carson General Plan Mixed Use - Residential Land Use designation and adheres to the policies, goals and objectives of the Carson Street Master Plan. The proposed project is consistent with development standards of the MU-CS (Mixed-Use – Carson Street) zone. The 0.4-acre project site is located on the northern side of Carson Street at 333 West Carson Street. The project site is zoned MU-CS (Mixed-Use–Carson Street) with a General Plan designation of Mixed-Use Residential. Surrounding land uses include a mobile home park to the north and west and apartments to the south and east.

2 The design and architecture of the proposed development conforms to all the applicable design and development standards of the City of Carson's MU-CS (Mixed-Use – Carson Street) zoning district, with the exception of the following deviations: street frontage, building height, parking, and lighting.

a. Pursuant to Section 9138.17(D)(2) of the CMC, existing building frontage is adequate and can remain indefinitely. Pursuant to Section 9182.41 of the CMC, nonconforming building height of less than 18 feet will be allowed to



continue. To meet parking and lighting requirements, conditions of approval have been added to the resolution.

The project features a more contemporary style of architecture, which will feature cornices, lighting elements and metal awnings. Existing plaster and window trims will be painted. In addition, the converted residential structure will be made ADA (American Disabilities Act) compliant with renovated bathrooms, ADA-accessible doors and a concrete ADA ramp.

The project will feature a new parking lot layout with 18 auto parking spaces including 2 handicapped spaces that will be restriped and provided with wheel stops. Other site improvements include new landscaping, monument sign and a trash enclosure.

The project will be compatible with the existing and anticipated development of the area.

3. The on-site circulation pattern and parking areas meet the requirements of the MU-CS (Mixed-Use – Carson Street) zone. Vehicular access is provided on Carson Street at a single driveway. There is adequate pedestrian access from Carson Street into the property. In addition, wheel stops will be provided for all parking spaces.

4. The project features building mounted signage above the proposed business shops as well as a monument sign. An existing sign on the west elevation of PC Warehouse shall be removed. All signage shall comply with the requirements in the MU-CS (Mixed-Use – Carson Street) zone.

5. Pursuant to the Carson Street Master Plan and the MU-CS (Mixed-Use – Carson Street) zoning district, future development within such a zone shall promote the creation of a distinct district along the Carson Street corridor with a “main street” character. The proposed remodel project is therefore in conformance with the Carson Street Master plan as it will help create a distinctive character on Carson Street, create a livable, pedestrian district and facilitate with the redevelopment of a currently underutilized and unattractive parcel.

6. Pursuant to Section 9182.09 - Conversion of Residential Structures to Commercial Uses - of the CMC, the proposed project is consistent with current site development and design standards for commercial zones for the proposed conversion.

7. Pursuant to the Redevelopment Plan for the Consolidated Redevelopment Project Area, future development within the area includes an emphasis on the abatement of unwanted, conflicting and blighted uses. As the project consists of a conforming and compatible commercial operation and improvement to the site, the proposed project is consistent with the general intent of the Redevelopment Plan for the area.

8. Because this is a façade improvement project that will involve City funds, certain portions of the project may not get built if it is determined that they are not within the proposed budget. A condition of approval will be added requiring Planning Commission review for substantial changes as determined by staff. If the changes are not substantial, then staff would approve the proposed changes.

Section 4. The Planning Commission further finds the proposed use will not alter the residential and commercial character of the surrounding area and meets or exceeds all City standards for protection of the environment. The proposed project for the remodel of existing



residential and commercial buildings is categorically exempt from the provisions of the California Environmental Quality Act Guidelines pursuant to Section 15301, Existing Facilities.

Section 5. Based on the aforementioned findings, the Commission hereby recommends approval of Design Overlay Review No. 1385-10 to the Carson Redevelopment Agency with respect to the property described in Section 1 hereof, subject to the conditions set forth in Exhibit "B" attached hereto.

Section 6. The Secretary shall certify to the adoption of the Resolution and shall transmit copies of the same to the applicant.

PASSED, APPROVED AND ADOPTED THIS 18TH DAY OF DECEMBER, 2011.



CHAIRMAN

ATTEST: 

SECRETARY



EXHIBIT "A"

Legal Description

PARCEL 2 OF PARCEL MAP NO. 20611, IN THE CITY OF CARSON,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP
RECORDED IN BOOK 227, PAGES 32 AND 33, OF MAPS, IN THE
OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



CITY OF CARSON
DEVELOPMENT SERVICES
PLANNING DIVISION
EXHIBIT "B"

DESIGN OVERLAY REVIEW NO. 1385-10

GENERAL CONDITIONS

1. If a building permit is not issued within one year of the date of approval of Design Overlay Review No. 1385-10, said permit shall be declared null and void unless an extension of time is requested prior to expiration and approved by the Planning Commission.
2. The approved Resolution, including the Conditions of Approval contained herein, and signed Affidavit of Acceptance, shall be copied in their entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans prior to Building and Safety plan check submittal. Said copies shall be included in all development plan submittals, including any revisions and the final working drawings.
3. The applicant shall comply with all city, county, state and federal regulations applicable to this project.
4. The applicant and property owner shall sign an Affidavit of Acceptance form and submit the document to the Planning Division within 30 days of receipt of the Planning Commission Resolution.
5. The applicant shall make any necessary site plan and design revisions to the site plan and elevations approved by the Planning Commission in order to comply with all the conditions of approval and applicable Zoning Ordinance provisions. Substantial revisions will require review by the Planning Commission.
6. The applicant shall submit two complete sets of plans and related documentation that conform to all the Conditions of Approval to be reviewed and approved by the Planning Division prior to the issuance of a building permit.
7. All buildings, grounds, parking areas and landscaping shall be maintained in a neat and orderly manner at all times.
8. Decision of the Planning Commission shall become effective and final 15 days after the date of its action unless an appeal is filed in accordance with Section 9173.4 of the Zoning Ordinance.
9. A modification of the conditions of this permit, including additions or deletions, may be considered upon filing of an application by the owner of the subject property or his/her authorized representative in accordance with Section 9173.1 of the Zoning Ordinance.
10. It is further made a condition of this approval that if any condition is violated or if any law, statute ordinance is violated, this permit may be revoked by the



Planning Commission or City Council, as may be applicable; provided the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty days.

11. The Applicant shall defend, indemnify and hold harmless the City of Carson, its agents, officers, or employees from any claims, damages, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul, and approval of the City, its advisory agencies, appeal boards, or legislative body concerning Design Overlay Review No. 1385-10. The City will promptly notify the Applicant of any such claim, action, or proceeding against the City and the Applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. The City will cooperate fully in the defense. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the Applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

PARKING

12. The required parking shall meet all applicable standards as outlined in the Carson Municipal Code.
13. All parking areas and driveways shall remain clear. No encroachment into parking areas and/or driveways shall be permitted.
14. Compact spaces shall be properly designated pursuant to Section 9162.43 of the Zoning Ordinance.
15. Parking spaces shall be provided with perimeter guards as provided in Section 9162.55 of the Zoning Ordinance.
16. Parking spaces shall be identified (marked) as provided in Section 9162.56 of the Zoning Ordinance.
17. All areas used for the movement parking, loading, repair or storage of vehicles shall be paved with either:
 - a. Concrete or asphaltic concrete to a minimum thickness of three and one-half inches over four inches of crushed aggregate base; or
 - b. Other surfacing material which, in the opinion of the Director of Engineering Services, provides equivalent life, service and appearance.
18. Parking for the handicapped shall comply with the requirements of Section 9162.42 of the Zoning Ordinance.



LANDSCAPING/IRRIGATION

19. The applicant shall submit two sets of landscaping and irrigation plans drawn, stamped, and signed by a licensed landscape architect. Such plans are to be approved by the Planning Division prior to the issuance of any building permit.
20. The applicant shall comply with the provisions of Section 9168 of the Zoning Ordinance, "Water Efficient Landscaping."
21. 6" x 6" concrete curbs are required around all landscaped planter areas, as deemed necessary by the Planning Division.
22. Landscaping shall be provided with a permanently installed, automatic irrigation system and operated by an electrically-timed controller station set for early morning or late evening irrigation.
23. Landscaping and irrigation plans shall be stamped and signed by a licensed landscape architect and are to include, but are not limited to:
 - a. Annual flowers wherever possible;
 - b. Five and one gallon shrubs;
 - c. Flats of ground cover planted 8-inches on center; and
 - d. Tree height and plant materials to be approved by the project planner prior to installation.
24. Installation, maintenance, and repair of all landscaping shall be the responsibility of the property owner.

GRAFFITI LANDSCAPING

25. The applicant shall incorporate additional landscaping to screen and block specific project areas that could be subject to graffiti, as determined by the Planning Division.
26. Graffiti shall be removed from all project areas within three (3) days of written notification by the City of Carson. Should the graffiti problem persist more than twice in any calendar year, the matter may be brought before the Planning Commission for review and further consideration of site modifications (i.e., fencing, landscaping, chemical treatment, etc.).

AESTHETICS

27. The specification of all colors and materials must be submitted and approved by the Planning Division prior to the issuance of any building permits.
28. There shall be no deviation of architectural design or details from the approved set of plans. Any alteration shall be first approved by the Planning Division.



SIGNS

29. All signage shall comply with the requirements in the MU-CS (Mixed-Use – Carson Street) zone. Signs shall be reviewed and approved by the Planning Division prior to installation.
30. The applicant shall provide building mounted signage above the proposed business shops and a monument sign. An existing sign on the west elevation of PC Warehouse shall be removed.

FENCES/WALLS

31. Perimeter walls shall conform to the requirements of the Carson Municipal Code and shall be architecturally coordinated with the project buildings and subject to the approval of the Planning Division.

LIGHTING

32. Onsite lighting shall conform to the requirements of the Carson Municipal Code and shall be directed downward and inward so as not to cause light and glare impacts to adjacent residences and motorists.
33. Per Section 9138.17 (D) of the Carson Municipal Code, the applicant shall provide illumination for all storefront entries.

TRASH

34. Trash enclosure design shall be approved by the Planning Division prior to issuance of any building permit(s).

PUBLIC SAFETY - CITY OF CARSON

35. Ensure compliance with current seismic mitigation codes.

BUILDING AND SAFETY

36. Appropriate permits shall be obtained for work that has been done on the property without required permits, or said work shall be removed. All work shall be brought into compliance with applicable codes.

FIRE DEPARTMENT - COUNTY OF LOS ANGELES

37. Provide water mains, fire hydrants, and fire flows as required by the Fire Department.
38. All required fire hydrants shall be installed, tested and accepted prior to construction. Vehicular access must be provided and maintained serviceable throughout construction.

ENGINEERING SERVICES DEPARTMENT - CITY OF CARSON

39. A construction permit is required for any work to be done in the public right-of-way.



40. Any improvements damaged during the construction shall be removed and reconstructed per City of Carson Standard plan and to the satisfaction of the City Engineer.
41. The Owner shall annex the area to the L.A. County Lighting Maintenance District, for the purpose of operating and maintaining the streetlights to be installed. The annexation shall be to the satisfaction of L.A. County (contact Joaquin Herrera at 626-300-4770).

BUSINESS LICENSE DEPARTMENT - CITY OF CARSON

42. Per Section 6310 of the Carson Municipal Code, all parties involved in the construction project, including but not limited to contractors and subcontractors, shall obtain a City Business License.



RESOLUTION NO. 12-03

A RESOLUTION OF THE REDEVELOPMENT OF THE CITY OF CARSON, CALIFORNIA, APPROVING DESIGN OVERLAY REVIEW NO. 1385-10 TO REMODEL AN EXISTING COMMERCIAL BUILDING AND CONVERT AN EXISTING SINGLE-FAMILY DWELLING TO AN OFFICE LOCATED AT 333-341 WEST CARSON STREET

THE CARSON REDEVELOPMENT AGENCY OF THE CITY OF CARSON, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by the applicant, Juanita Myles, with respect to real property located at 333-341 West Carson Street, and described in Exhibit "A" attached hereto, to remodel an existing commercial building and convert an existing single-family dwelling to an office building in the MU-CS (Mixed-Use, Carson Street) zoning district and within the Carson Consolidated Redevelopment Project Area.

The Planning Commission held a duly noticed public hearing on December 13, 2011, at 6:30 P.M. at City Hall, Council Chambers, 701 East Carson Street, Carson, California. A notice of time, place and purpose of the aforesaid meeting was duly given. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid hearing. At the conclusion of said hearing, the Planning Commission adopted Resolution No. 11- 2414 recommending approval of Design Overlay Review No. 1385-10 to the Carson Redevelopment Agency.

Evidence, both written and oral, was duly presented to and considered by the Redevelopment Agency at the aforesaid meeting.

Section 2. The Carson Redevelopment Agency finds that:

a) Per Section 9182.09, Conversion of Residential Structures to Commercial Uses, of the Carson Municipal Code (CMC), conversion of a residential structure to a commercial use in a commercial zone shall be subject to site plan and design review pursuant to CMC 9172.23 as well as additional site development and design standards. The Planning Commission finds that:

1. The proposed project is consistent and adheres to the Carson General Plan Mixed Use - Residential Land Use designation and adheres to the policies, goals and objectives of the Carson Street Master Plan. The proposed project is consistent with development standards of the MU-CS (Mixed-Use – Carson Street) zone. The 0.4-acre project site is located on the northern side of Carson Street and the proposed project is consistent with the surrounding area. The project site is zoned MU-CS (Mixed-Use–Carson Street) with a General Plan designation of Mixed-Use Residential. Surrounding land uses include mobilehome parks to the north and west, and apartments to the south and east.

2. The design and architecture of the proposed project conforms to all the applicable design and development standards of the City of Carson's MU-CS (Mixed-Use – Carson Street) zoning district, with the exception of the following deviations: street frontage, building height, parking, and lighting.

[MORE]

EXHIBIT NO. - 3



Pursuant to Section 9138.17(D)(2) of the CMC, existing building frontage is adequate and can remain indefinitely. Pursuant to Section 9182.41 of the CMC, nonconforming building height of less than 18 feet may be allowed to continue. To meet parking and lighting requirements, conditions of approval have been added to the resolution.

The project features a more contemporary style of architecture, which includes cornices, lighting elements and metal awnings. Existing plaster and window trims will be painted. In addition, the converted residential structure will be made ADA (American Disabilities Act) compliant with renovated bathrooms, ADA-accessible doors and a concrete ADA ramp.

The project will feature a new parking lot layout with 18 vehicle parking spaces including 2 handicapped spaces that will be restriped and provided with wheel stops. Other site improvements include new landscaping, monument sign and a trash enclosure.

The project will be compatible with the existing and anticipated development of the area.

3. The on-site circulation pattern and parking areas meet the requirements of the MU-CS (Mixed-Use – Carson Street) zone. Vehicular access is provided on Carson Street at a single driveway. There is adequate pedestrian access from Carson Street into the property. In addition, wheel stops will be provided for all parking spaces.

4. The project features building mounted signage above the proposed business shops as well as a monument sign. An existing sign on the west elevation of PC Warehouse shall be removed. All signage shall comply with the requirements in the MU-CS (Mixed-Use – Carson Street) zone.

5. Pursuant to the Carson Street Master Plan and the MU-CS (Mixed-Use – Carson Street) zoning district, future development within such a zone shall promote the creation of a distinct district along the Carson Street corridor with a “main street” character. The proposed remodel project is therefore in conformance with the Carson Street Master Plan as it will help create a distinctive character on Carson Street, create a livable, pedestrian district and facilitate with the redevelopment of a currently underutilized and unattractive parcel.

6. Pursuant to Section 9182.09, Conversion of Residential Structures to Commercial Uses, of the CMC, the proposed project is consistent with current site development and design standards for commercial zones for the proposed conversion.

7. Pursuant to the Redevelopment Plan for the Carson Consolidated Redevelopment Project Area, future development within the area includes an emphasis on the abatement of unwanted, conflicting and blighted uses. As the project consists of a conforming and compatible commercial operation and improvement to the site, the proposed project is consistent with the general intent of the Redevelopment Plan for the area.

Section 3. Based on the aforementioned findings, the Redevelopment Agency hereby approves Design Overlay Review No. 1385-10 for said project with respect to the property described in Section 1 hereof, subject to the conditions set forth in Exhibit "B" attached hereto.

Section 4. The Agency Secretary shall certify to the adoption of the Resolution and shall transmit copies of the same to the applicant.

Section 5. This action shall become final and effective fifteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of the Carson Zoning Ordinance.

PASSED, APPROVED and ADOPTED this 17th day of January, 2012.

Chairman Jim Dear

ATTEST:

Agency Secretary Helen S. Kawagoe

APPROVED AS TO FORM:

Agency Counsel



EXHIBIT "A"

Legal Description

PARCEL 2 OF PARCEL MAP NO. 20611, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 227, PAGES 32 AND 33, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



CITY OF CARSON
REDEVELOPMENT AGENCY

EXHIBIT "B"

DESIGN OVERLAY REVIEW NO. 1385-10

GENERAL CONDITIONS

1. If a building permit is not issued within one year of the date of approval of Design Overlay Review No. 1385-10, said permit shall be declared null and void unless an extension of time is requested prior to expiration and approved by the Planning Commission.
2. The approved Resolution, including the Conditions of Approval contained herein, and signed Affidavit of Acceptance, shall be copied in their entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans prior to Building and Safety plan check submittal. Said copies shall be included in all development plan submittals, including any revisions and the final working drawings.
3. The applicant shall comply with all city, county, state and federal regulations applicable to this project.
4. The applicant and property owner shall sign an Affidavit of Acceptance form and submit the document to the Planning Division within 30 days of receipt of the Planning Commission Resolution.
5. The applicant shall make any necessary site plan and design revisions to the site plan and elevations approved by the Planning Commission in order to comply with all the conditions of approval and applicable Zoning Ordinance provisions. Substantial revisions will require review by the Planning Commission.
6. The applicant shall submit two complete sets of plans and related documentation that conform to all the Conditions of Approval to be reviewed and approved by the Planning Division prior to the issuance of a building permit.
7. All buildings, grounds, parking areas and landscaping shall be maintained in a neat and orderly manner at all times.
8. Decision of the Planning Commission shall become effective and final 15 days after the date of its action unless an appeal is filed in accordance with Section 9173.4 of the Zoning Ordinance.
9. A modification of the conditions of this permit, including additions or deletions, may be considered upon filing of an application by the owner of the subject property or his/her authorized representative in accordance with Section 9173.1 of the Zoning Ordinance.



10. It is further made a condition of this approval that if any condition is violated or if any law, statute ordinance is violated, this permit may be revoked by the Planning Commission or City Council, as may be applicable; provided the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty days.
11. The Applicant shall defend, indemnify and hold harmless the City of Carson, its agents, officers, or employees from any claims, damages, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul, and approval of the City, its advisory agencies, appeal boards, or legislative body concerning Design Overlay Review No. 1385-10. The City will promptly notify the Applicant of any such claim, action, or proceeding against the City and the Applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. The City will cooperate fully in the defense. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the Applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

PARKING

12. The required parking shall meet all applicable standards as outlined in the Carson Municipal Code.
13. All parking areas and driveways shall remain clear. No encroachment into parking areas and/or driveways shall be permitted.
14. Compact spaces shall be properly designated pursuant to Section 9162.43 of the Zoning Ordinance.
15. Parking spaces shall be provided with perimeter guards as provided in Section 9162.55 of the Zoning Ordinance.
16. Parking spaces shall be identified (marked) as provided in Section 9162.56 of the Zoning Ordinance.
17. All areas used for the movement parking, loading, repair or storage of vehicles shall be paved with either:
 - a. Concrete or asphaltic concrete to a minimum thickness of three and one-half inches over four inches of crushed aggregate base; or
 - b. Other surfacing material which, in the opinion of the Director of Engineering Services, provides equivalent life, service and appearance.
18. Parking for the handicapped shall comply with the requirements of Section 9162.42 of the Zoning Ordinance.



LANDSCAPING/IRRIGATION

19. The applicant shall submit two sets of landscaping and irrigation plans drawn, stamped, and signed by a licensed landscape architect. Such plans are to be approved by the Planning Division prior to the issuance of any building permit.
20. The applicant shall comply with the provisions of Section 9168 of the Zoning Ordinance, "Water Efficient Landscaping."
21. 6" x 6" concrete curbs are required around all landscaped planter areas, as deemed necessary by the Planning Division.
22. Landscaping shall be provided with a permanently installed, automatic irrigation system and operated by an electrically-timed controller station set for early morning or late evening irrigation.
23. Landscaping and irrigation plans shall be stamped and signed by a licensed landscape architect and are to include, but are not limited to:
 - a. Annual flowers wherever possible;
 - b. Five and one gallon shrubs;
 - c. Flats of ground cover planted 8-inches on center; and
 - d. Tree height and plant materials to be approved by the project planner prior to installation.
24. Installation, maintenance, and repair of all landscaping shall be the responsibility of the property owner.

GRAFFITI LANDSCAPING

25. The applicant shall incorporate additional landscaping to screen and block specific project areas that could be subject to graffiti, as determined by the Planning Division.
26. Graffiti shall be removed from all project areas within three (3) days of written notification by the City of Carson. Should the graffiti problem persist more than twice in any calendar year, the matter may be brought before the Planning Commission for review and further consideration of site modifications (i.e., fencing, landscaping, chemical treatment, etc.).

AESTHETICS

27. The specification of all colors and materials must be submitted and approved by the Planning Division prior to the issuance of any building permits.



28. There shall be no deviation of architectural design or details from the approved set of plans. Any alteration shall be first approved by the Planning Division.

SIGNS

29. All signage shall comply with the requirements in the MU-CS (Mixed-Use – Carson Street) zone. Signs shall be reviewed and approved by the Planning Division prior to installation.
30. The applicant shall provide building mounted signage above the proposed business shops and a monument sign. An existing sign on the west elevation of PC Warehouse shall be removed.

FENCES/WALLS

31. Perimeter walls shall conform to the requirements of the Carson Municipal Code and shall be architecturally coordinated with the project buildings and subject to the approval of the Planning Division.

LIGHTING

32. Onsite lighting shall conform to the requirements of the Carson Municipal Code and shall be directed downward and inward so as not to cause light and glare impacts to adjacent residences and motorists.
33. Per Section 9138.17 (D) of the Carson Municipal Code, the applicant shall provide illumination for all storefront entries.

TRASH

34. Trash enclosure design shall be approved by the Planning Division prior to issuance of any building permit(s).

PUBLIC SAFETY - CITY OF CARSON

35. Ensure compliance with current seismic mitigation codes.

BUILDING AND SAFETY

36. Appropriate permits shall be obtained for work that has been done on the property without required permits, or said work shall be removed. All work shall be brought into compliance with applicable codes.

FIRE DEPARTMENT - COUNTY OF LOS ANGELES

37. Provide water mains, fire hydrants, and fire flows as required by the Fire Department.



38. All required fire hydrants shall be installed, tested and accepted prior to construction. Vehicular access must be provided and maintained serviceable throughout construction.

ENGINEERING SERVICES DEPARTMENT - CITY OF CARSON

39. A construction permit is required for any work to be done in the public right-of-way.
40. Any improvements damaged during the construction shall be removed and reconstructed per City of Carson Standard plan and to the satisfaction of the City Engineer.
41. The Owner shall annex the area to the L.A. County Lighting Maintenance District, for the purpose of operating and maintaining the streetlights to be installed. The annexation shall be to the satisfaction of L.A. County (contact Joaquin Herrera at 626-300-4770).

BUSINESS LICENSE DEPARTMENT - CITY OF CARSON

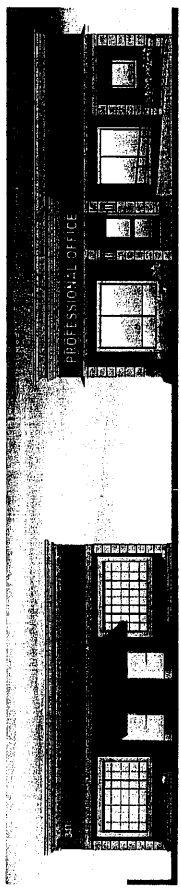
42. Per Section 6310 of the Carson Municipal Code, all parties involved in the construction project, including but not limited to contractors and subcontractors, shall obtain a City Business License.



ABBREVIATIONS

A	ARCHITECT	H	HEAD OF ARCHITECTURE
B	BUILDING	I	INTERIOR
C	CONTRACTOR	J	JOB
D	DEVELOPER	K	KITCHEN
E	ELECTRICIAN	L	LIVING ROOM
F	FLOOR PLAN	M	MATERIAL
G	GENERAL CONTRACTOR	N	NEW
H	HEAD OF ARCHITECTURE	O	OPENING
I	INTERIOR	P	PLUMBING
J	JOB	Q	QUANTITY
K	KITCHEN	R	REVISION
L	LIVING ROOM	S	SECTION
M	MATERIAL	T	TITLE
N	NEW	U	UNIT
O	OPENING	V	VENTILATION
P	PLUMBING	W	WORK
Q	QUANTITY	X	EXTERIOR
R	REVISION	Y	YARD
S	SECTION	Z	ZONE
T	TITLE		
U	UNIT		
V	VENTILATION		
W	WORK		
X	EXTERIOR		
Y	YARD		
Z	ZONE		

333-341 W. CARSON ST. FACADE IMPROVEMENT PROJECT



SHEET INDEX

CS-1	COVER SHEET, GENERAL NOTES
SP-1	SITE PLAN
A-1a	BUILDING A
	EXISTING/DEMO FLOOR PLAN AND ROOF PLAN
A-1b	BUILDING B
	EXISTING/DEMO FLOOR PLAN AND ROOF PLAN
A-2a	BUILDING A
	EXISTING/DEMO ELEVATIONS
A-2b	BUILDING B
	EXISTING/DEMO ELEVATIONS
A-3b	BUILDING B
	NEW FLOOR PLAN AND ROOF PLAN
A-4a	BUILDING A
	NEW ELEVATIONS
A-4b	BUILDING B
	NEW ELEVATIONS
LS-1	CONCEPTUAL LANDSCAPING PLANS
LS-2	LANDSCAPING DETAILS

GENERAL NOTES

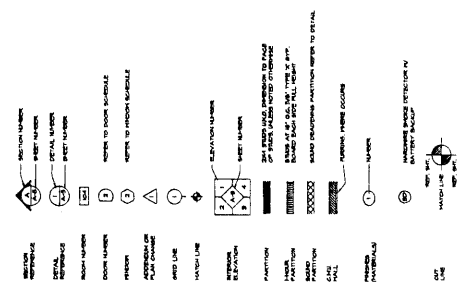
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS OF ALL GOVERNMENTAL AGENCIES AND ADOPTED ORDINANCES.
2. CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. VERIFY THE WALLS ARE VERTICAL AND TRUE TO PLUMB.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS OF ALL GOVERNMENTAL AGENCIES AND ADOPTED ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS OF ALL GOVERNMENTAL AGENCIES AND ADOPTED ORDINANCES.
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PROJECT DATA

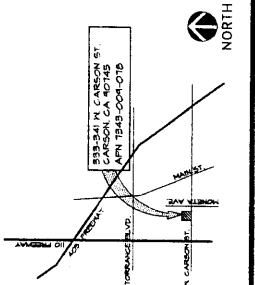
PROJECT DATA:
 Mrs. M.J. #8
 989 N. Carson St.
 Carson, CA 90745
 TEL: (916) 421-4481
PROJECT AREA 1
 A.P.N.: 7549-004-07B
 A.P.N.: 7549-004-07C
 P.M. 227-32-99-LOT 22

CONSULTANTS

LEGEND



VICINITY MAP

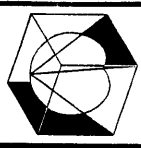


NO.	DATE	BY

OWNER:
 MRS. J. MYERS
 333 W. CARSON ST.
 CARSON, CA 90745

PROJECT LOCATION:
 333-341 W. CARSON ST., BLDG. B
 CARSON, CA 90745

SITE PLAN



MDG
 Associates, Inc.
 10722 Arroyo Road, Suite 802
 Rancho Dominguez, CA 91710
 (909) 416-9656

THIS ASSOCIATED ARCHITECTURE FIRM IS A MEMBER OF THE ARCHITECTURAL FIRM OF THE STATE OF CALIFORNIA AND IS LICENSED TO PROVIDE ARCHITECTURAL SERVICES TO THE PUBLIC. THE ARCHITECTURE FIRM OF THE STATE OF CALIFORNIA IS A MEMBER OF THE ARCHITECTURAL FIRM OF THE STATE OF CALIFORNIA AND IS LICENSED TO PROVIDE ARCHITECTURAL SERVICES TO THE PUBLIC.

DATE	BY

CS-1

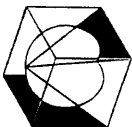


NO.	DATE	BY

OWNER: MRS. J. MYLES
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., BLDG. B
CARSON, CA. 90745

SITE PLAN



MDG Associates, Inc.

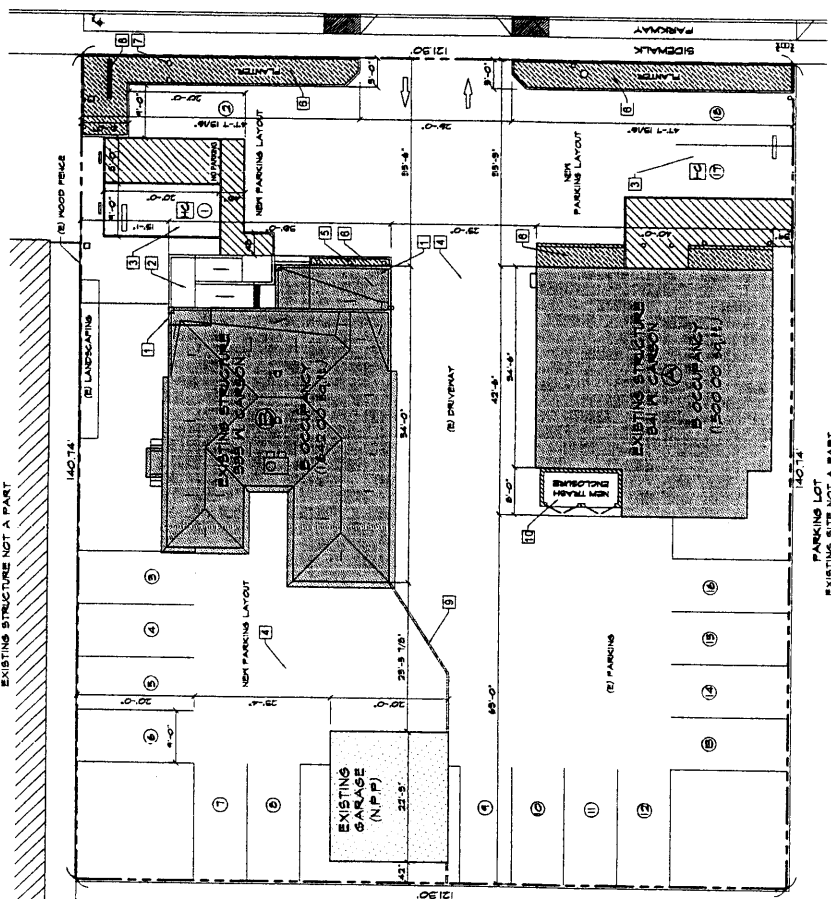
10732 Arroyo Road, Suite 302
Beverly Hills, California 91703
(818) 415-7500

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NO.	DATE	BY

SP-1

333-341 W. CARSON ST.



- SITE PLAN LEGEND:**
- Existing building (hatched) to be demolished
 - New concrete ramp
 - New concrete ramp
 - New concrete ramp
 - Existing building to be relocated within new planter.
 - Existing asphalt to be saw-cut and removed
 - Existing concrete and planter to be constructed.
 - New 8" x 8" monument sign as per approved conceptual rendering.
 - Contractor shall provide final shop drawings for review and approval under a separate permit.
 - New 6" H CMU wall with enclosure with stucco finish to match adjacent color.

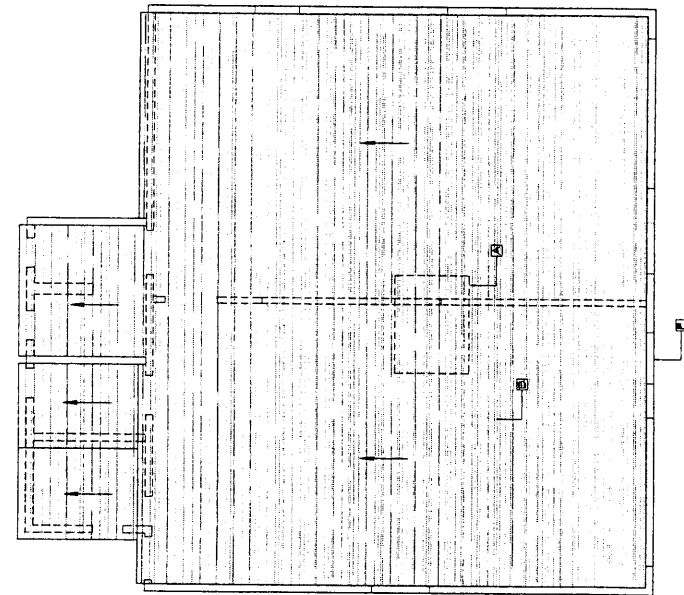
SITE PLAN
SCALE: 1"=10'-0"



NORTH

PARKING LOT
EXISTING SITE NOT A PART



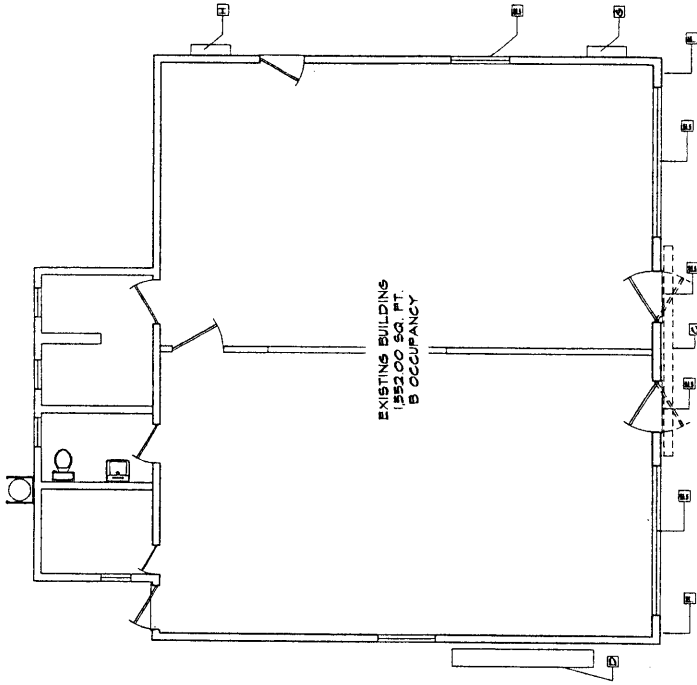


EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN AND ROOF PLAN LEGEND:

- A. Existing roof equipment to remain
- B. Existing roofing systems to remain and to be protected
- C. Existing structure to be removed
- D. Existing walls, windows and doors to be removed
- E. Existing windows and doors to remain
- F. Existing exterior finishes to be removed
- G. Electrical meter
- H. Gas meter



EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



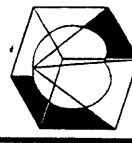
EXISTING BUILDING
1552 SQ. FT.
B OCCUPANCY

NO.	DATE	REVISIONS	BY

OWNER: MRS. J. MITTS
33 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., BLDG. B
CARSON, CA. 90745

EXISTING FLOOR PLAN AND ROOF PLAN



MDG
Associates, Inc.

10225 Arrow Road, Suite 102
San Diego, CA 92121
(619) 451-1170

THIS ASSOCIATES' responsibility, however, shall not extend to the design of the building or to the design of the building's structure, or to the design of the building's mechanical, electrical, or plumbing systems, or to the design of the building's fire protection system, or to the design of the building's life safety system, or to the design of the building's security system, or to the design of the building's accessibility system, or to the design of the building's other systems.

DATE	BY	REVISIONS

A-1a

BUILDING "A"
341 W. Carson St.

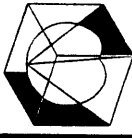


NO.	DATE	BY

OWNER: MRS. L. MYERS
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., 818 D.C. B.
CARSON, CA. 90745

EXISTING FLOOR PLAN AND ROOF PLAN

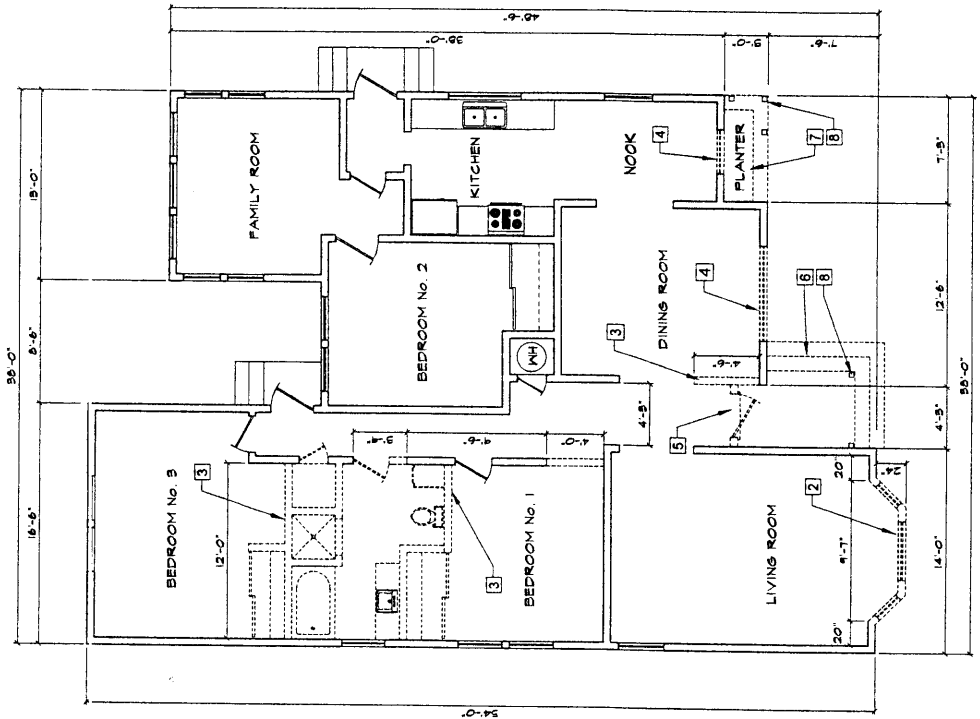


MDG Associates, Inc.
18733 Avenida Encinas, Suite 303
Marino, CA 94028
(925) 455-7696

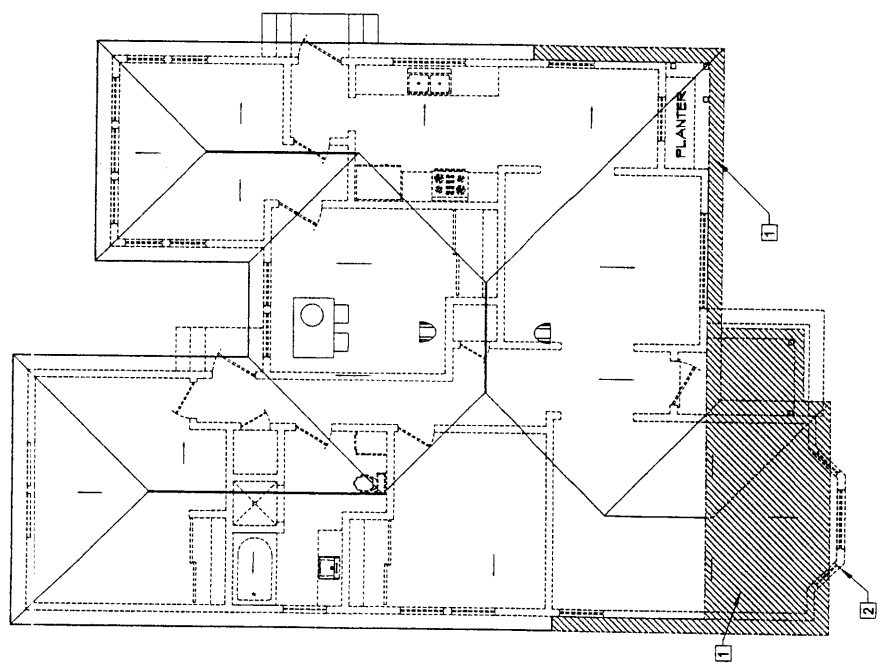
NOT TO SCALE
THIS PLAN IS FOR INFORMATION ONLY
IT IS NOT TO BE USED FOR CONSTRUCTION
OR AS A BASIS FOR ANY OTHER DESIGN
OR CONTRACT WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT

NO.	DATE	BY

BUILDING "B"
333 W. Carson St.



EXISTING FLOOR PLAN
SCALE 1/4"=1'-0"

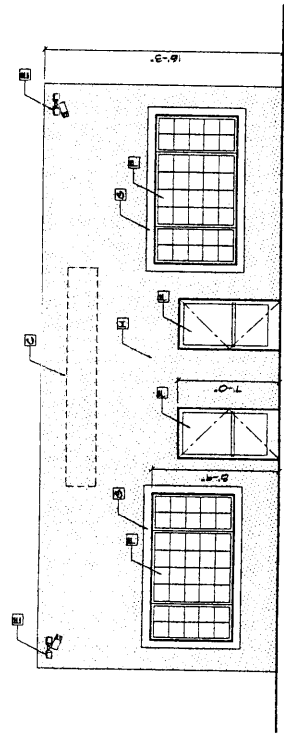


EXISTING/DEMOLITION LEGEND:

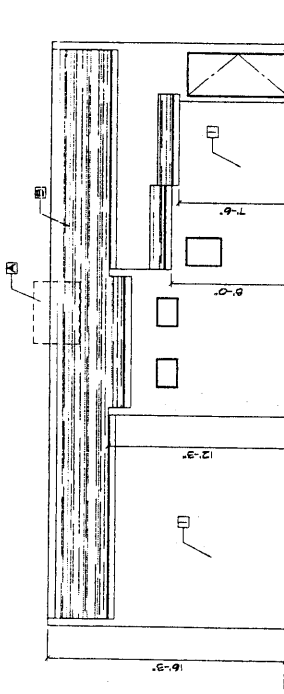
- Existing roof to be removed to accommodate new
- Existing bay window to be removed
- Interior walls to be demolished to open space for new ADA restrooms
- Existing door to be removed and opening to be relocated as per new plans
- Existing concrete steps to be removed to open space for new ADA ramp and steps
- Existing post to be removed and replaced with new structure as per new plans

EXISTING ROOF PLAN
SCALE 1/4"=1'-0"

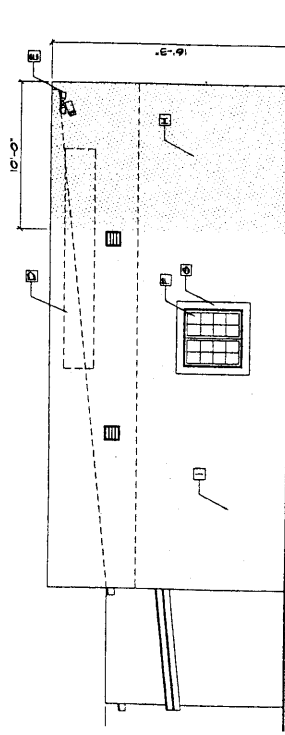




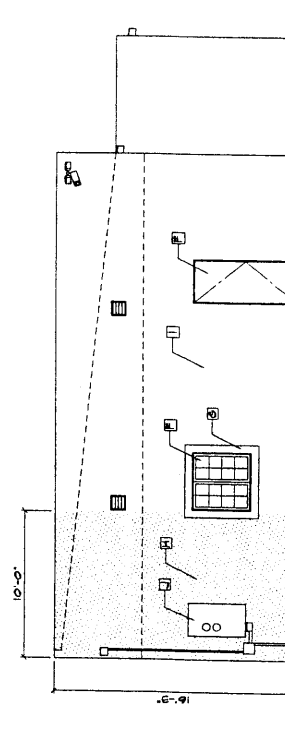
EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



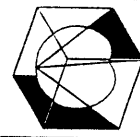
EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

- EXISTING LEGEND:**
- A. Existing roof equipment to remain
 - B. Existing roofing material to remain and to be protected during remodeling
 - C. Existing wall mounted signs to be removed during remodeling. Store and protect to be reinstalled
 - D. Existing wall mounted signs to be removed
 - E. Existing surveillance cameras to be removed during remodeling. Store and protect to be reinstalled
 - F. Existing windows and doors to remain
 - G. Existing windows trim to remain
 - H. Existing exterior paint at floor level to be protected for the application of finish coat as shown on plans
 - I. Existing materials to be protected during remodeling
 - J. Electrical meter to be protected during remodeling

BUILDING "A"
341 W. Carson St.

A-2a

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MDG
Associates, Inc.

13735 New River, Suite 103
San Diego, California, CA 92175
(609) 475-9696

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EXISTING ELEVATIONS
PROJECT LOCATION:
133-241 W. CARSON ST., 8LDC, B
CARSON, CA 90745

OWNER:
MRS. J. MYLES
133 W. CARSON ST.
CARSON, CA 90745

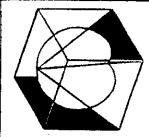
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NO.	DATE	DESCRIPTION

OWNER: MRS. J. MATS
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., BLDG. B
CARSON, CA. 90745

EXISTING ELEVATIONS

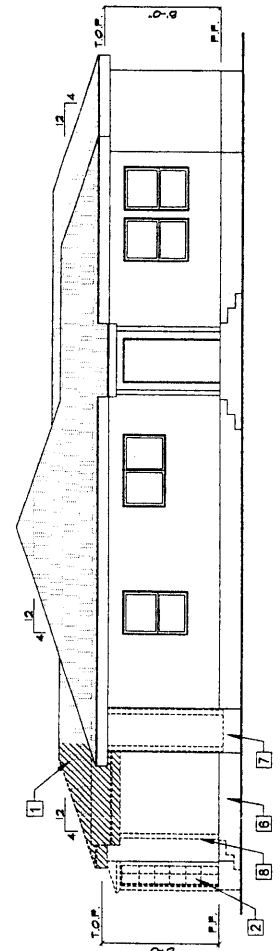


MDG
Associates, Inc.
10222 Arroyo Road, Suite 622
San Diego, CA 92126
Tel: (619) 591-1750
Fax: (619) 591-5636

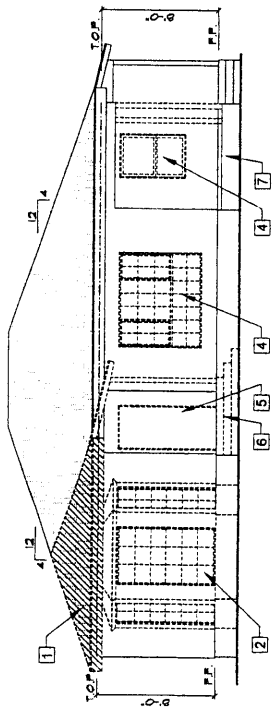
THIS ASSOCIATES' responsibility is limited to the design of the structure shown on these plans. It is the client's responsibility to provide all necessary information and to obtain all necessary permits. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

DATE	BY	DESCRIPTION

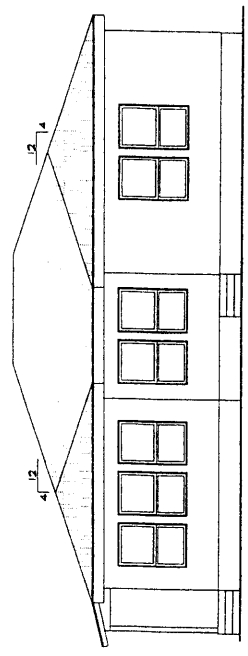
SHEET
A-2b



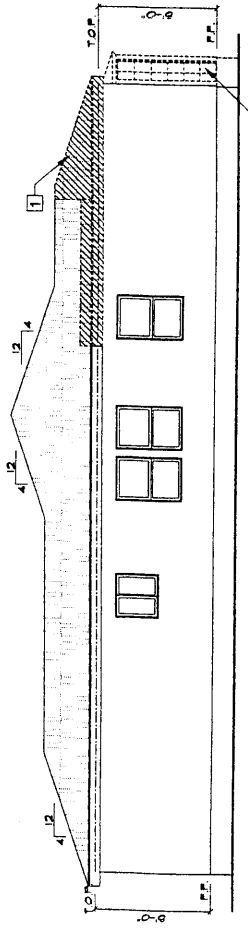
EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

- EXISTING/DEMOLITION LEGEND:
- Existing roof to be removed to accommodate new parapet walls.
 - Existing windows to be removed.
 - Interior walls to be demolished to open space for new ADA restrooms.
 - Existing windows to be replaced as per new plans.
 - Existing concrete steps and opening to be replaced as per new plans.
 - Existing concrete steps to be removed to open space for new ADA ramp and steps.
 - Existing planter to be refurbished.
 - Existing planter to be removed and replaced with new structure as per new plans.

BUILDING "B"
333 W. Carson St.

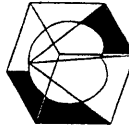


NO.	DATE	BY

OWNER: MRS. L. WELLS
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., BLDG. B
CARSON, CA. 90745

EXISTING FLOOR PLAN AND ROOF PLAN



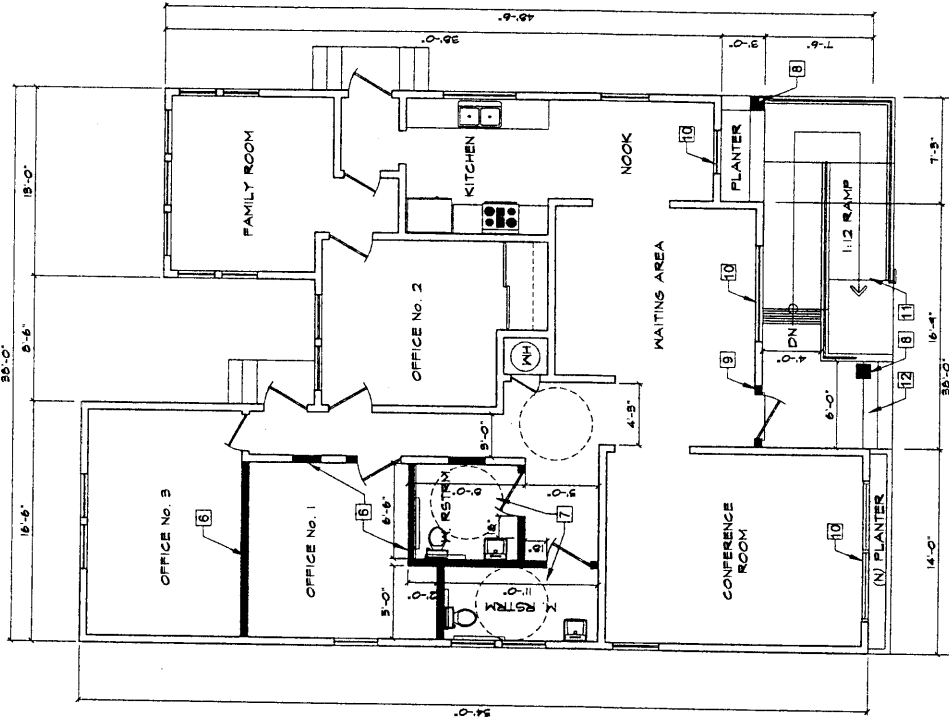
MDC Associates, Inc.

10222 Arroyo Road, Suite 827
Northridge, CA 91329
Northridge (818) 708-3636

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REVISION BY	DATE	NO.

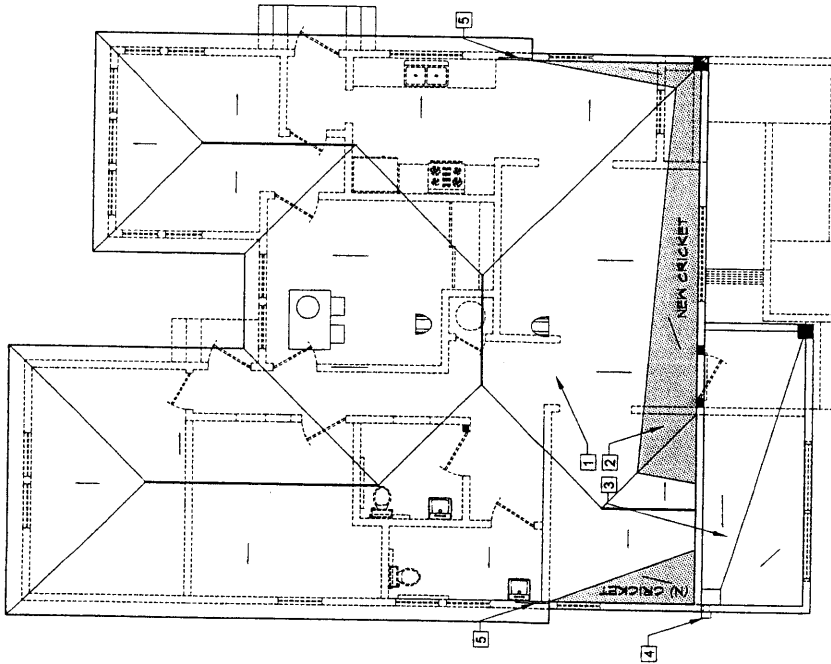
A-3b



NEW FLOOR PLAN
SCALE: 1/4"=1'-0"



BUILDING "B"
333 W. Carson St.



NEW MATERIAL LEGEND:

- Existing spot to remain and to be protected during remodeling.
- Remove concrete, supply new roofing materials to existing.
- Remove existing ceiling framing, apply new sheetrock, and finish.
- Remove existing wall and floor. Fast to match adjacent.
- Remove wall, install water diverter, 2" x 4" to match.
- Remove wall, install partition walls with 2" x 4" studs.
- Remove wall, install partition walls with 2" x 4" studs.
- Remove wall, install partition walls with 2" x 4" studs.
- Remove wall, install partition walls with 2" x 4" studs.
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NEW ROOF PLAN
SCALE: 1/4"=1'-0"

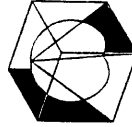


NO.	DATE	REVISIONS

OWNER: MRS. J. MATS
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., 81.D.C. 8
CARSON, CA. 90745

EXISTING ELEVATIONS



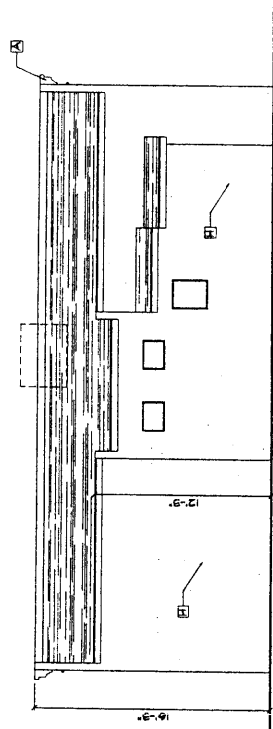
MDG
Associates, Inc.

10722 Arroyo Road, Suite 103
San Ramon, CA 94583
(925) 476-9696

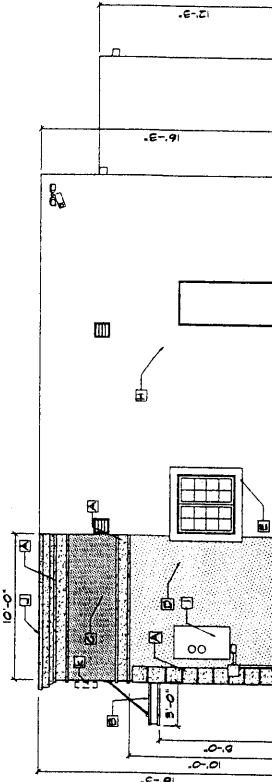
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NO.	DATE	REVISIONS

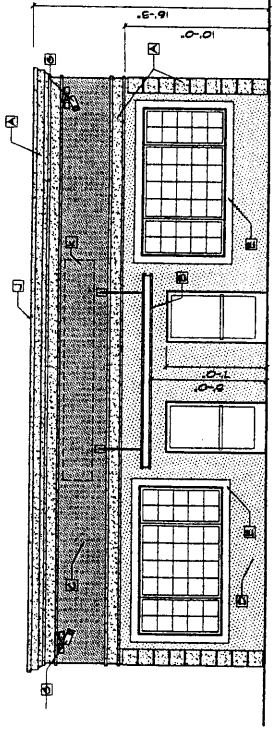
A-4a



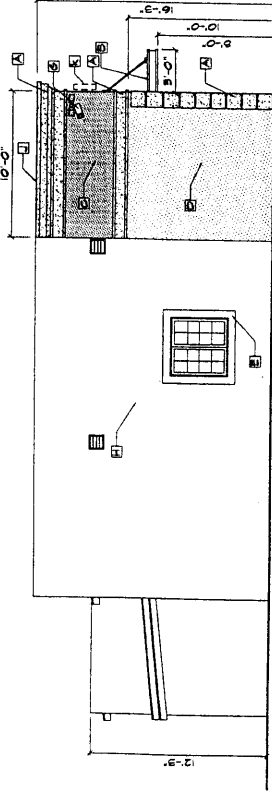
PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"

COLOR SCHEME:

	Dunn Edwards Pine Beach DE 8199
	Dunn Edwards Shores DE 8111
	Dunn Edwards Ancient Earth DE 8217
	Existing to remain

- NEW ELEVATION LEGEND:**
- A. New architectural barn modeling with salmon finish, color: Dunn Edwards Pine Beach DE 8199
 - B. New metal awning, color: Samit glass block
 - C. Existing glass to be painted, color: Dunn Edwards Shores DE 8111
 - D. Existing panels to be painted, color: Dunn Edwards Ancient Earth DE 8217
 - E. Existing window frame to be painted, color: Dunn Edwards Pine Beach DE 8199
 - F. Existing sign to be re-installed
 - G. Existing surveillance cameras to be re-installed
 - H. Existing panels to remain as is
 - I. Existing structural panel cabinet to be painted to match salmon finish new color
 - J. New metal hanging rail case, paint to match new barn finish new color
 - K. Existing iron sign to be re-installed

BUILDING "A"
341 W. Carson St.

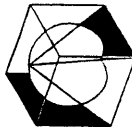


NO.	DATE	BY

OWNER: MRS. L. MATHIS
333 W. CARSON ST.
CARSON, CA 90745

PROJECT LOCATION: 333 W. CARSON ST., BLDG. B
CARSON, CA 90745

EXISTING ELEVATIONS



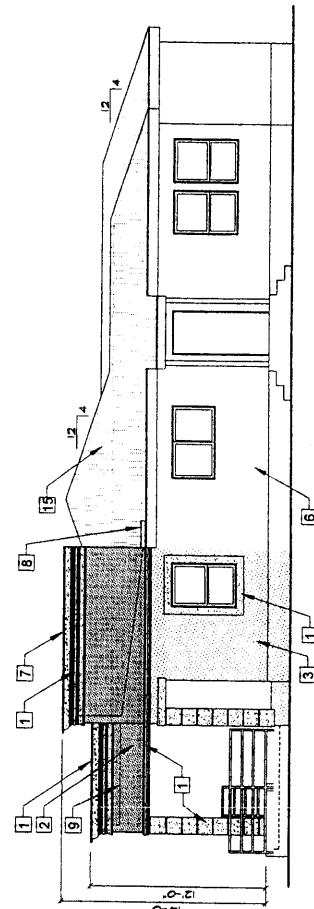
MDG
Associates, Inc.

10722 Arroyo Road, Suite 402
Rancho Cucamonga, CA 91730
(909) 416-1636

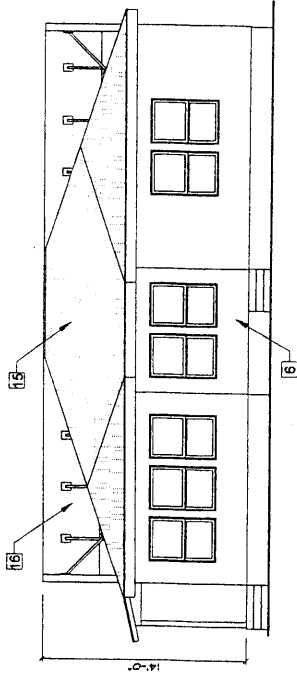
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PROJECT NO.	DATE

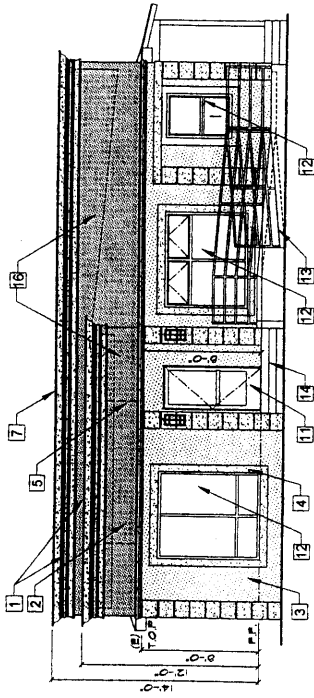
A-4b



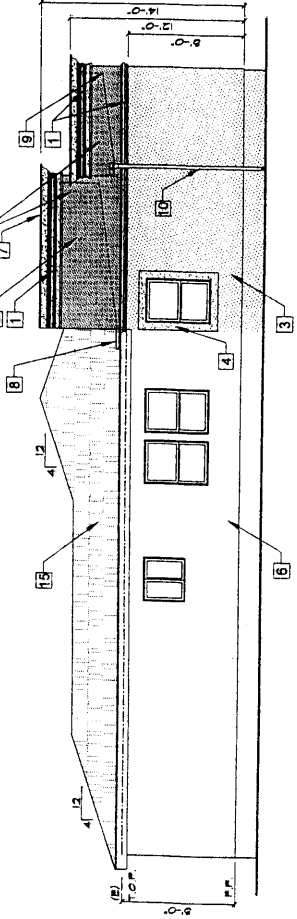
PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"

- NEW ELEVATION LEGEND:**
- New architectural foam masonry with aluminum finish, color: Dunn Edwards Pale Beach DE 6199
 - Existing plaster to be painted, color: Dunn Edwards Snows DE 6111
 - Proposed new sign under separate permit
 - New metal flashing wall caps, paint to match new foam concrete trim color
 - New metal water divider, paint to match existing roofing
 - New roof over existing ceiling framing. Apply new ceiling material over existing ceiling.
 - New rain gutters and down spouts. Paint to match adjacent surface.
 - New asphalt concrete ramp as per chapter 11B of the PCC.
 - New PCC concrete steps and landing.
 - Existing roof to remain to be protected during remodeling.
 - New parapet walls.
- COLOR SCHEME:**
- Dunn Edwards Pale Beach DE 6199
 - Dunn Edwards Snows DE 6111
 - Dunn Edwards Architectural DE 6217
 - Existing to remain

BUILDING "B"
333 W. Carson St.

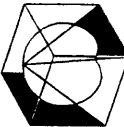


NO.	DATE	BY

OWNER: MRS. J. MWLS
333 W. CARSON ST.
CARSON, CA. 90745

PROJECT LOCATION: 333-341 W. CARSON ST., BLDG. B
CARSON, CA. 90745

PRELIMINARY
LANDSCAPING AND
IRRIGATION PLAN



MDC
Associates, Inc.

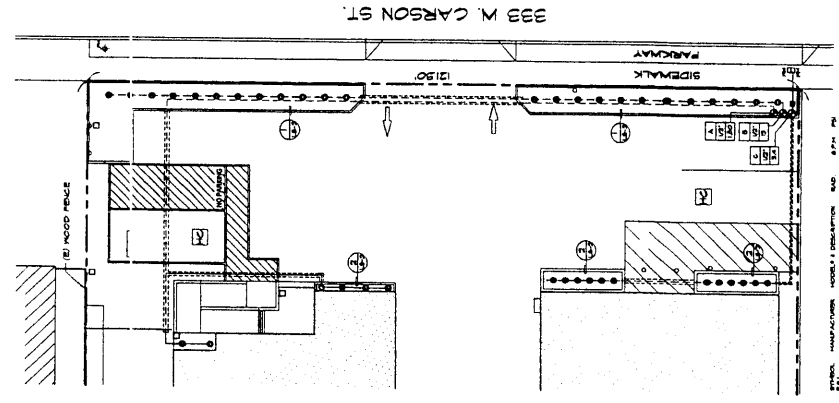
10722 Arroyo Road, Suite 102
San Diego, CA 92121
(619) 475-3636

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NO.	DATE	BY

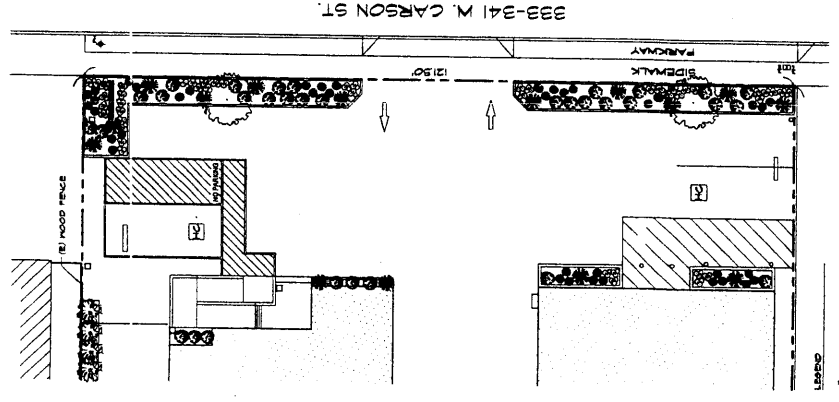
SCALE: 1"=10'-0"
DATE: 08/11/03
DRAWN BY: J. MWLS
CHECKED BY: J. MWLS
PROJECT NO.: 03-001

LS-1



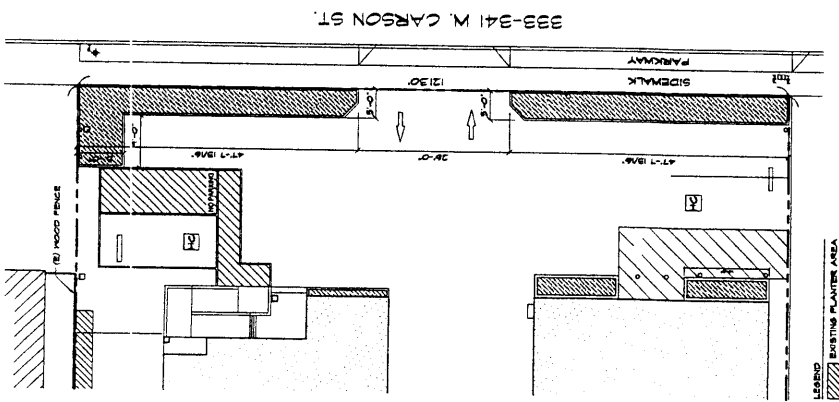
- LEGEND**
- EXISTING PLANTER AREA TO BE DEMOLISHED
 - NEW PLANTING AREA TO BE REMOVED

DEMOLITION PLAN
SCALE: 1"=10'-0"
NORTH



- LEGEND**
- EXISTING PLANTER AREA TO BE DEMOLISHED
 - NEW PLANTING AREA TO BE REMOVED

LANDSCAPING PLAN
SCALE: 1"=10'-0"
NORTH



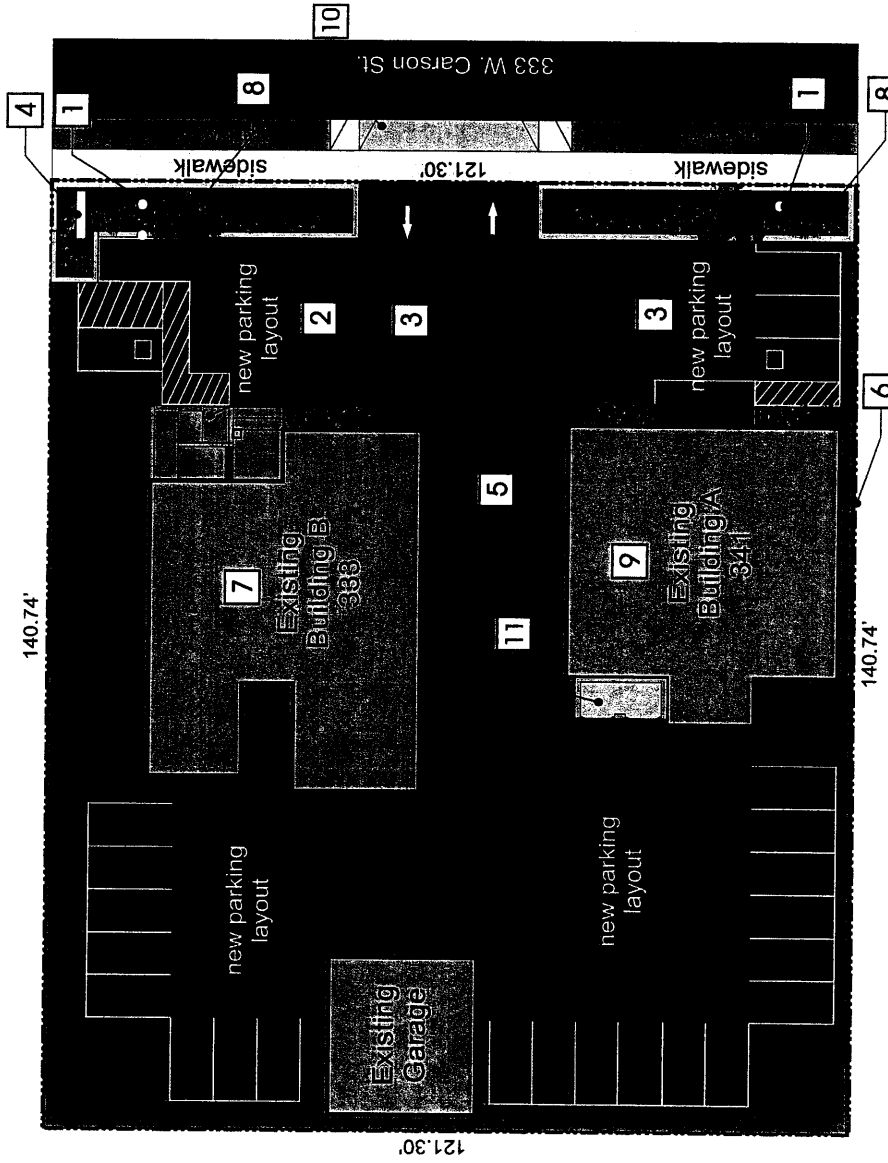
- LEGEND**
- EXISTING PLANTER AREA TO BE DEMOLISHED
 - NEW PLANTING AREA TO BE REMOVED

IRRIGATION PLAN
SCALE: 1"=10'-0"
NORTH



SITE PLAN

**333-341 W. Carson St.
Carson, CA 90745**



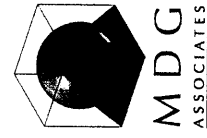
Color rendering for presentation purposes only, actual design might vary based on site conditions.

SITE PLAN LEGEND

1. Existing pole signs to be removed
2. New ADA ramp
3. New Planters and Irrigation
4. New monument signs
5. Slurry seal and restripe parking lot
6. Existing CMU fence wall to be painted
7. Existing Building B facade to be remodel as per approved facade design.
8. New 5' W landscaping area.
9. Existing building A to be remodel as per approved facade.
10. Reduce driveway approach from 38' wide to 26' wide.
11. New 6' H CMU trash enclosure with stucco finish to match existing.

Legend:

Hemerocallis Hybrid Carmen Marie Day Lily (5 gal.)	Agaveanthus Africanus Lily of the Nile (5 gal.)	Mercurialis II Sod
Myrtle tree (15 gal.)	New Zealand Flax (15 gal.)	



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**City of Carson
COMMERCIAL
REHABILITATION
333 W. Carson St.
Carson, CA 90745**



north

SITE PLAN
not to scale

rev 09-29-11



MATERIAL BOARD

341 W. Carson St.
Carson, CA 90745

Building A



BUILDING I PROPOSED FRONT ELEVATION A

Building Color legend:

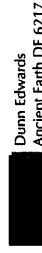
Option A



Dunn Edwards
Pale Beach DE 6199



Dunn Edwards
S'mores DE 6111



Dunn Edwards
Ancient Earth DE 6217

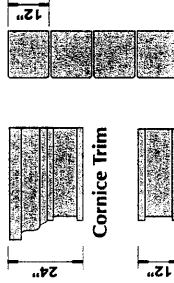


Dunn Edwards
Black DEA 187

Existing sign:

IPC WAREHOUSE

Architectural Foam with stucco finish:



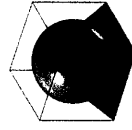
24"
12"

Cornice Trim

Horizontal Trim

12"
Quoins

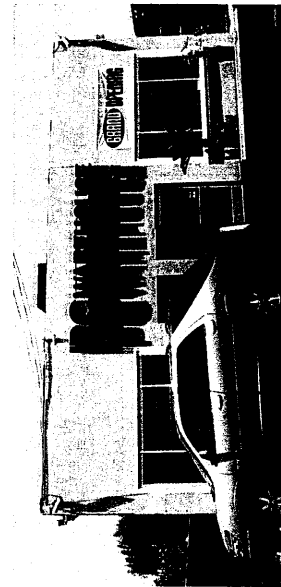
Metal awning:



MDG
ASSOCIATES

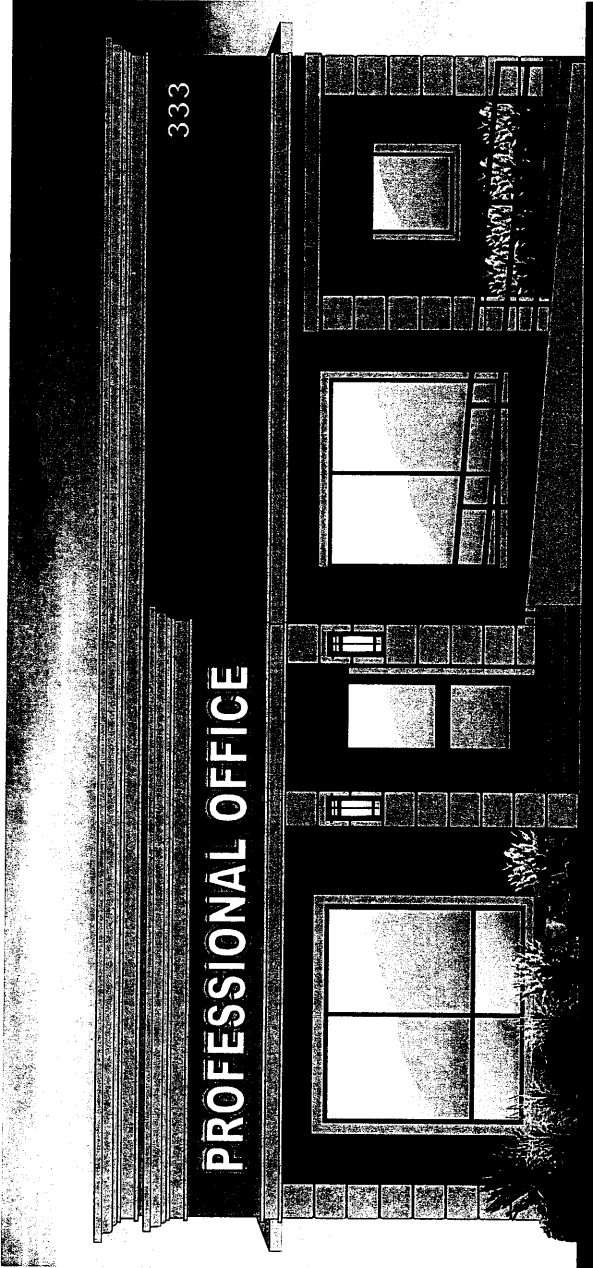
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City of Carson
**COMMERCIAL
REHABILITATION**
341 W. Carson St.
Carson, CA 90745



EXISTING ELEVATION





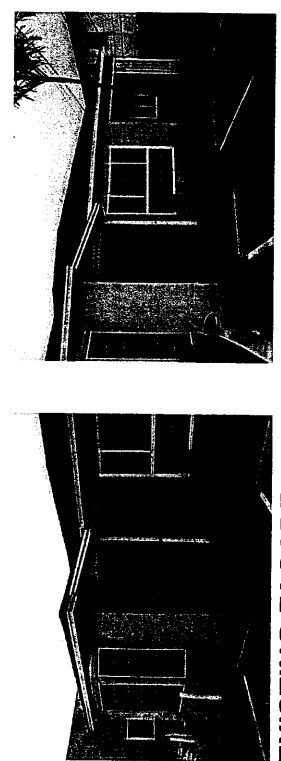
MATERIAL BOARD

333 W. Carson St.
Carson, CA 90745
Building B




BUILDING B-PROPOSED FACADE DESIGN A.3

Color rendering for presentation purposes only, actual design might vary based on existing structural conditions of the building.
07-05-2011

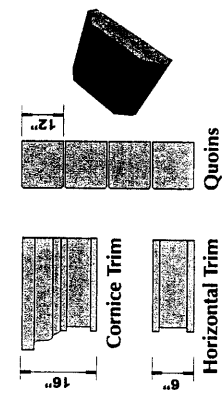
REV 08-12-11



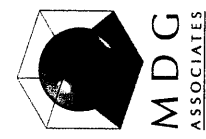
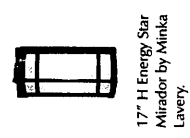
Building Color legend:

- Option A**
-  Dunn Edwards Pale Beach DE 6199
 -  Dunn Edwards S'mores DE 6111
 -  Dunn Edwards Ancient Earth DE 6217

Architectural Foam with stucco finish:

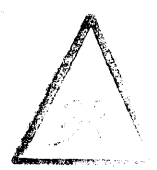


Lighting:



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City of Carson
COMMERCIAL REHABILITATION
333 W. Carson St.
Carson, CA 90745



CONCEPTUAL MONUMENT SIGN

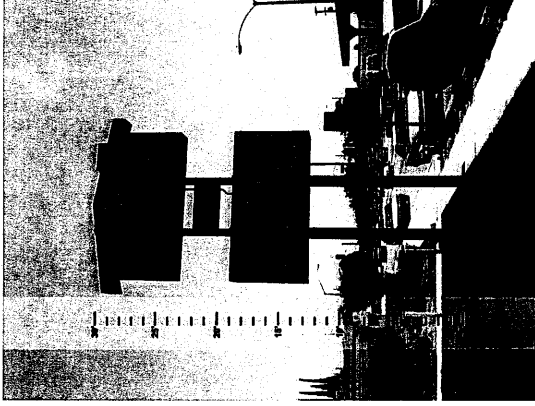
333-341 Carson St.
Carson, CA 90745



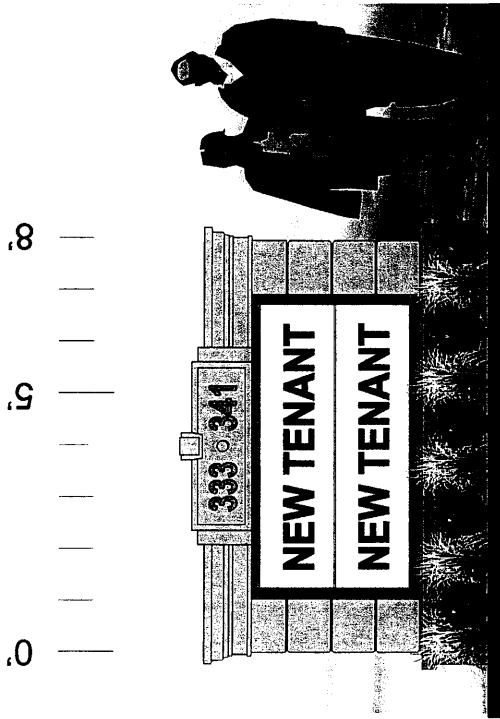
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City of Carson
COMMERCIAL
REHABILITATION

333 W. Carson St.
Carson, California

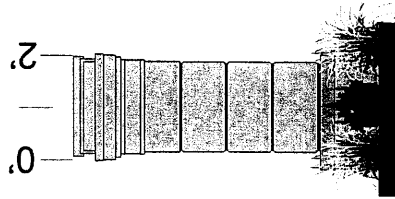


EXISTING



NEW MONUMENT SIGN

REV 9-23-11



SIDE VIEW

Color legend:

- ① Dunn Edwards
Pale Beach DE 6199
- Dunn Edwards
S'mores DE 6111
- Dunn Edwards
Ancient Earth DE 6217

Note:
Opaque white plexiglass with internally
lit red tenant letters.

Color rendering for presentation
purposes only, final shop drawings
and approvals to be under
separate permit by a sign company.

09-29-2011

