

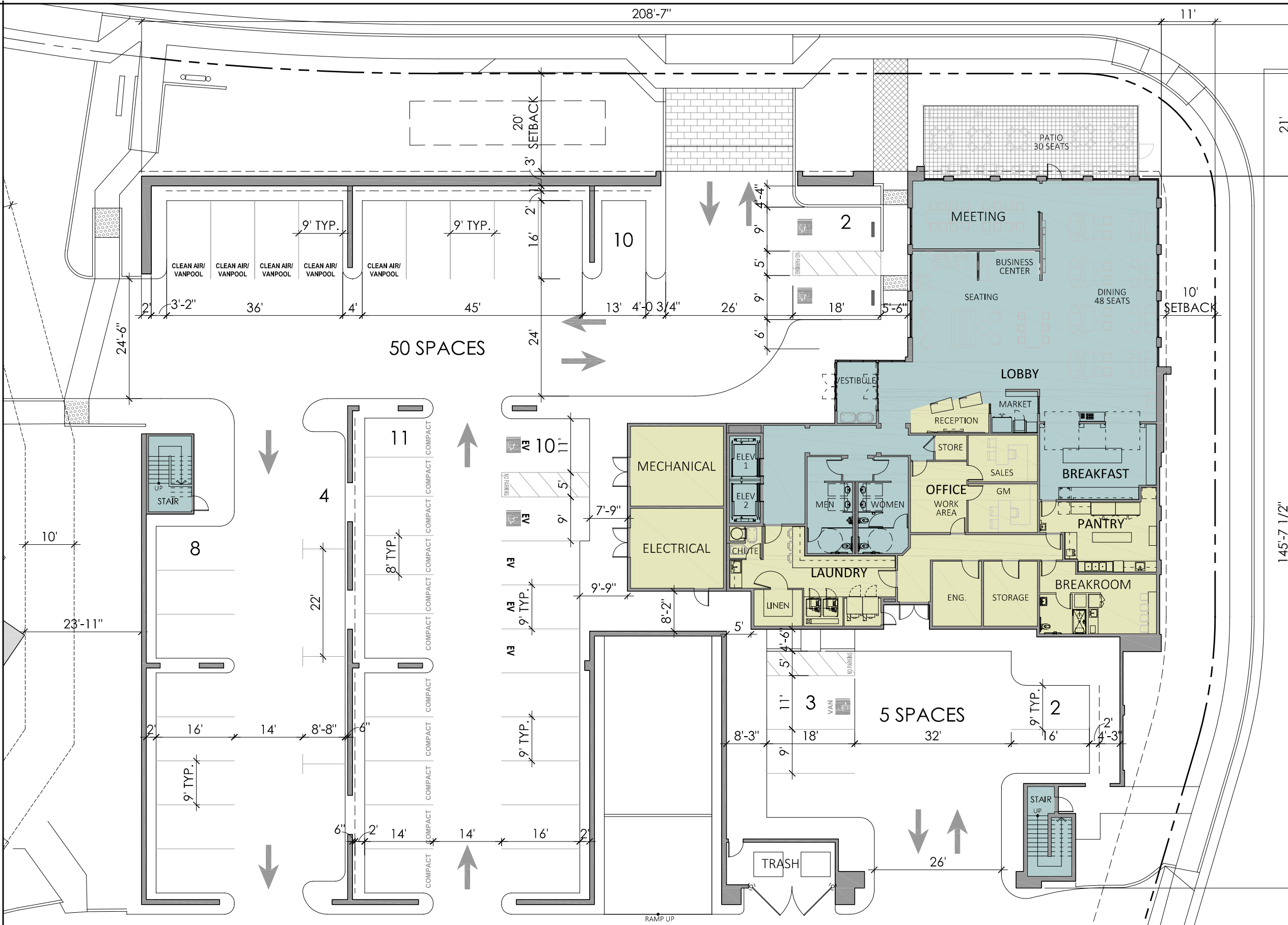
HOME2 BY HILTON

PROPOSED ELEVATIONS & PLANS



PROPOSED HOTEL
HOME2 SUITES
888 E. DOMINGUEZ STREET
CARSON, CA

Date: OCTOBER 6, 2020
Scale:
Sheet:
A0.0



SETBACK CALCULATIONS

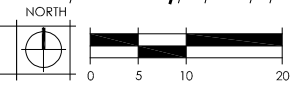
DOMINGUEZ STREET: FRONT YARD
PER CITY OF CARSON MUNICIPAL CODE SECTION 9136.23 FRONT YARD: EACH LOT SHALL HAVE A FRONT YARD WITH A REQUIRED DEPTH OF TWENTY (20) FEET OR TWENTY (20) PERCENT OF THE LOT DEPTH, WHICHEVER IS LESS. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR ZONE, THE REQUIRED FRONT YARD SETBACK SHALL BE INCREASED BY ONE (1) FOOT FOR EACH TWO (2) FEET OF HEIGHT ABOVE THIRTY (30) FEET.
BUILDING HEIGHT AT GROUND FLOOR 15'-2" < 30'-0"
REQ'D FRONT SETBACK: = 20'-0"
PROVIDED FRONT SETBACK: = 20'-0"

BONITA STREET: STREET SIDE YARD
WHERE THE SIDE OF A LOT ABUTS A STREET, THERE SHALL BE A SIDE YARD WITH A WIDTH OF AT LEAST TEN (10) FEET. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR ZONE, THE REQUIRED SIDE YARD SETBACK SHALL BE INCREASED BY ONE (1) FOOT FOR EACH FOOT OF HEIGHT ABOVE THIRTY (30) FEET.
BUILDING HEIGHT AT GROUND FLOOR 15'-2" < 30'-0"
REQ'D STREET SIDE SETBACK: = 10'-0"
PROVIDED STREET SIDE SETBACK: = 10'-0"

INTERNAL SIDE YARD
PROJECT SHARES THE PROPERTY WITH THE EXISTING MOTEL 6. THEREFORE NO SETBACK IS REQUIRED TO COMPLY WITH ZONING.
PER BUILDING CODE, PROPOSED PROJECT WILL NEED TO PROVIDE 20'-0" BUILDING SEPARATION FROM EXISTING MOTEL 6. AS DESIGNED, PROJECT WILL HAVE A MINIMUM SEPARATION OF 23'-11" FROM EXISTING MOTEL 6

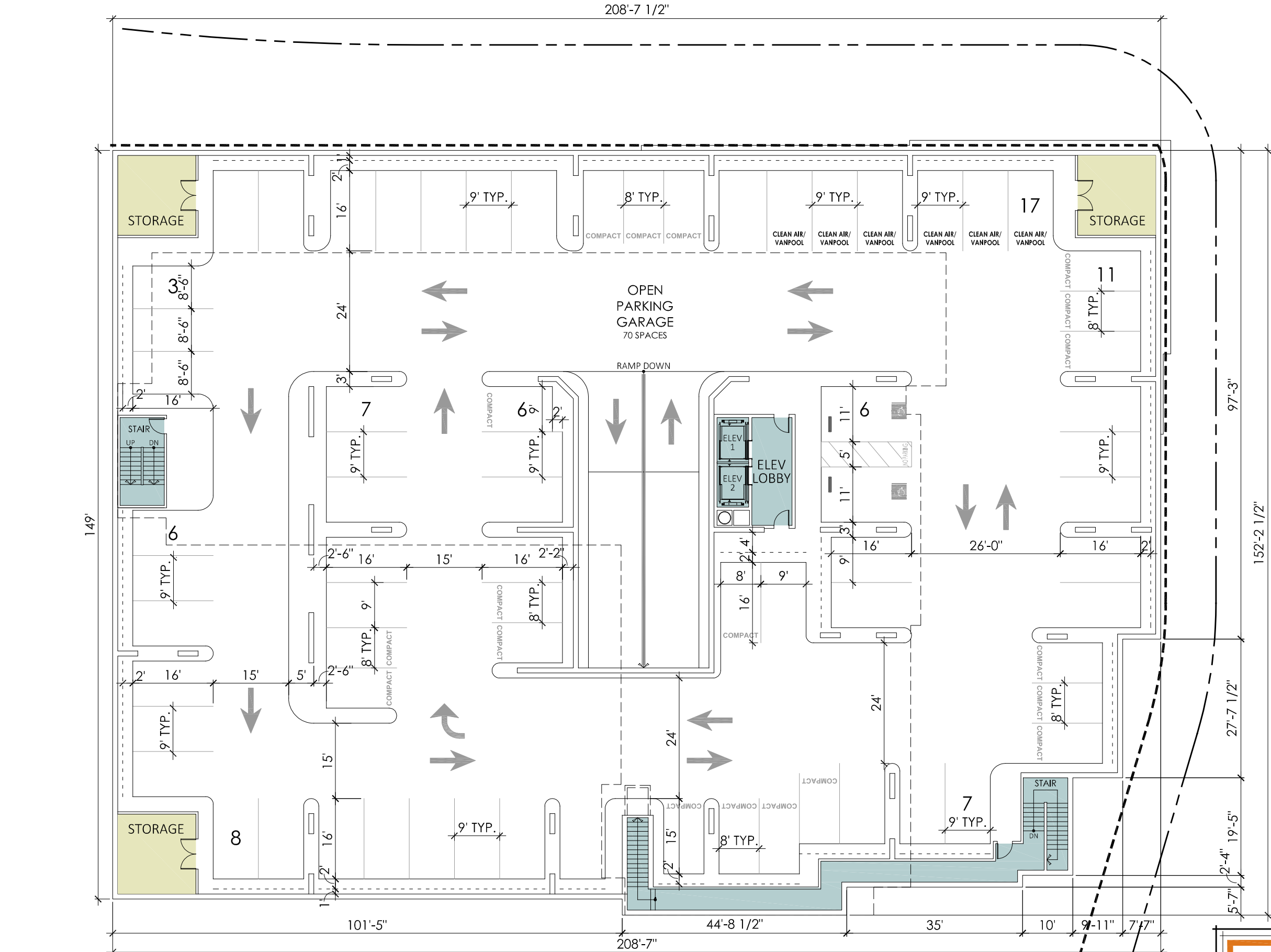
REAR YARD
WHERE THE REAR OF A LOT ABUTS A LOT IN OTHER THAN A RESIDENTIAL ZONE AND THE HEIGHT OF THE BUILDING OR STRUCTURE IS NOT OVER THIRTY (30) FEET, NO REAR YARD IS REQUIRED. IF ANY REAR YARD GREATER THAN APPROXIMATELY ONE (1) INCH IS REQUIRED OR PROVIDED, IT SHALL BE AT LEAST THREE (3) FEET. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR AND CA ZONES, THE REQUIRED REAR YARD SHALL BE THREE (3) FEET PLUS ONE (1) FOOT FOR EACH TWO (2) FEET OF HEIGHT ABOVE THIRTY (30) FEET.
BUILDING HEIGHT AT GROUND FLOOR 15'-2" < 30'-0"
REQ'D REAR SETBACK: = 0'-0"
PROVIDED REAR SETBACK: = 30'-0"

PROPOSED GROUND FLOOR PLAN



PROPOSED HOTEL
HOME2 SUITES
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CARSON, CA

Date: JUNE 29, 2020
Scale: 1" = 20' @ 11x17
1" = 10' @ 24x36
Sheet: **A2.0**



PROPOSED SECOND FLOOR PLAN

SETBACK CALCULATIONS

DOMINGUEZ STREET: FRONT YARD

PER CITY OF CARSON MUNICIPAL CODE SECTION 9136.23 FRONT YARD: EACH LOT SHALL HAVE A FRONT YARD WITH A REQUIRED DEPTH OF TWENTY (20) FEET OR TWENTY (20) PERCENT OF THE LOT DEPTH, WHICHEVER IS LESS. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR ZONE THE REQUIRED FRONT YARD SETBACK SHALL BE INCREASED BY ONE (1) FOOT FOR EACH TWO (2) FEET OF HEIGHT ABOVE THIRTY (30) FEET.

BUILDING HEIGHT AT SECOND FLOOR $25'-2" < 30'-0"$
REQ'D FRONT SETBACK: $= 20'-0"$
PROVIDED FRONT SETBACK: $= 20'-0"$

BONITA STREET: STREET SIDE YARD

WHERE THE SIDE OF A LOT ABUTS A STREET, THERE SHALL BE A SIDE YARD WITH A WIDTH OF AT LEAST TEN (10) FEET. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR ZONE, THE REQUIRED SIDE YARD SETBACK SHALL BE INCREASED BY ONE (1) FOOT FOR EACH FOOT OF HEIGHT ABOVE THIRTY (30) FEET.

BUILDING HEIGHT AT SECOND FLOOR $25'-2" < 30'-0"$
REQ'D STREET SIDE SETBACK: $= 10'-0"$
PROVIDED STREET SIDE SETBACK: $= 10'-0"$

INTERNAL SIDE YARD

PROJECT SHARES THE PROPERTY WITH THE EXISTING MOTEL 6, THEREFORE NO SETBACK IS REQUIRED TO COMPLY WITH ZONING.

PER BUILDING CODE, PROPOSED PROJECT WILL NEED TO PROVIDE 20'-0" BUILDING SEPARATION FROM EXISTING MOTEL 6. AS DESIGNED, PROJECT WILL HAVE A MINIMUM SEPARATION OF 23'-11" FROM EXISTING MOTEL 6

REAR YARD

WHERE THE REAR OF A LOT ABUTS A LOT IN OTHER THAN A RESIDENTIAL ZONE AND THE HEIGHT OF THE BUILDING OR STRUCTURE IS NOT OVER THIRTY (30) FEET, NO REAR YARD IS REQUIRED. IF ANY REAR YARD GREATER THAN APPROXIMATELY ONE (1) INCH IS REQUIRED OR PROVIDED, IT SHALL BE AT LEAST THREE (3) FEET. FOR ANY BUILDING OR STRUCTURE OVER THIRTY (30) FEET IN HEIGHT IN THE CR AND CA ZONES, THE REQUIRED REAR YARD SHALL BE THREE (3) FEET PLUS ONE (1) FOOT FOR EACH TWO (2) FEET OF HEIGHT ABOVE THIRTY (30) FEET.

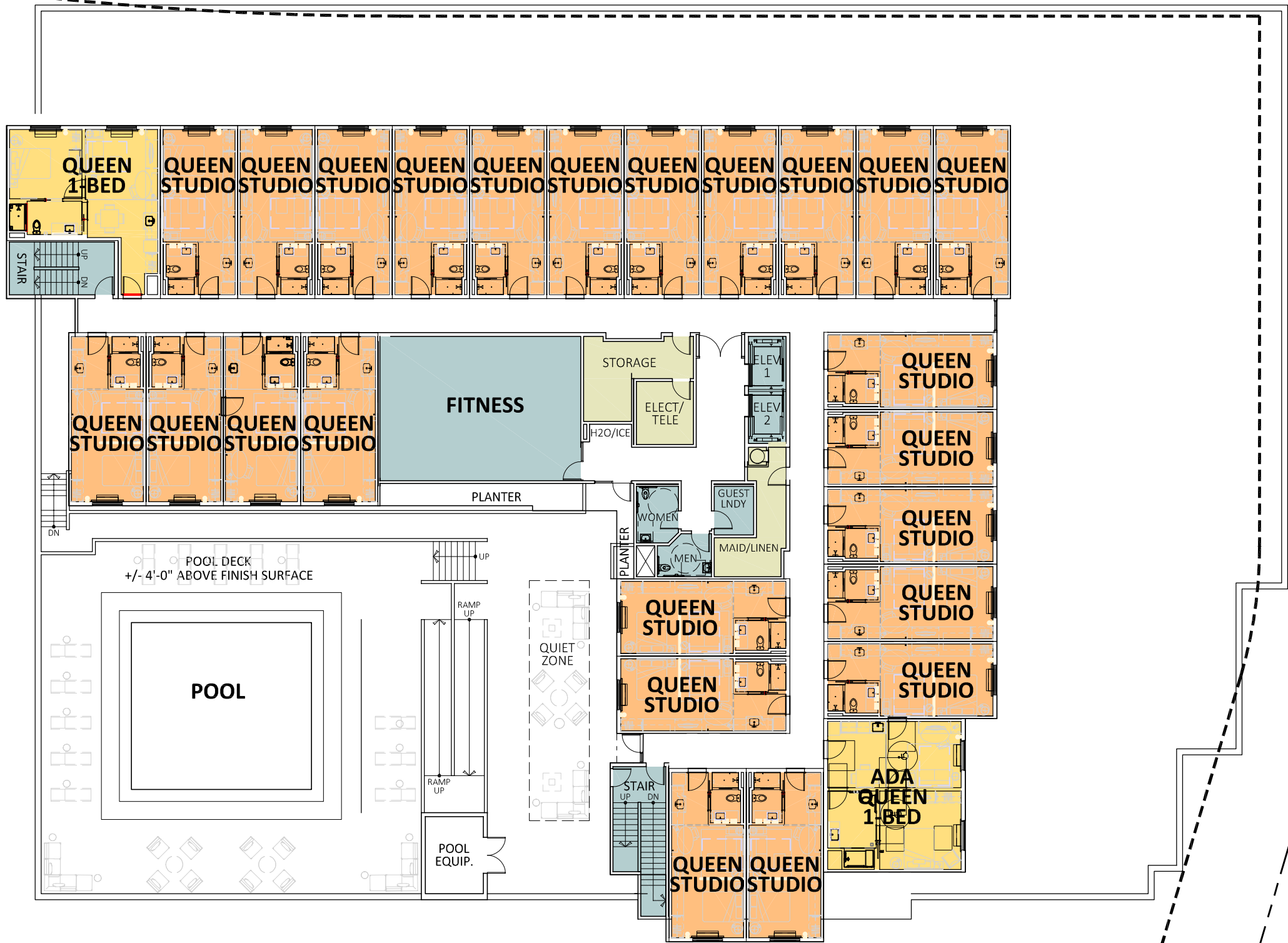
BUILDING HEIGHT AT SECOND FLOOR $25'-2" < 30'-0"$
REQ'D REAR SETBACK: $= 0'-0"$
PROVIDED REAR SETBACK: $= 30'-0"$



PROPOSED HOTEL
HOME2 SUITES
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CARSON, CA

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Sheet: **A2.1**

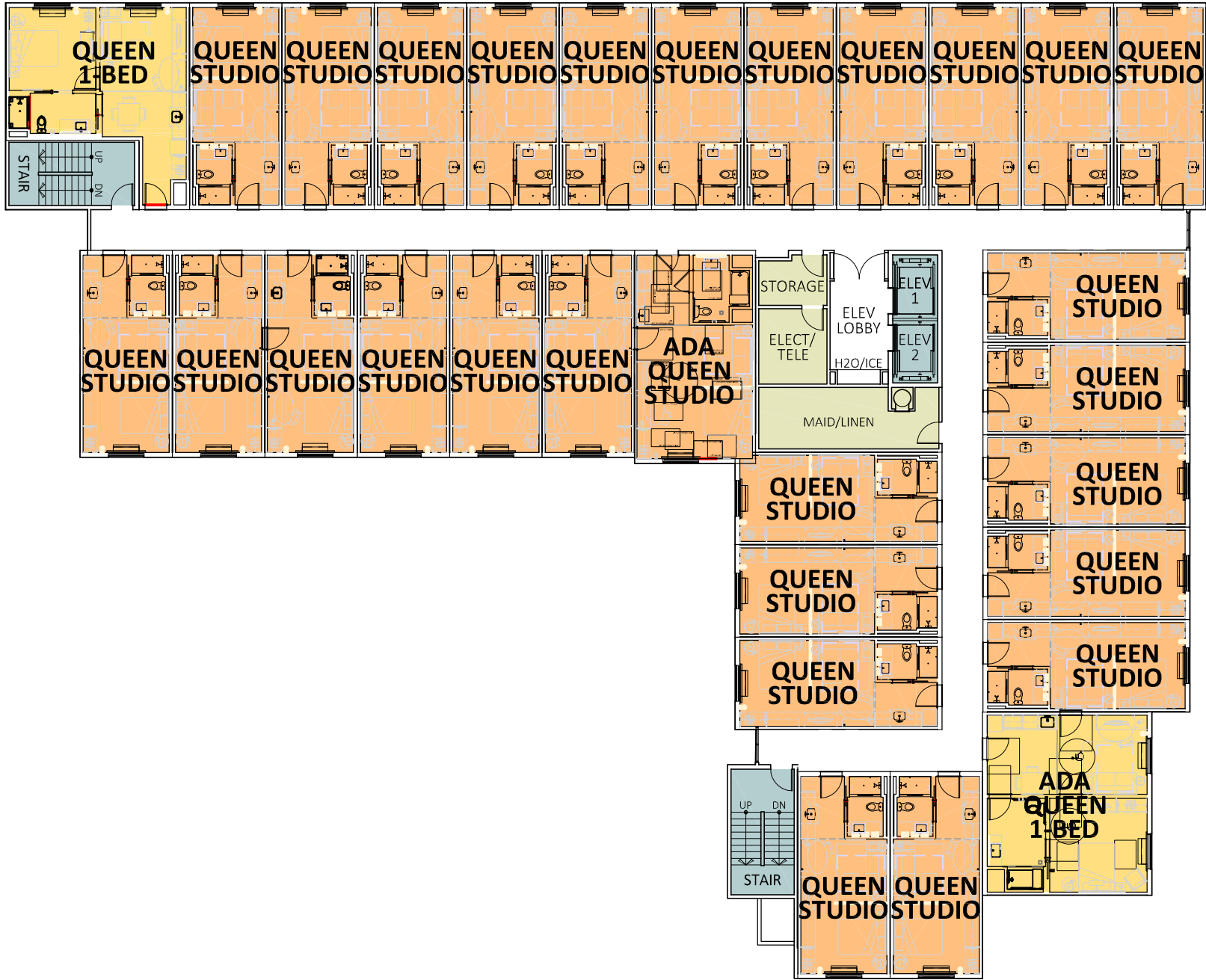
GUEST ROOM DATA			
FLOOR	QUEEN STUDIO	QUEEN 1-BED	TOTAL
THIRD	24 ROOMS	2 ROOMS	26 ROOMS
FOURTH	28 ROOMS	2 ROOMS	31 ROOMS
FIFTH	28 ROOMS	2 ROOMS	31 ROOMS
SIXTH	28 ROOMS	1 ROOM	30 ROOMS
TOTALS	108 ROOMS (94%)	7 ROOMS (6%)	115 ROOMS



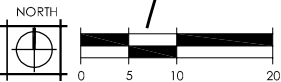
PROPOSED THIRD FLOOR PLAN

	PROPOSED HOTEL HOME2 SUITES 888 E. DOMINGUEZ STREET CARSON, CA	Date: JUNE 29, 2020
		Scale: 1" = 20' @ 11x17 1" = 10' @ 24x36
		Sheet
		A2.2

GUEST ROOM DATA			
FLOOR	QUEEN STUDIO	QUEEN 1-BED	TOTAL
THIRD	24 ROOMS	2 ROOMS	26 ROOMS
FOURTH	28 ROOMS	2 ROOMS	31 ROOMS
FIFTH	28 ROOMS	2 ROOMS	31 ROOMS
SIXTH	28 ROOMS	1 ROOM	30 ROOMS
TOTALS	108 ROOMS (94%)	7 ROOMS (6%)	115 ROOMS



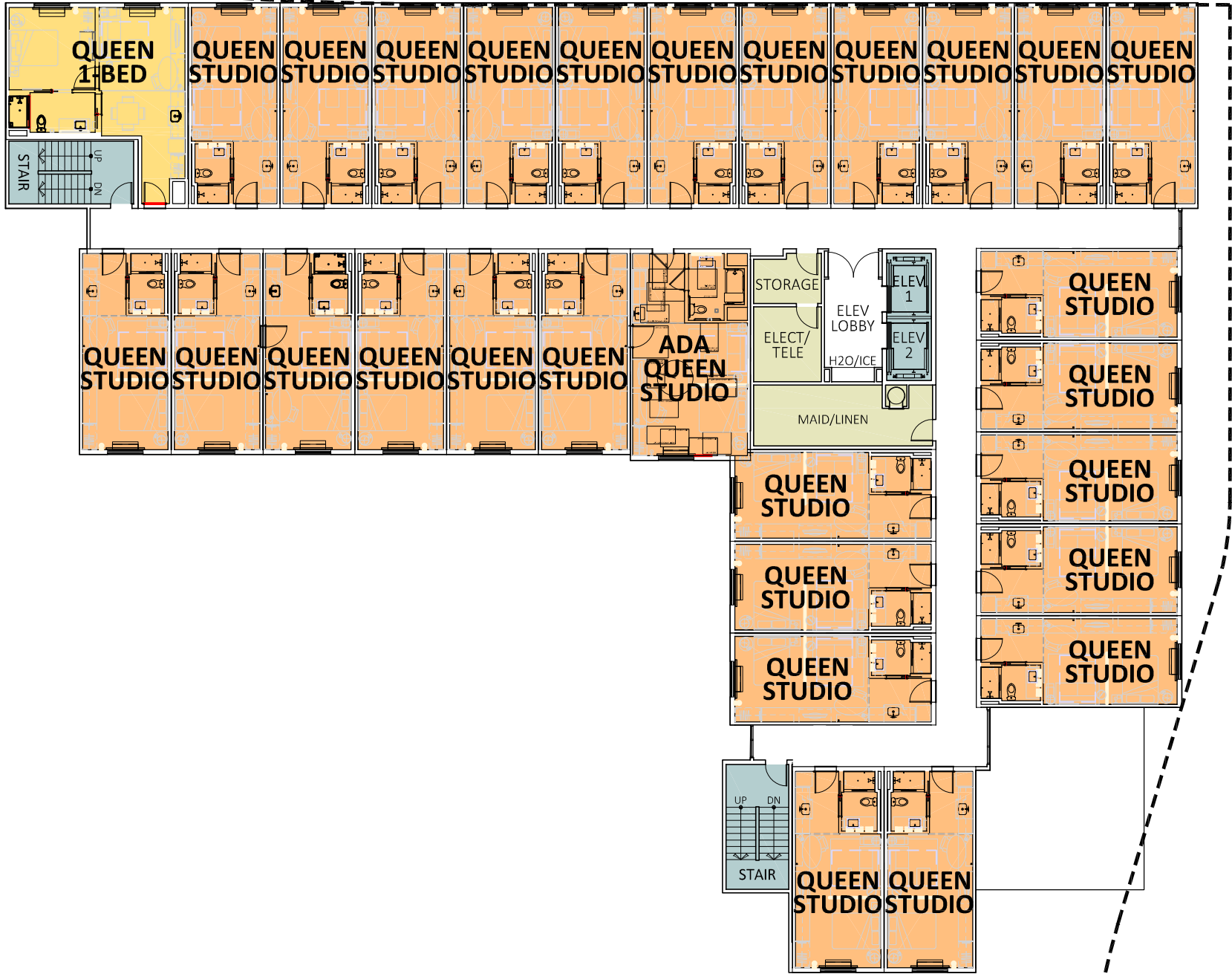
PROPOSED FOURTH & FIFTH FLOOR PLAN



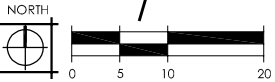
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1" = 10' @ 24x36
Sheet
A2.3

GUEST ROOM DATA			
FLOOR	QUEEN STUDIO	QUEEN 1-BED	TOTAL
THIRD	24 ROOMS	2 ROOMS	26 ROOMS
FOURTH	28 ROOMS	2 ROOMS	31 ROOMS
FIFTH	28 ROOMS	2 ROOMS	31 ROOMS
SIXTH	28 ROOMS	1 ROOM	30 ROOMS
TOTALS	108 ROOMS (94%)	7 ROOMS (6%)	115 ROOMS



PROPOSED SIXTH FLOOR PLAN



PROPOSED HOTEL
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Sheet: **A2.5**



PROPOSED HOTEL PERSECTIVE: VIEW ALONG E. DOMINGUEZ STREET



PROPOSED HOTEL
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Scale:
Sheet:
A4.0



PROPOSED HOTEL PERSECTIVE: REAR ACCESS VIEW

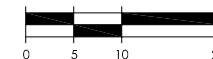


PROPOSED HOTEL
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Date: OCTOBER 6, 2020
 Scale:
 Sheet:
A4.1



NORTH ELEVATION (EAST DOMINGUEZ STREET)

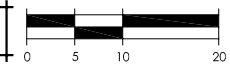


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A5.0



EAST ELEVATION (BONITA STREET)



	PROPOSED HOTEL HOME2 SUITES 888 E. DOMINGUEZ STREET CARSON, CA		Date: OCTOBER 6, 2020 Scale: 1" = 20' @ 11x17 1" = 10' @ 24x36 Sheet:
			A5.1