



**PROJECT DIRECTORY**

**PROJECT OWNER**  
 REAL QUEST HOLDING, LLC  
 MR. MICHAEL WANG C/O CHIH WANG  
 3129 S HACIENDA BLVD. #649  
 HACIENDA HEIGHTS, CA 91745  
 CONTACT: CHIH WANG  
 (626) 271-5322

**ARCHITECT**  
 LANEY LA, INC.  
 13110 HAWTHORNE BLVD.  
 HAWTHORNE, CA 90250  
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 ANTHONY@LANEY.LA  
 (310) 498-2455

**CIVIL ENGINEER**  
 APPLE ENGINEERING  
 9080 TELSTAR AVE. #309  
 EL MONTE, CA 91731  
 CONTACT: LILY XIAO  
 LILY@APPLEENGINEERING.NET  
 (626) 552-9818

**STRUCTURAL ENGINEER**  
 NOUS ENGINEERING, INC.  
 527 WEST 7TH ST. SUITE 701  
 LOS ANGELES, CA 90014  
 CONTACT: OMAR GARZA  
 OMAR.GARZA@NOUSENGINEERING.COM  
 (213) 627-6687

**MECHANICAL/PLUMBING ENGINEER**  
 AIRPLUS ENGINEERING CONSULTANTS, LLC  
 11517 BURBANK BLVD.  
 NORTH HOLLYWOOD, CA 91601  
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 AIRPLUS@SBCGLOBAL.NET  
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**ELECTRICAL ENGINEER**  
 JOHN R. HANZLIK & ASSOCIATES, INC.  
 7100 HAVENHURST AVE. SUITE 301  
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 CONTACT: JOHN HANZLIK  
 HANZLIK@PACBELL.NET  
 (818) 901-1778

**LANDSCAPE ARCHITECT**  
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 1632 AVATION BLVD.  
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 MIRIAM@RAINVILLEDESIGN.COM  
 (310) 378-2650

**GEOTECHNICAL ENGINEER**  
 CALLAND ENGINEERING, INC.  
 DBA QUARTECH CONSULTANTS  
 576 E. LAMBERT RD.  
 BREA, CA 92621  
 CONTACT: JACK LEE  
 LEE@CALLANDENG.COM  
 (714) 671-1050



**LANEY LA**  
 LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
 BIRCH

**PROJECT NUMBER**  
 17065

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**PROJECT ADDRESS**  
 21809-21811 FIGUEROA STREET  
 CARSON, CA 90745

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 ANTHONY LANEY AIA  
 LANEY LA, INC.  
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 ANTHONY@LANEY.LA

**NOT FOR CONSTRUCTION**

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT
4	07/10/18	DEVELOPMENT APPLICATION REVISION

PROJECT NO: 17065  
 MODEL FILE:  
 DRAWN BY: DD  
 CHK'D BY: PC  
 COPYRIGHT

**SHEET TITLE**  
 COVER SHEET

**G-000.0**

**ABBREVIATIONS**

<p>® ABOVE FINISH FLOOR          AFC ABOVE FINISH GRADE          ACOUS ACOUSTICAL          ADJ ADJUSTABLE          ALUM ALUMINUM          ANCH ANCHOR          APPROX APPROXIMATELY          ATTN ATTENUATION          BOARD BOARD          BLDG BUILDING          BLK BLOCK          BM BEAM          B.O. BOTTOM OF          (C) COMPACT PARKING STALL          CA CLEAR ANODIZED          CAB CABINET          CER CERAMIC          CJ CONTROL JOINT          CL CLOSET          C.L. CENTER LINE          CLG CEILING          CLR CLEAR          CMU CONCRETE MASONRY UNIT          COL COLUMN          CONC CONCRETE          CONST CONSTRUCTION          CONT CONTINUOUS          DBL DOUBLE          DTL DETAIL          DIA DIAMETER          DIAG DIAGONAL          DIM DIMENSION          DOWN DOWN          DS DOWNSPOUT          DWG DRAWING          EA EACH          EL ELEVATION          ELECT ELECTRICAL          EQ EQUAL          EQUIP EQUIPMENT          EXIST EXISTING          EXT EXTERIOR          FD FLOOR DRAIN          FIN FINISH          F.F.E. FINISH FLOOR ELEVATION          FLR FLOOR          FLUOR FLUORESCENT          F.O. FACE OF          FT FOOT          FTG FOOTING          FV FIELD VERIFY          GA GAUGE          GI GALVANIZED IRON          CALV GALVANIZED          CL CYP BD          HD HEAD          HDWD HARDWOOD          HORIZ HORIZONTAL          HT HEIGHT          ID INSIDE DIAMETER          IN INCH          INSUL INSULATION          INT INTERIOR</p>	<p>LAM LAMINATE          LAV LAVATORY          LT FX LIGHT FIXTURE          MAX MAXIMUM          MECH MECHANICAL          MTL METAL          MIN MINIMUM          (N) NEW          NIC NOT IN CONTRACT          ON CENTER          OD OUTSIDE DIAMETER          P.C. PROPERTY CORNER          P.L. PROPERTY LINE          PLT PLATE          PLAS PLASTER          PLWD PLYWOOD          R RISERS          RD ROOF DRAIN          R.O. ROUGH OPENING          RAD RADIUS          RDL ROOF DRAIN LEADER          REC RECESSED          REINF REINFORCED          REQ'D REQUIRED          RES RESISTANT          RESIL RESILIENT          RET RETAINING          REV. REVERSE          RM ROOM          S.S. STAINLESS STEEL          SV SHEET VINYL          SCHED SCHEDULE          SECT SECTION          SAU SELF ADHERING UNDERLAYMENT          SFR SINGLE FAMILY RESIDENCE          SHT SHEET          SIM SIMILAR          SPEC SPECIFICATION          SQ SQUARE          STD STANDARD          STL STEEL          STRUCT STRUCTURAL          SUSP SUSPENDED          T TREADS          TAB TOP AND BOTTOM          T&amp;G TONGUE AND GROOVE          T.O. TOP OF          T.O.C. TOP OF CONCRETE          TOP TOPPING          TELE TELEPHONE          TEMP TEMPERED          T.S. TUBE STEEL          TYP TYPICAL          UNO UNLESS NOTED OTHERWISE          URM UNREINFORCED MASONRY          VCT VINYL COMPOSITION TILE          W/ WITH          WC WATER CLOSET          WF WIDE FLANGE          WP WATERPROOF          WD WOOD          WRB WEATHER RESISTANT BARRIER          ± PLUS OR MINUS          # NUMBER</p>
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**SYMBOLS**

<p>--- DASHED LINES INDICATE HIDDEN, OVERHEAD OR ITEMS TO BE REMOVED          --- BUILDING FLOOR OR ELEVATION          --- PROPERTY LINE          --- BREAK LINE - MATERIAL TO CONTINUE ON CENTER          --- GRIDLINE ON CENTER OF COLUMN          --- GRIDLINE TO FACE OF STRUCTURE          --- DIMENSION TO CENTERLINE          --- DIMENSION TO FACE          --- BUILDING SECTION          --- WALL SECTION          --- DETAIL          --- INTERIOR ELEVATION - MULTIPLE WALLS          --- INTERIOR ELEVATION - 1 WALL          --- EXTERIOR ELEVATION          --- ROOM NAME          --- ROOM NUMBER          --- WALL TYPE          --- DOOR MARK          --- WINDOW MARK</p>	<p>--- DASHED LINES INDICATE HIDDEN, OVERHEAD OR ITEMS TO BE REMOVED          --- BUILDING FLOOR OR ELEVATION          --- PROPERTY LINE          --- BREAK LINE - MATERIAL TO CONTINUE ON CENTER          --- GRIDLINE ON CENTER OF COLUMN          --- GRIDLINE TO FACE OF STRUCTURE          --- DIMENSION TO CENTERLINE          --- DIMENSION TO FACE          --- BUILDING SECTION          --- WALL SECTION          --- DETAIL          --- INTERIOR ELEVATION - MULTIPLE WALLS          --- INTERIOR ELEVATION - 1 WALL          --- EXTERIOR ELEVATION          --- ROOM NAME          --- ROOM NUMBER          --- WALL TYPE          --- DOOR MARK          --- WINDOW MARK</p>	<p>APP-01 EQUIPMENT MARK          PL-01 PLUMBING FIXTURES          PT-01 FINISH DESIGNATION          1 KEYNOTE          REVISION NUMBER          EXISTING ELEVATION          NEW ELEVATION          CONTROL POINT / DATUM          ALIGN          EXISTING WALL          NEW WALL          DIRECTION OF SLOPE TO DRAIN          EXHAUST FAN          FIRE SPRINKLER          SMOKE DETECTOR          NORTH ARROW</p>
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**MATERIALS**

<p>ALUMINUM          WOOD, FINISH          CONCRETE          CONCRETE MASONRY UNIT          EARTH          STONE          GRAVEL          SAND          GYPSUM BOARD          PLASTER IN SECTION &amp; ELEVATION          CONCRETE IN PLAN &amp; ELEVATION          CEMENT PLASTER          BATT INSULATION          RIGID INSULATION          PLYWOOD          GLASS          STEEL          CERAMIC TILE          METAL STUD IN PLAN, METAL TRACK BELOW          METAL STUD IN ELEVATION          METAL IN ELEVATION</p>
--

**VICINITY MAP**



**ALLOWABLE AREA**

GARAGE:	UNLIMITED
TYPE I-A	
CONDOMINIUM:	36,000 SQ FT
TYPE V-A	

**FRONTAGE INCREASE**

$I_1 = [F/P - 0.25]W/30$   
 $I_2 = [396/600 - 0.25]20/30$   
 $I_1 = 0.22$

**OCCUPANT LOAD ANALYSIS & EXITING DIAGRAMS**

LEVEL	USE	TOTAL AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
GROUND	PARKING	26,520 SF	200	135
	LOBBY	472 SF	15	32
	MAIL ROOM	269 SF	300	1
TOTAL GROUND LEVEL:				166
LEVEL 2	RESIDENTIAL	14,799 SF	200	79
LEVEL 3	RESIDENTIAL	14,799 SF	200	80
LEVEL 4	RESIDENTIAL	15,166 SF	200	80
LEVEL 5	ROOF DECK	3,496 SF	200	18

**EXIT COMPONENT WIDTH/CAPACITY CALCS**

CALCULATION OF CAPACITY OF MINIMUM WIDTH CODE PRESCRIBED EXIT COMPONENTS.  
 SEE LOAD TABLE ABOVE AND DIAGRAMS BELOW.  
 SEE EGRESS JUSTIFICATION CALCULATION BELOW.

**STAIRWAYS**

MINIMUM WIDTH OF STAIR SERVING OCCUPANT LOAD >49 = 44" (CBC 1005.1)  
 CAPACITY OF 48" STAIR (CBC 1004.1.1) 0.37/PERSON = 48"/0.37 = 160 OCCUPANTS  
 STAIR #1 LOAD = 82 OCCUPANTS  
 STAIR #2 LOAD = 78 OCCUPANTS  
 48" STAIR IS OK

**PARKING**

NUMBER OF UNITS WITH 2 BEDROOMS:	21
NUMBER OF UNITS WITH 3 BEDROOMS:	11
TOTAL UNITS:	32
PARKING REQUIREMENT	2 PER UNIT
NUMBER OF SPACES PER UNIT:	
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):	8
RESIDENCE PARKING:	
NUMBER OF UNITS:	32
PARKING REQUIRED:	64
GUEST PARKING:	
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):	8
PARKING REQUIRED:	8
TOTAL PARKING REQUIRED:	72
TOTAL PARKING PROVIDED:	73

**BICYCLE RACKS**

TOTAL BIKE RACKS REQUIRED (5% OF REQUIRED PARKING):	4
TOTAL BIKE RACKS PROVIDED:	14

**CONDOMINIUM CALCULATIONS**

UNIT #	PLAN TYPE	# OF BEDROOMS	AREA (SF)	OPEN SPACE (SF)
1	A	2	924	150
2	K	2	1,108	157
3	K	2	1,104	158
4	H	2	1,427	154
5	C	3	1,705	N/A
6	E	3	1,774	N/A
7	G	3	1,978	N/A
8	I	2	1,326	151
9	B	2	1,100	158
10	B	2	1,103	165
11	J	2	1,135	175
12	A	2	920	150
13	K	2	1,108	157
14	K	2	1,104	158
15	H	2	1,427	154
16	C	3	1,701	N/A
17	E	3	1,774	N/A
18	G	3	1,978	N/A
19	I	2	1,326	151
20	B	2	1,100	158
21	B	2	1,103	165
22	J	2	1,135	175
23	F	3	1,581	150
24	I	3	1,918	157
25	H	2	1,427	154
26	C	3	1,705	N/A
27	E	3	1,774	N/A
28	D	3	1,979	N/A
29	I	2	1,326	151
30	B	2	1,100	158
31	B	2	1,103	165
32	J	2	1,135	175
TOTAL AREA:			44,208 SF	3,646 SF

**AREA BREAKDOWNS**

NET SIZE OF LOT:	33,703 SF
GROSS FLOOR AREA:	52,616 SF
NET FLOOR AREA:	44,208 SF
PROPOSED DENSITY:	32 UNITS PER ACRE
LOT COVERAGE RATIO:	64.05%
FLOOR AREA RATIO:	156.12%

**GOVERNING ACCESSIBILITY STANDARDS**

2016 CALIFORNIA BUILDING CODE  
 FAIR HOUSING ACT (FHA)  
 AMERICAN DISABILITIES ACT (ADA)

**PROJECT INFORMATION**

**PROJECT ADDRESS**  
 21809-21811 FIGUEROA STREET  
 CARSON, CA 90745

**LEGAL DESCRIPTION**  
 A PORTION OF LOT 41 OF TRACT NO. 3612, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGES 5 AND 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**APN#:**  
 7343-020-009  
 7343-020-010

**ZONING:**  
 BIRCH SPECIFIC PLAN

**LOT AREA (NET):**  
 33,703 SF

**BUILDING FOOTPRINT:**  
 18,990 SF

**GOVERNING CODES:**  
 2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 ELECTRICAL CODE  
 2016 CALIFORNIA GREEN CODE  
 AND ALL APPLICABLE CODES, I, CAL, ENENT OSHA LAWS, T-24 ENERGY CONSERVATION, LIST OF STANDARDS, DISABLED ACCESS REGULATIONS AND LA COUNTY AMENDMENTS

**OCCUPANCY GROUP:**  
 RESIDENTIAL: R-2  
 PARKING LEVEL: S-2

**CONSTRUCTION TYPE:**  
 RESIDENTIAL (3 STORIES): TYPE V-A - FULLY SPRINKLERED  
 OVER  
 PARKING LEVEL (GROUND LEVEL): TYPE I-A - FULLY SPRINKLERED

**FIRE SPRINKLERS:**  
 FULL NFPA 13 AUTOMATIC SPRINKLER SYSTEM

**SCOPE OF WORK:**  
 NEW 4-STORY CONDOMINIUM WITH 32 UNITS + ROOF GARDEN

**GENERAL BUILDING INFORMATION**

<b>LOT AREA CALCULATIONS</b>	
LOT AREA:	33,703 SF
<b>SETBACKS:</b>	
REQUIRED FRONT:	20'
REQUIRED SIDE:	10'
REQUIRED REAR:	15'
HEIGHT LIMIT (PER BIRCH SPECIFIC PLAN):	55'



**LANEY LA**  
 LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
 BIRCH

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**CLIENT**  
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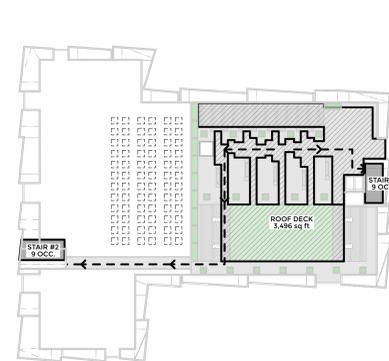
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1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT

**PROJECT NO:** 17065  
**MODEL FILE:**  
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**PROJECT INFORMATION**

**G-101.0**



**ROOF LEVEL - EGRESS DIAGRAM**

SCALE: 1/32" = 1'-0"

5

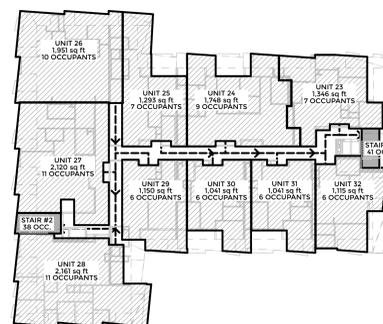


**FRONTAGE DIAGRAM**

SCALE: 1/32" = 1'-0"

6

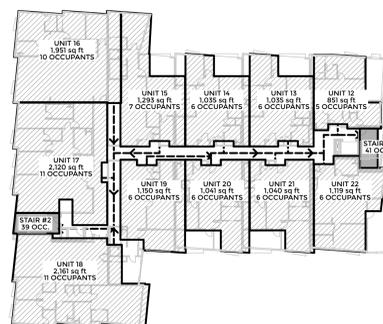
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 407'-6"  
 PERIMETER:  
 683'-4"



**4TH FLOOR - EGRESS DIAGRAM**

SCALE: 1/32" = 1'-0"

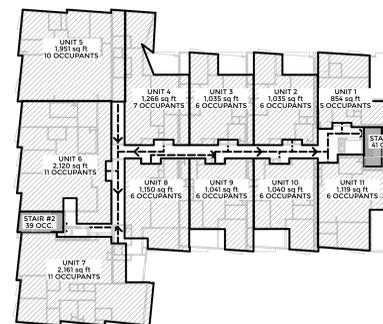
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**3RD FLOOR - EGRESS DIAGRAM**

SCALE: 1/32" = 1'-0"

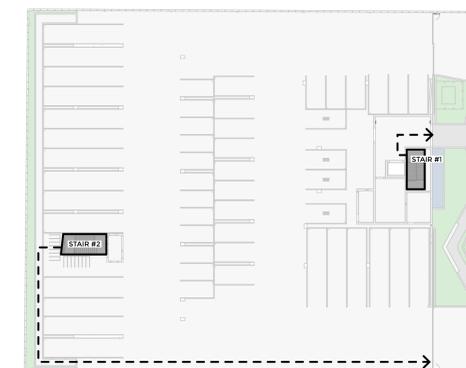
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**2ND FLOOR - EGRESS DIAGRAM**

SCALE: 1/32" = 1'-0"

2



**GROUND FLOOR - EGRESS DIAGRAM**

SCALE: 1/32" = 1'-0"

1



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
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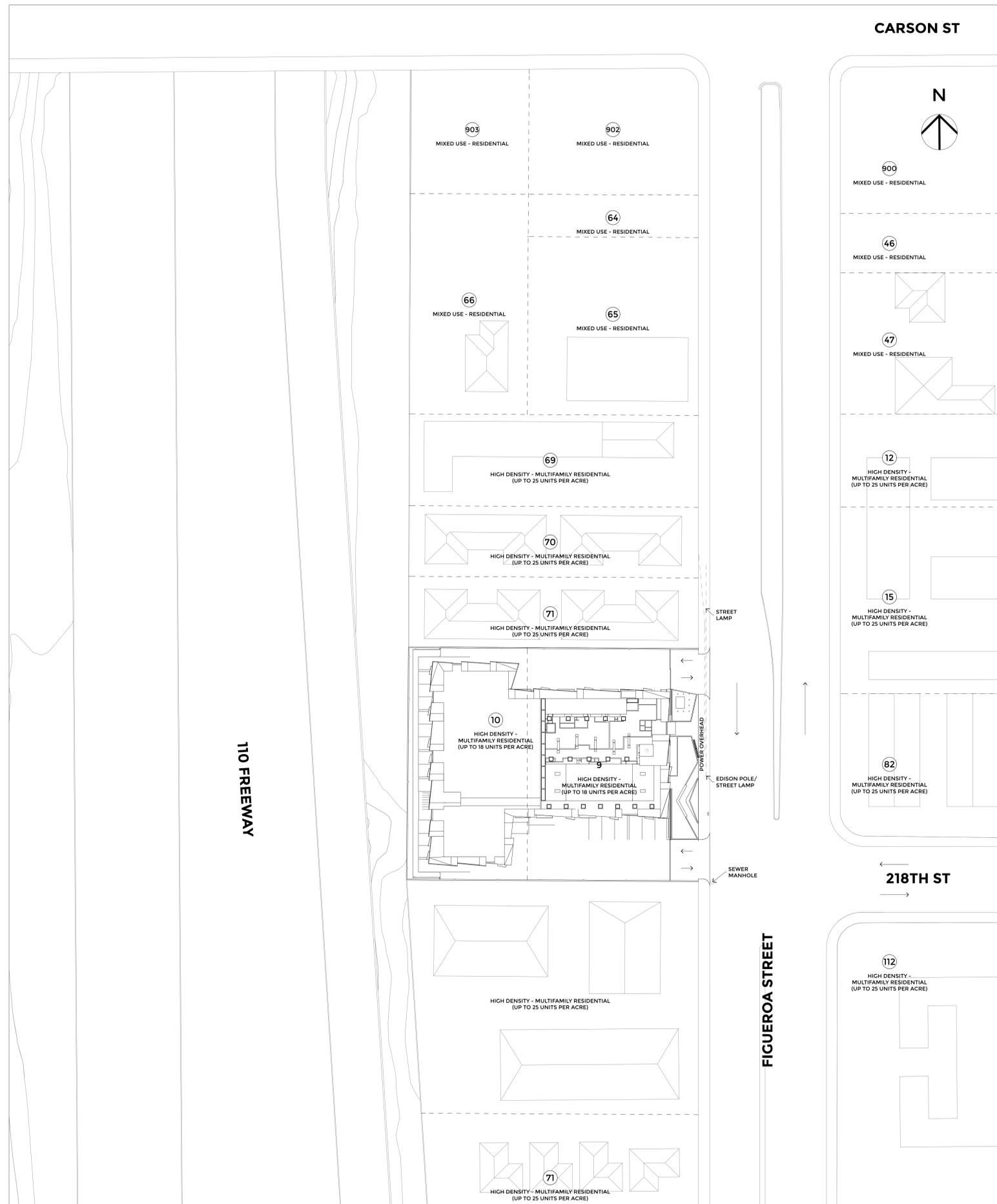
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SHEET TITLE

**SITE UTILIZATION  
MAP**

**A-1.0**



**SITE UTILIZATION MAP**

SCALE: 1/32" = 1'-0"

**1**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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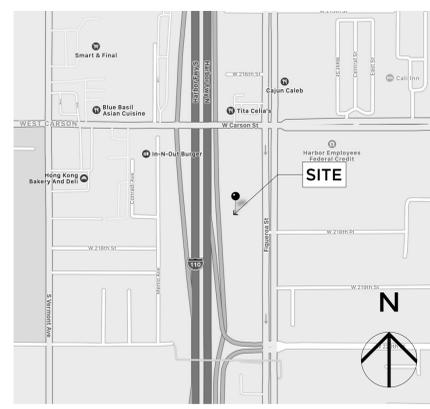
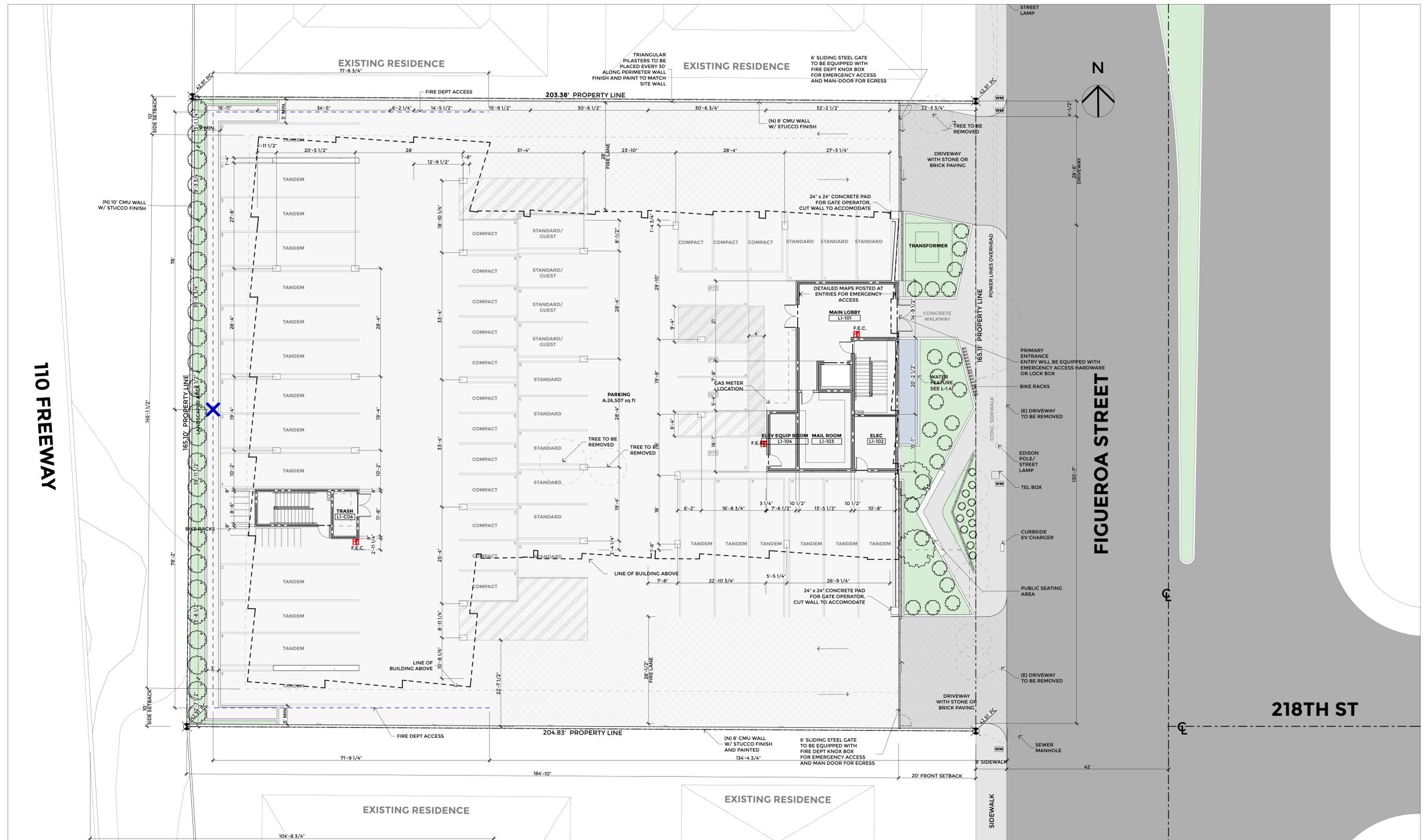
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**SITE PLAN**

**G-115.0**



UNIT #	PLAN TYPE	# OF BEDROOMS	AREA (SF)	OPEN SPACE (SF)
1	A	2	1,108	150
2	K	2	1,104	157
3	K	2	1,104	158
4	H	2	1,427	154
5	C	3	1,705	N/A
6	E	3	1,774	N/A
7	G	3	1,978	N/A
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11	A	2	1,135	175
12	A	2	920	150
13	K	2	1,108	157
14	K	2	1,104	158
15	H	2	1,427	154
16	C	3	1,701	N/A
17	E	3	1,774	N/A
18	G	3	1,978	N/A
19	I	3	1,326	151
20	B	2	1,100	158
21	B	2	1,103	165
22	J	3	1,135	175
23	F	3	1,381	150
24	I	3	1,918	157
25	H	2	1,427	154
26	C	3	1,705	N/A
27	E	3	1,774	N/A
28	D	3	1,979	N/A
29	I	2	1,326	151
30	B	2	1,100	158
31	B	2	1,103	165
32	J	2	1,135	175
<b>TOTAL AREA:</b>			<b>44,208 SF</b>	<b>3,646 SF</b>

AREA BREAKDOWNS	
NET SIZE OF LOT:	33,703 SF
GROSS FLOOR AREA:	52,616 SF
NET FLOOR AREA:	44,208 SF
PROPOSED DENSITY:	32 UNITS PER ACRE
LOT COVERAGE RATIO:	64.05%
FLOOR AREA RATIO:	156.12%
LANDSCAPE COVERAGE RATIO:	19.12%
PARKING BREAKDOWN	
NUMBER OF UNITS WITH 2 BEDROOMS:	21
NUMBER OF UNITS WITH 3 BEDROOMS:	11
<b>TOTAL UNITS:</b>	<b>32</b>
<b>PARKING REQUIREMENT</b>	<b>2 PER UNIT</b>
NUMBER OF SPACES PER UNIT:	8
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):	8
<b>RESIDENCE PARKING:</b>	<b>32</b>
NUMBER OF UNITS:	64
<b>PARKING REQUIRED:</b>	<b>64</b>
<b>GUEST PARKING:</b>	<b>8</b>
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):	8
<b>PARKING REQUIRED:</b>	<b>8</b>
<b>TOTAL PARKING REQUIRED:</b>	<b>72</b>
<b>TOTAL PARKING PROVIDED:</b>	<b>73</b>

**SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS**

**SITE PLAN +0.0'**  
SCALE: 3/32" = 1'-0"

1



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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**SHEET TITLE**  
FLOOR PLAN - FIRST FLOOR

**A-101**

**GRAPHICS LEGEND**

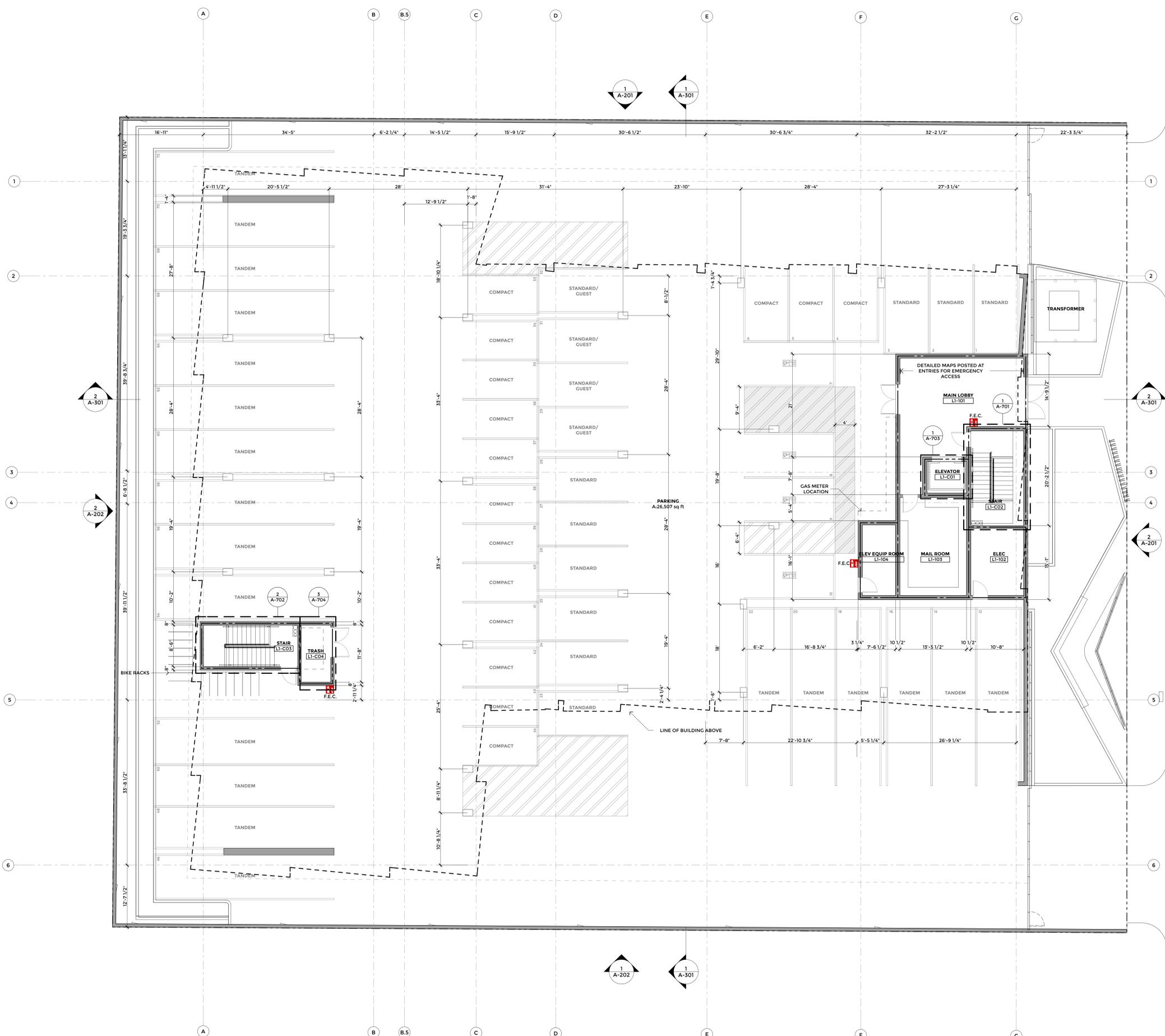
- CAST-IN-PLACE CONCRETE
- NO PARKING ZONE
- LIGHTWEIGHT CONCRETE FINISH
- ACRYLIC DECK COATINGS
- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

**WALL FIRE SEPARATIONS LEGEND**

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

**SHEET NOTES**

01. REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
02. DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
03. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
04. ALL STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS PREPARED BY THE ENGINEER, FOR ALL FRAMING. REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER, CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
05. APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
06. REFER TO SHEET "WALL TYPES" FOR WALL TYPE DETAILS.
07. REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE RATED ASSEMBLY INFORMATION.
08. REFER TO SHEETS "SLAB PLANS" FOR GRADES AND DRAINAGE.
09. REFER TO SHEETS "FINISH PLANS" AND "INTERIOR FINISH SCHEDULE" FOR FLOOR FINISHES.
10. REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STORE FRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
12. REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
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18. SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
19. TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.



**FIRST FLOOR PLAN +0.0'**  
SCALE: 1/8" = 1'-0" **1**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
3129 S HACIENDA BLVD. #649  
HACIENDA HEIGHTS, CA 91745  
(626) 271-5322

**PROJECT ADDRESS**  
21809-21811 FIGUEROA STREET  
CARSON, CA 90745

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
13110 HAWTHORNE BLVD. UNIT A  
HAWTHORNE CA 90250  
(310) 498-2455  
ANTHONY@LANEY.LA

**NOT FOR CONSTRUCTION**

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT
4	04/12/18	REVISED CITY SUBMITTAL
5	07/10/18	DEVELOPMENT APPLICATION REVISION

**PROJECT NO:** 17065  
**MODEL FILE:**  
**DRAWN BY:** DD  
**CHK'D BY:** PC  
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**SHEET TITLE**

**FLOOR PLAN -  
SECOND FLOOR**

**A-102**

**GRAPHICS LEGEND**

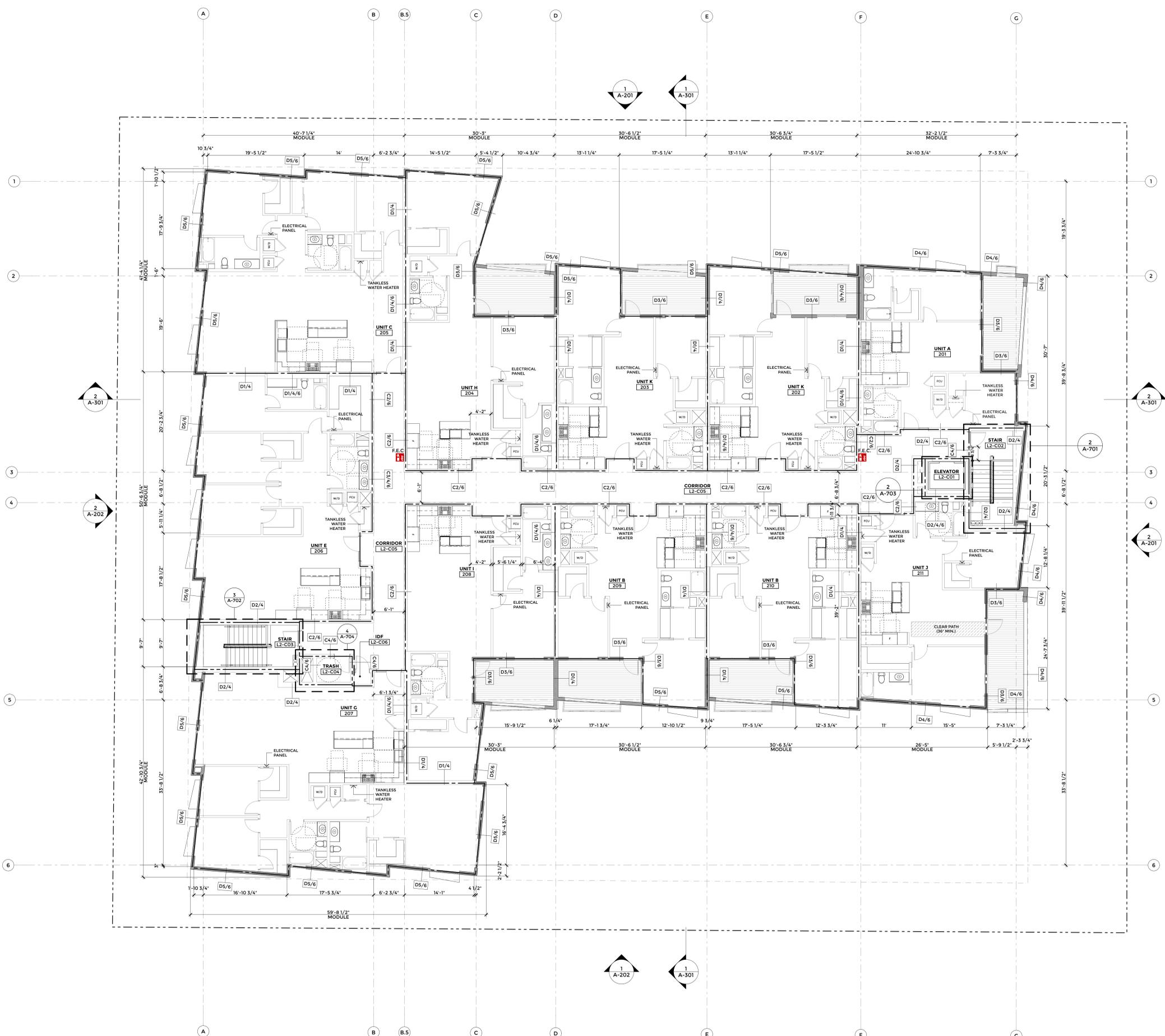
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- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

**WALL FIRE SEPARATIONS LEGEND**

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

**SHEET NOTES**

01. REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
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18. SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
19. TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.



**SECOND FLOOR PLAN +10.0'**  
SCALE: 1/8" = 1'-0" **1**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

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MODEL FILE:  
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SHEET TITLE

**FLOOR PLAN -  
THIRD FLOOR**

**A-103**

**GRAPHICS LEGEND**

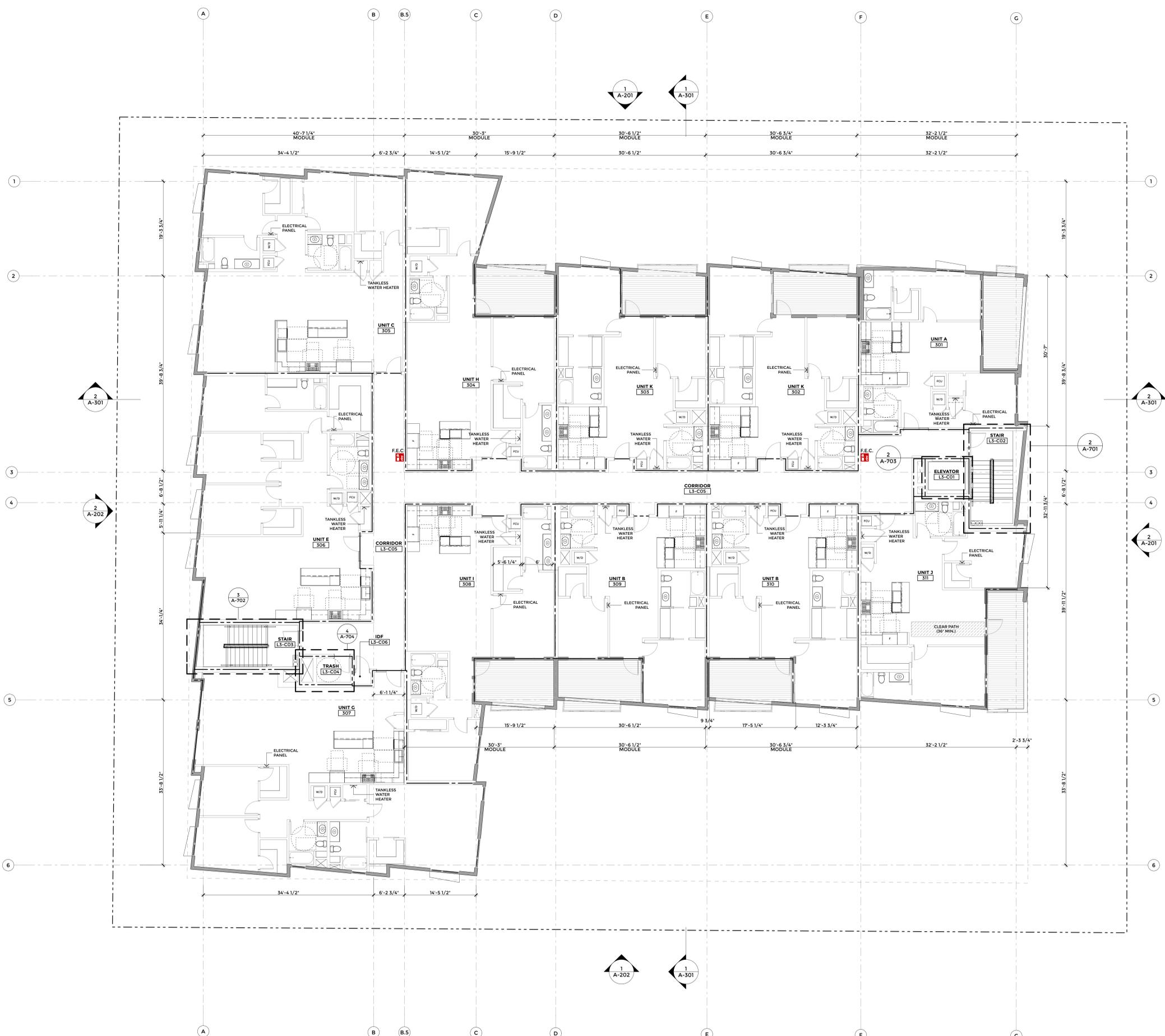
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**WALL FIRE SEPARATIONS LEGEND**

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

**SHEET NOTES**

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**THIRD FLOOR PLAN +20.0'**  
SCALE: 1/8" = 1'-0" **1**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
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MODEL FILE:  
DRAWN BY: DD  
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SHEET TITLE

**FLOOR PLAN -  
FOURTH FLOOR**

**A-104**

**GRAPHICS LEGEND**

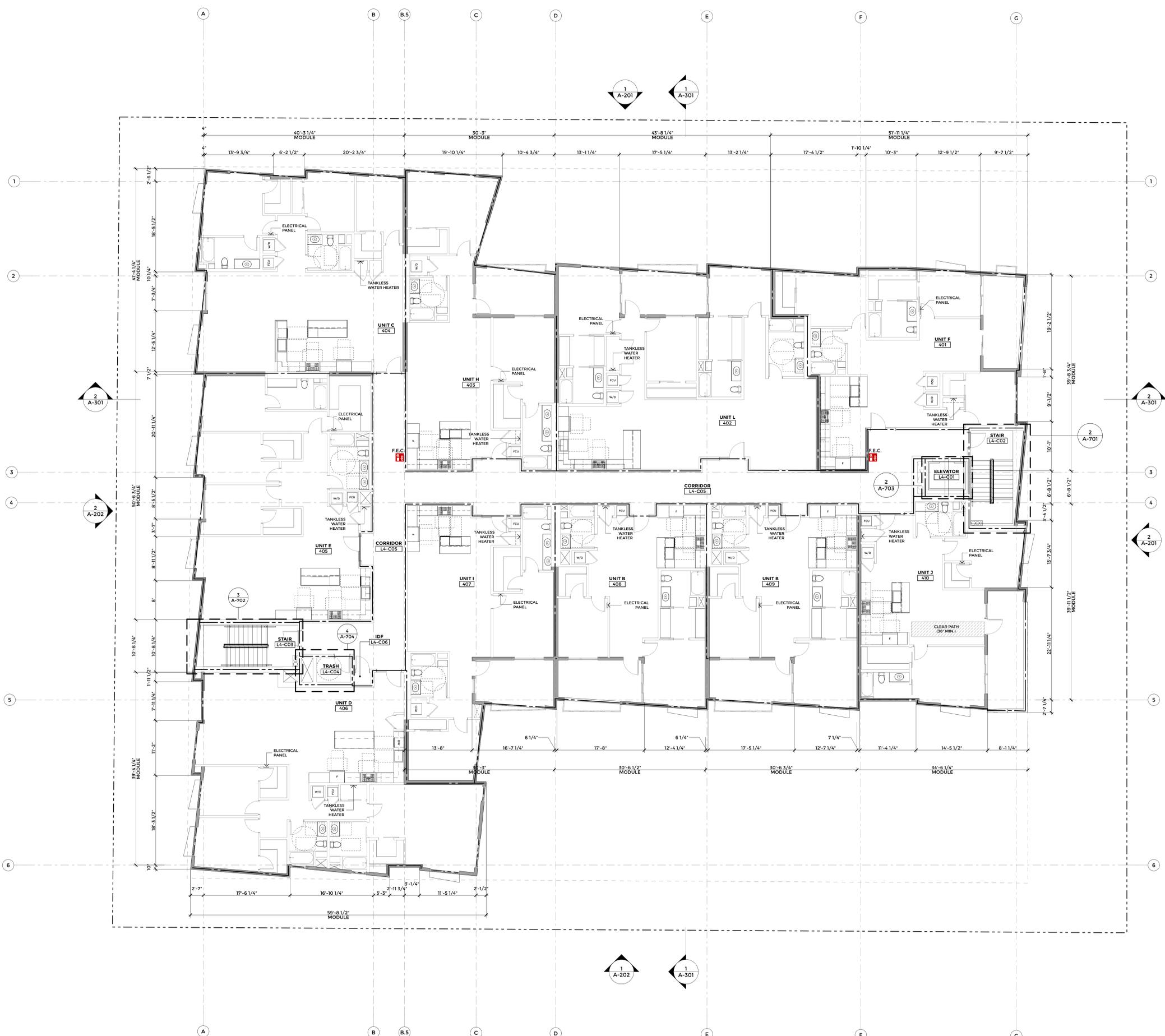
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**WALL FIRE SEPARATIONS LEGEND**

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- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

**SHEET NOTES**

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**FOURTH FLOOR PLAN +30.0'**  
SCALE: 1/8" = 1'-0" **1**





**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
3129 S HACIENDA BLVD. #649  
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PROJECT NO: 17065  
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SHEET TITLE

**BUILDING ELEVATIONS**

**A-201**



**NORTH ELEVATION** 1  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION** 2  
SCALE: 1/8" = 1'-0"



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
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SHEET TITLE

**BUILDING  
ELEVATIONS**

**A-202**



**\*ALL OPERABLE WINDOWS ON WEST FACADE TO BE USED FOR EGRESS ONLY;  
WINDOWS TO BE HARDWIRED TO FIRE ALARM TO TRIGGER WHEN OPENED**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
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**CHK'D BY:** PC  
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**SHEET TITLE**  
**BUILDING SECTIONS**

**A-301**



**EW SECTION 2**  
SCALE: 1/8" = 1'-0"



**NS SECTION 1**  
SCALE: 1/8" = 1'-0"

**KEYNOTES**

- 1 WOOD STUD WALL WITH BRICK VENEER
- 2 VERTICAL WOOD CLADDING
- 3 WOOD STUD WALL WITH SANDY GREY STUCCO FINISH
- 4 2" METAL RAILING SET AT 42" HIGH WITH 3/8" GAP
- 5 42" PAINTED METAL RAILING
- 6 CONCRETE COLUMNS PAINTED WHITE
- 7 CONCRETE WALL WITH STUCCO FINISH, PAINTED WHITE
- 8 CONCRETE SLAB
- 9 WOOD FLOOR ASSEMBLY
- 10 INTERIOR STUD WALL
- 11 42" PLANTER WITH BRICK VENEER
- 12 ROOF DECK ASSEMBLY
- 13 SLIDING DOOR
- 14 WOOD CABANA
- 15 FIXED WINDOW WITH AWNING WINDOW ABOVE
- 16 OUTDOOR KITCHEN
- 17 OVERHANG WITH WOOD CLADDING
- 18 STUD WALL WITH WOOD CLADDING
- 19 MECHANICAL EQUIPMENT SCREENING
- 20 STEEL PLATE AWNING, PAINTED TO MATCH WINDOW FRAME COLOR



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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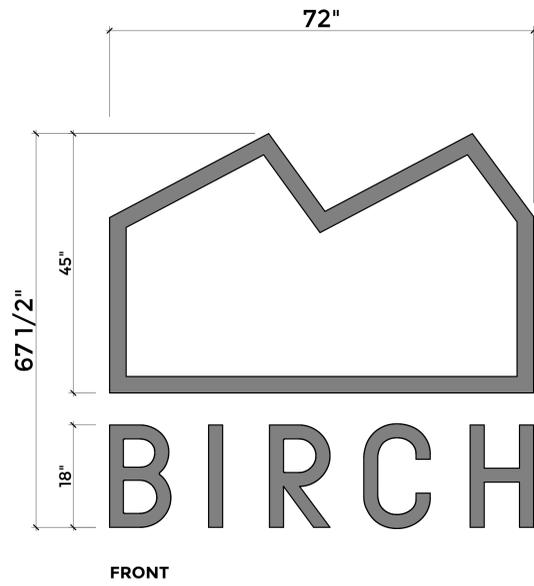
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SHEET TITLE

**SIGNAGE PLAN**

**A-6.0**

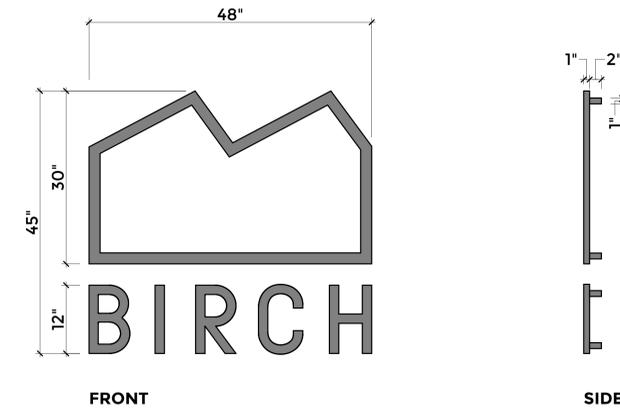


SIDE

FRONT

**SIGN B**  
SCALE: 1" = 1'-0" **2**

**SIGN DESCRIPTION:**  
INDIVIDUAL ALUMINUM FABRICATED HALO CHANNEL LETTERS WITH LED BACKLIGHTING.  
**SIGN AREA:**  
34 SF, HEIGHT NOT TO EXCEED 68"

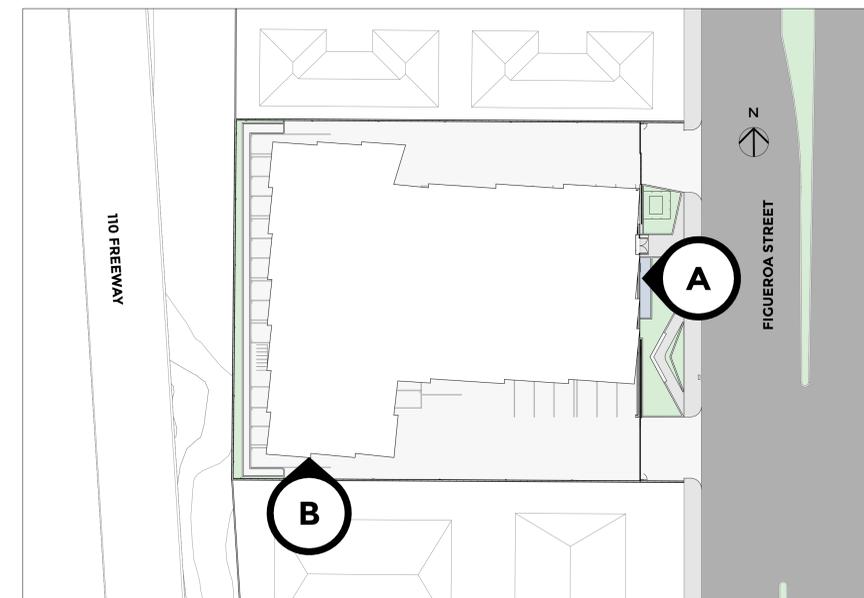


SIDE

FRONT

**SIGN A**  
SCALE: 1" = 1'-0" **1**

**SIGN DESCRIPTION:**  
INDIVIDUAL ALUMINUM FABRICATED HALO CHANNEL LETTERS WITH LED BACKLIGHTING.  
**SIGN AREA:**  
15 SF, HEIGHT NOT TO EXCEED 45"



**SIGNAGE PLAN**  
SCALE: 1/32" = 1'-0" **3**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
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**NOT FOR CONSTRUCTION**

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT
4	07/10/18	DEVELOPMENT APPLICATION REVISION

PROJECT NO: 17065  
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DRAWN BY: DD  
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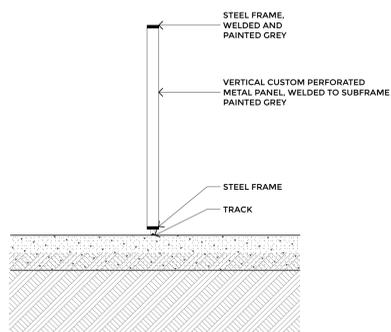
SHEET TITLE

**MAIN ENTRY  
ENLARGED  
DRAWINGS**

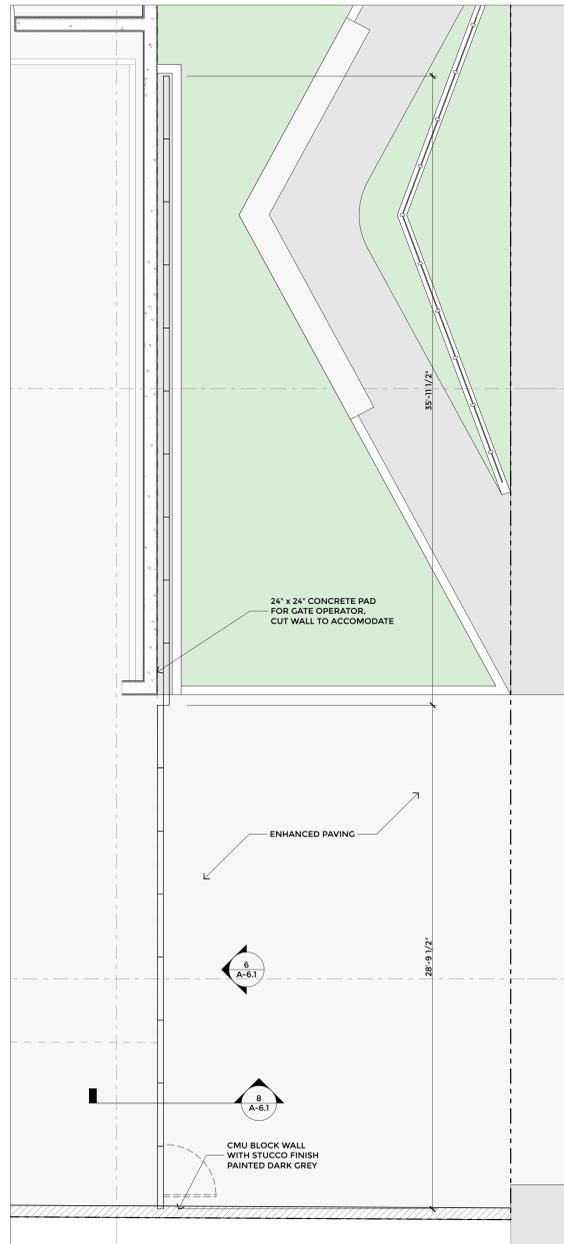
**A-6.1**



**SOUTH SLIDING GATE 7**



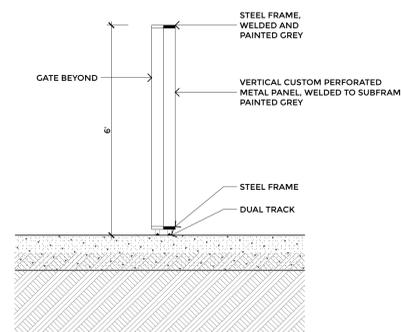
**SOUTH SLIDING GATE SECTION 8**  
SCALE: 1/2" = 1'-0"



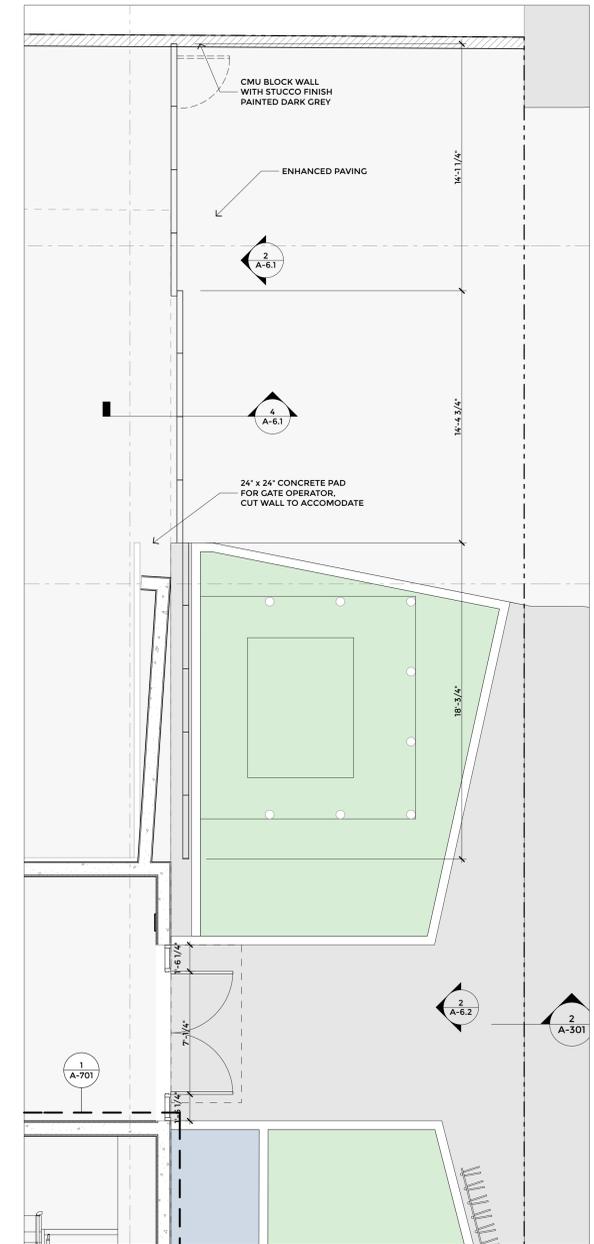
**SOUTH SLIDING GATE PLAN 5**  
SCALE: 1/4" = 1'-0"



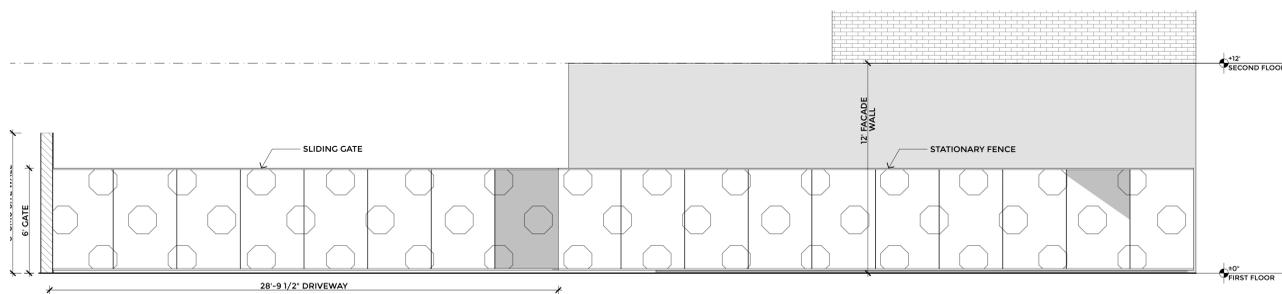
**NORTH SLIDING GATE 3**



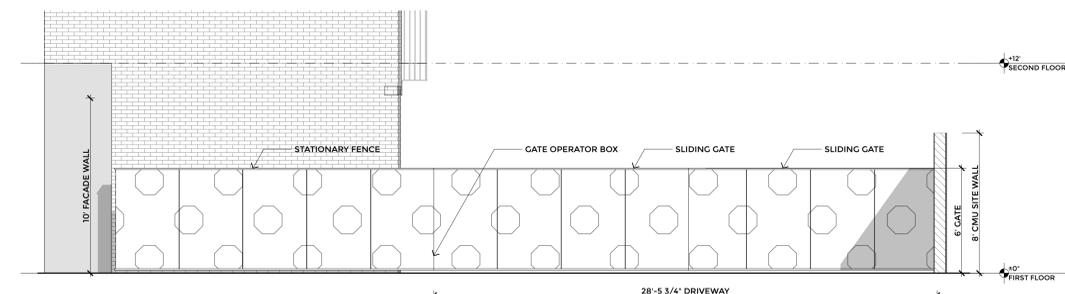
**NORTH SLIDING GATE SECTION 4**  
SCALE: 1/2" = 1'-0"



**NORTH SLIDING GATE PLAN 1**  
SCALE: 1/4" = 1'-0"



**SOUTH SLIDING GATE ELEVATION 6**  
SCALE: 1/4" = 1'-0"

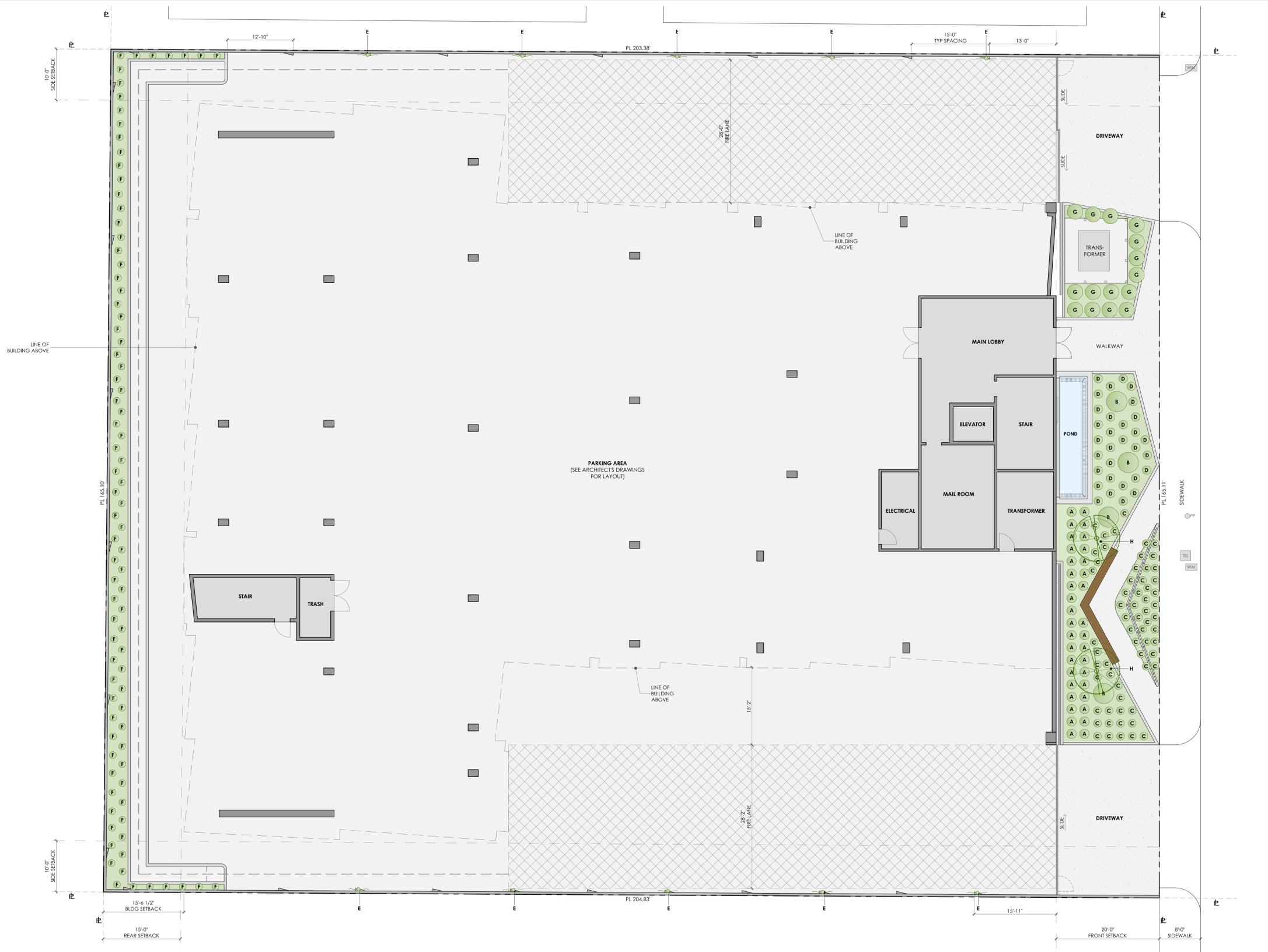


**NORTH SLIDING GATE ELEVATION 2**  
SCALE: 1/4" = 1'-0"









NOTE:  
ALL IDEAS, DESIGNS, ARRANGEMENTS,  
AND PLANS REPRESENTED BY THIS  
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WRITING FROM MIRIAM RAINVILLE

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REVISION	
09.26.2017	
11.02.2017	
11.20.2017	
11.21.2018	

DATE : 11.21.2018  
SCALE : AS SHOWN  
DRAWN BY : AQ

L-2  
PLANTING PLAN

**TREE PLANTING AND CARE INSTRUCTIONS**

- DRAINAGE**  
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 12" OF WATER. THE WATER SHALL DRAIN OVERNIGHT. IF IT DOESN'T, YOU HAVE A DRAINAGE PROBLEM WHICH NEED TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.
- PLANTING**  
THE HOLE SHALL BE 2" WIDER THAN THE BOX SIZE AND THE SAME DEPTH AS THE ROOT BALL. LEAVE THE BOTTOM FOR 48" BOX SIZES AND LARGER FOR STABILITY AND SAFETY. VERIFY THE TOP OF THE ROOT BALL IS EVEN OR SLIGHTLY HIGHER THAN THE SURROUNDING SOIL.
- SOIL PIPES**  
48" BOX AND LARGER TREES SHALL HAVE FOR 4" PERFORATED PVC PIPES INSTALLED ON ALL FOUR SIDES TO THE BOTTOM OF THE ROOT BALL. FILL 3 PIPES WITH GRAVEL FOR DEEP FEEDING AND WATERING. USE THE FOURTH PIPE FOR CHECKING THE CONDITION OF THE ROOT BALL (TOO MUCH WATER OR TOO DRY). CAP ALL PIPES APPROXIMATELY 4" ABOVE SOIL LEVEL.

- WATERING BERM OR BASIN**  
USE LEFT OVER SOIL MIX TO BUILD A SEVERAL-INCH-HIGH CIRCULAR WATERING BERM AROUND THE ROOT BALL. MAKE SURE THE BERM OR BASIN IS NO LARGER THAN THE ROOT BALL. OTHERWISE WATERING MAY WET THE SOIL AROUND THE TREE, BUT NOT THE ROOTBALL.
- WATERING**  
IT IS VERY IMPORTANT TO KEEP A NEWLY PLANTED TREE WATERED DURING THE FIRST 12 TO 18 MONTHS. WATER AS OFTEN AS NECESSARY TO KEEP THE ROOT BALL MOIST, BUT NOT SATURATED. THIS MAY MEAN WATERING EVERY 2 TO 3 DAYS AT FIRST, OR ONLY ONCE A WEEK. HOW YOUR WATER WILL DEPEND ON THE WEATHER, HOW HOT OR DRY YOUR AREA IS AND YOUR SOIL TYPE. BE ESPECIALLY CAREFUL TO KEEP THE TREES WATERED DURING SANTA ANA WINDS.
- FERTILIZING**  
THE TREE SHOULD BE FED IN MARCH, JUNE AND SEPTEMBER WITH A SLOW RELEASE 20-5-5 FERTILIZER MIXED HALF-AND-HALF WITH BLOODMEAL.

**STREET LEVEL: PLANT LEGEND**

LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
A	2	QT FLAT	PER PLAN	STIPA TENUISSIMA	MEXICAN FEATHERGRASS	1'-3"	1'-3"	LOW	
B	4	5 GAL	PER PLAN	AGAVE ATTENUATA	FOX TAIL AGAVE	3'-4"	4'-6"	LOW	
C	4	QT FLAT	PER PLAN	SENECIO SERPENS	BLUE CHALKSTICKS	3'-4"	4'-6"	LOW	
D	31	1 GAL	PER PLAN	EUPHORBIA MYRSINITES	MYRTLE SPURGE	1'	1'-2"	LOW	
E	10	1 GAL	PER PLAN	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	6'-8"	8'-10"	MED	
F	6	QT FLAT	PER PLAN	CAREX TUMULICOLOA	BERKELEY SEDGE	1'	1'-2"	LOW	
G	15	1 GAL	PER PLAN	MISCANTHUS SINENSIS 'MORNING LIGHT'	MAIDEN GRASS	3'-4"	3'-4"	MED	
H	2	24" BOX	PER PLAN	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDENHAIR TREE	35'-40"	15'-20"	MED	

**WUCOLS IV NOTE:**  
WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.

**PLANTING NOTES:**  
- SOIL TO BE SAMPLED BY WALLACE LABS (310.415.0114)  
- CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.  
- LEAF POST MULCH ON SURFACE OF ALL P.A.  
- DURA EDGE AT ALL P.A. EDGES WWW.DURASSELCO.COM (800.888.7425)  
- WEATHER BASED AUTOMATED IRRIGATION SHALL BE PROVIDED FOR ALL THE LANDSCAPED AREAS  
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND-COVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.







**VIEW FROM STREET**



**VIEW FROM ABOVE**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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BIRCH

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**SHEET TITLE**  
**PERSPECTIVES**