



OWNER  
J.J.ER, LLC

1700 S. Wilmington Ave., Compton,  
CA 90220

CALIFORNIA PAK

17706 S. MAIN ST., CARSON, CA

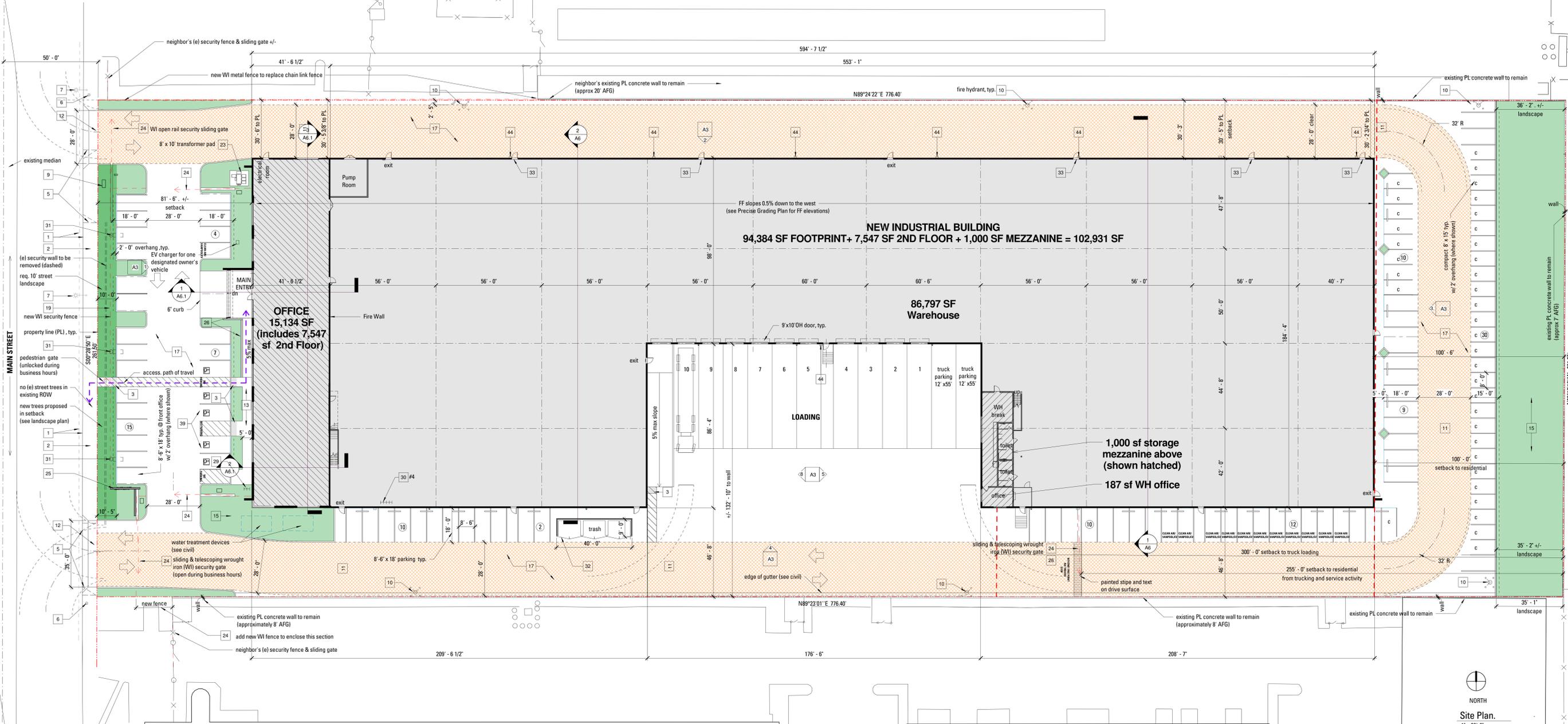
Site Plan

CURRENT SHEET  
ISSUE DATE: 06/05/2017

Clouded Revisions		
Number	Date	Description

PREPARED BY: GLENN BUTLER  
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A1



**SITE PLAN LEGEND**

- 1 EXISTING (E) CURB & GUTTER (SEE CIVIL)
- 2 EXISTING CONC. SIDEWALK (SEE CIVIL)
- 3 DETECTABLE WARNING INSET PAVERS (SHOWN SHADED)
- 4 EXISTING PUBLIC FIRE HYDRANT
- 5 EXISTING DRIVEWAY TO BE REMOVED (SEE CIVIL)
- 6 EXISTING POWER POLES (SEE UTILITY PLANS)
- 7 EXISTING STREET LIGHTS
- 8
- 9 PROPOSED FIRE DCCA ABOVE GRADE (SEE CIVIL)
- 10 NEW PUBLIC OR ON-SITE FIRE HYDRANT (PER CITY STANDARDS-SEE CIVIL)
- 11 NEW 28" WIDE FIRE LANE & TURN-AROUND
- 12 NEW CONCRETE DRIVE APPROACH (PER CITY STANDARDS) - PUBLIC WORKS APPROVAL & PERMIT REQ.
- 13 CONCRETE WALK - SEE LANDSCAPE
- 14
- 15 NEW LANDSCAPE AREA
- 16
- 17 NEW CONCRETE SITE PAVING, SEE CIVIL & LANDSCAPE PLANS, (FOR CONCRETE THICKNESS-SEE CIVIL & SOILS REPORT-MIN 6" PCC UNDER TRUCK AND FIRE ACCESS DRIVES)
- 18 IRRIGATION BACK FLOW PREVENTER, (SEE LANDSCAPE PLANS-SHEET PA-1)
- 19 NEW 8" HIGH METAL FENCE, PAINTED BLACK W/VERTICAL METAL PICKETS 4" O.C.
- 20
- 21
- 22 (E) FENCE ON CMU BASE W/ CHAIN-LINK (ON NEIGHBOR'S LOT)
- 23 PROPOSED ELECTRICAL TRANSFORMER LOCATION

**Fire Access Road**  
Fire Access road; min 28' feet wide, all-weather, & open to the sky.  
Built per County of LA Fire Dept. standards.  
All turns with a min 19' inside radius, 45' min outside radius, & 32' min centerline radius.

- 24 NEW 8" HIGH TELESCOPING W.I. GATE, SEE DETAIL xx. (PROVIDE FOR FUTURE MOTOR OPERATION: PROVIDE SLAB FOR MOTOR & CONDUIT IN-PLACE. A KNOX BOX SHALL BE PROVIDED AND MAINTAINED AT GATED ENTRANCES, IN ACCORDANCE WITH FIRE CODE 506, AND AS SET FORTH IN THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 5.
- 25 NEW 10' CONCRETE SCREEN WALL & MONUMENT SIGN, BOARD FORMED CONC
- 26 "TRUCK FREE ZONE" SIGNAGE
- 27 TRANSPORTATION INFORMATION BULLETIN BOARD PER SECTION M.C.13.29.060 (B)
- 28
- 29 BICYCLE RACK CAPABLE OF HOLDING (2) BICYCLES, PERMANENTLY - SHORT TERM/VISITOR SERVING
- 30 BICYCLE RACK CAPABLE OF HOLDING (4) BICYCLES, PERMANENTLY ANCHORED TO CONCRETE - LONG TERM/EMPLOYEE SERVING
- 31 PARKING LOT LIGHT POLE, SEE DETAIL 1/02 & ELECTRICAL PLANS - POLE UNDER 30" HIGH (SEE ELECTRICAL DETAILS)
- 32 NEW 6" HIGH PAINTED CONCRETE TRASH ENCLOSURE W/ METAL GATES, BOTH PAINTED TO MATCH BUILDING "DARK ACCENT COLOR". PROVIDE FOR WASTE & RECYCLE OF NON-HAZARDOUS MATERIAL.
- 33 FIRE ACCESS DOOR, NOT A EXIT DOOR
- 34 PRECAST CONC WHEEL STOP
- 35 DOWN SPOUT - NOT YET LOCATED
- 36 ROOF DRAIN OUTLET LOCATIONS - NOT YET LOCATED
- 37 HANDICAPPED SIGN (NOT IN PATH OF TRAVEL)
- 38
- 39 ACCESSIBLE PARKING SEE 1/D-HC
- 40 RED PAINTED STRIPE ADJACENT TO BUILDING WITH WHITE LETTERING STATED "FIRE LANE - NO PARKING" PER FIRE DEPT STANDARDS
- 41 INGROUND UPLIGHT FOR FLAG - IN CONCRETE PAVING
- 42 CURB & GUTTER (SEE CIVIL)
- 43
- 44 WALL PACK LIGHT LOCATIONS ALONG WALL - BOT OF FIXTURE 27 AFF
- 45 CONCRETE ENTRY PEDESTRIAN PAVING (FLUSH WITH PARKING LOT) MATCH FINISH & SCORING OF ADJACENT SIDEWALK
- 46 ADA ENTRY SIGN (PER 11/0C "ADDITIONAL SIGN" INFO)

**ZONING REQUIREMENTS & PROJECT INFO**

ZONING:	MANUF. LIGHT, WITH A "D" OVERLAY
A.P. #s	= 203,023 SF +/- (4.7 ACRES)
LOT AREA	= 94,384 SF +/-
FOOTPRINT AREA	= 102,931 SF +/-
GROUND LEVEL	= 7,587 OFFICE + 86,797 WAREHOUSE + 94,384 SF +/-
MEZZANINE AREA	= 1,000 SF +/- WAREHOUSE
2ND FLOOR AREA	= 7,547 SF +/- OFFICE
GROSS BUILDING AREA*	= 101,511 SF +/-
LOT COVERAGE	= 0.47
FAR	= 0.50

\* ADJUSTED GROSS AREA, DOES NOT INCLUDE AREAS OFF LIMITS FOR OCCUPATION

**PARKING TABULATION**

OFFICE PARKING	1/200 FOR 15,134 sf = 50.7	= 51 STALLS
WAREHOUSE PARKING	1/1000 FOR 86,797 sf = 86.8	= 86 STALLS
TOTAL PARKING REQUIRED		= 109 STALLS
TOTAL PARKING PROVIDED		= 109 STALLS
TRUCK PARKING (2 REQUIRED @ 12' X 55' MIN)		= PROVIDED 2

**PARKING BREAKDOWN**

ADA SPACES:	5 SPACES - MEETS CODE (for 100 stalls required)
COMPACT:	7 parking stalls required to be "prepared for future"
EV CHARGING STATIONS: (Per Cal Green)	11 stalls (Per Table 5.106.3.2) = 11 provided
CLEAN AIR/VAPORPOOLVEY (Per Cal Green)	racks for 2 bikes required = 2 provided at ent. near entry
BIKES (long term per Cal Green 5.106.4.2)	racks for 4 bikes required = 4 provided at int. near employee entry
STALL SIZES:	REGULAR = 8' 6" X 18' MIN COMPACT = 8' X 15' MIN

**LANDSCAPE TABULATION**

FRONT PARKING AREA	= 13,810 SF +/-
LANDSCAPE AREAS AT FRONT PARKING	= 3,548* SF +/-
MIN LANDSCAPE = 5% OF PARKING	= 690 sf min = 3,548 SF PROVIDED
** 10' landscaped required at front PL	not included in the required landscape area calc
TOTAL SITE LANDSCAPE	= 15,268 SF +/- = 7.5 % OF SITE AREA
TOTAL SITE PAVING	= 93,263 SF +/- = 46% OF SITE AREA (inc. sidewalk & curbs)

**BUILDING CODE**

CODE EDITION	2016 CBC
TYPE OF CONST:	II-B WITH / SPRINKLERS (PER CBC SECTION 903.3.1.1)
EXT. BEARING WALLS	2-HR BASED ON TYPE OF CONST (PER CBC TABLE 601)
NONCOMBUSTIBLE	PER CBC 602.3 TYPE 3 CONST & TABLE 601
INT. BEARING WALLS	0-HR BASED ON TYPE OF CONST (PER CBC TABLE 601)
FLOOR CONSTRUCTION	0-HR BASED ON TYPE OF CONST (PER CBC TABLE 601)
FIRE WALL	3-HR PER CBC TABLE 706.4
NUMBER OF STORES	BUILDING A: 2 STORY BUILDING B: 1 STORY W/ OPEN MEZZANINE S-1
OCCUPANCY	BUILDING A: 504.3 BUILDING B: S-1
ALLOWABLE HEIGHT IN STORIES	4 STORIES (PER CBC TABLE 504.3)
ALLOWABLE BUILDING HEIGHT	75'-0" > 57' +/- THEREFORE OK (PER CBC TABLE 504.4)
ALLOWABLE BUILDING AREA	(MEZZANINE AREAS NOT INC. PER CBC 505.2) TABLES WILL BE PROVIDED AT BUILDING DEPT. SUBMITTAL

**ZONING CONFORMANCE MATRIX**

PER CARSON MUNICIPAL CODE (CMC) 9145.1-9146.9

Feature	Required per CMC	Proposed	Conforms
LOT AREA (CMC 9145.2)	20,000 SF MIN.	203,023 SF +/- (4.7 ACRES)	YES
STREET FRONTAGE (CMC 9145.3)	100' MIN.	281.5'	YES
VEHICULAR ACCESS (CMC 9145.3)	20' MIN.	39/28'	YES
LOT WIDTH (CMC 9145.4)	100' MIN.	281.5'	YES

**DIVISION 5. SITE REQUIREMENTS**

Feature	Required per CMC	Proposed	Conforms
BUILDING HEIGHT (CMC 9146.11)	NO LIMIT W/ YARDS PER CMC	57'	YES
FUTURE RIGHTS-OF-WAY (CMC 9146.22)	N/A	N/A	YES
FRONT YARD (CMC 9146.23)	25' + 157'-50 1/2" = 28.5'	+/- 81'-6"	YES
REAR YARD (CMC 9146.24)	3' + 157'-50 1/2" = 6.5'	46'-8 3/4" = 6.5'	YES
REAR YARD (CMC 9146.25)	10' + 157'-30 1/2" = 37'	+/- 100'-6" AVG	YES
ENCROACHMENTS (CMC 9146.28)	N/A	NONE	YES
A. BUILDING PROJECTIONS	N/A	NONE	YES
B. FREE STANDING MED. ED.	N/A	NONE	YES
C. UTILITY-OWNED FACILITIES	N/A	NONE	YES
D. SIGNS	N/A	MONUMENT IN FRONT YARD	YES
E. SWIMMING POOLS	N/A	NONE	YES
F. FENCES, WALLS, & HEDGES	N/A	NONE	YES
G. LANDSCAPING	OTHER THAN HEDGES ALLOWED	SEE LANDSCAPE PLAN	YES
H. OUTDOOR DISPLAY OF GOODS	N/A	NONE	YES
I. OUTDOOR STORAGE	N/A	NONE	YES
J. EMPLOYEE RECREATION	N/A	NONE	YES
K. PARKING	N/A	10' FROM RIGHT-OF-WAY	YES
L. BALUNDAIS	N/A	10' FROM RIGHT-OF-WAY	YES
FENCES, WALLS & HEDGES (CMC 9146.3)	6'-8" AT LOT LINES. 3.5' H W/ OPEN FENCE ABOVE IN REQUIRED FRONT YARD. 6'H, 4.5' X 6' MIN. SEE PARKING TABULATION	EXISTING WALLS TO REMAIN @ SIDE & REAR YARDS. OPEN FENCE @ FRONT YARD 6'H, 9' X 40'	YES
TRASH AREAS (CMC 9146.4)	PARKING, LOADING, TRUCK MANEUVERING	SEE PARKING TABULATION	YES
A. ADVERTISING SIGNS	N/A	NONE	YES
B. BUSINESS SIGNS	NOT TO EXCEED TOTAL SIGN AREA (2x1000 + 450.6 - 100)/2 = 375.3 SF	284 SF	YES
- TOTAL SIGN AREA	30 FT OF 200,202SF = 450.6 = 261.5		
- FRONTAGE FOR SIGN AREA	MAX. HT. = 50' MAX. HT. = 10'	NONE	YES
- POLE SIGN	MAX. HT. = 10'	NONE	YES
- GROUND SIGN	MAX. HGM GROUND = 11' LIMIT 1 PER LOT	10'H MONUMENT SIGN	YES
C. STREAMERS, BANNERS, PENNANTS	N/A	NONE	YES
D. REAL ESTATE ADVERTISING	N/A	NONE	YES
UTILITIES (CMC 9146.6)	N/A	NONE	YES
NEW UTILITIES SHALL BE UNDERGROUND. ABOVE GROUND EQUIPMENT ENCLOSED OR SCREENED.			
ROOF MTD STRUCTURES & EQUIP. 10' MAX ABOVE ROOF		SCREENED BY PARAPET	YES
MECH. EQ. SCREENED FROM VIEW OF PUBLIC STREET			YES
NO OPENINGS IN WALLS FACING RESIDENTIAL ZONE WITHIN 100' OF RESIDENTIAL ZONE		BLDG SET BACK +/- 100'-0" FROM RESIDENTIAL ZONE	YES