

PERRY STREET STORAGE

21611 PERRY STREET, CARSON, CA 90745



PROJECT DATA		SHEET INDEX	VICINITY MAP
<p>SITE DATA:</p> <p>SITE ADDRESS: 21611 PERRY STREET CARSON, CA 90745</p> <p>APN: 7327-010-014 & 015</p> <p>ZONING: MANUFACTURING, LIGHT (ML)</p> <p>PROPOSED USE: SELF STORAGE</p> <p>BUILDING DATA:</p> <p>OCCUPANCY TYPE: S-1</p> <p>CONSTRUCTION TYPE: IIB</p> <p>AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13</p>	<p>OWNER / APPLICANT: 21611 Perry Street LLC</p> <p>ADDRESS: 4132 KATELLA AVENUE, #205B LOS ALAMITOS, CA 90720</p> <p>CONTACT: DYLAN WESTHOFF TELEPHONE: 424-332-1111 EMAIL: dylan@faring.com</p> <p>ARCHITECT: JORDAN ARCHITECTS, INC.</p> <p>ADDRESS: 131 CALLE IGLESIA, SUITE 100 SAN CLEMENTE, CA 92673</p> <p>CONTACT: BRUCE JORDAN TELEPHONE: 949-388-8090 EMAIL: bjordan@jordanarchitects.com</p> <p>SCOPE OF WORK:</p> <p>THE PROPOSED PROJECT IS A STATE-OF-THE-ART SELF STORAGE FACILITY COMPRISED OF APPROXIMATELY 121,775 SQUARE FEET OF SELF STORAGE WITH RETAIL.</p>	<p>ARCHITECTURAL</p> <p>A0 COVER SHEET</p> <p>A1 SITE PLAN</p> <p>A2 FIRST FLOOR PLAN</p> <p>A3 SECOND FLOOR PLAN</p> <p>A4 THIRD FLOOR PLAN</p> <p>A5 ROOF PLAN</p> <p>A6 LANDSCAPE PLAN</p> <p>A7 ELEVATIONS</p> <p>A8 ELEVATIONS</p> <p>A9 SITE SECTION</p> <p>A10 LINE OF SITE SECTION</p> <p>A11 DETAILS</p> <p>A12 UNIT MIX TABULATION</p> <p>A13 SHADOW STUDY</p> <p>A14 SIGNAGE</p> <p>A15 SIGNAGE</p> <p>LIGHTING</p> <p>LDE-1 SITE LIGHTING & PHOTOMETRIC PLAN</p> <p>CIVIL</p> <p>C1 CONSTRAINTS</p> <p>C2 CGP</p> <p>C3 DMA</p>	

PERRY STREET STORAGE
CARSON, CA

COVER PAGE

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022



SHEET A0



ZIMMERMAN VISUAL





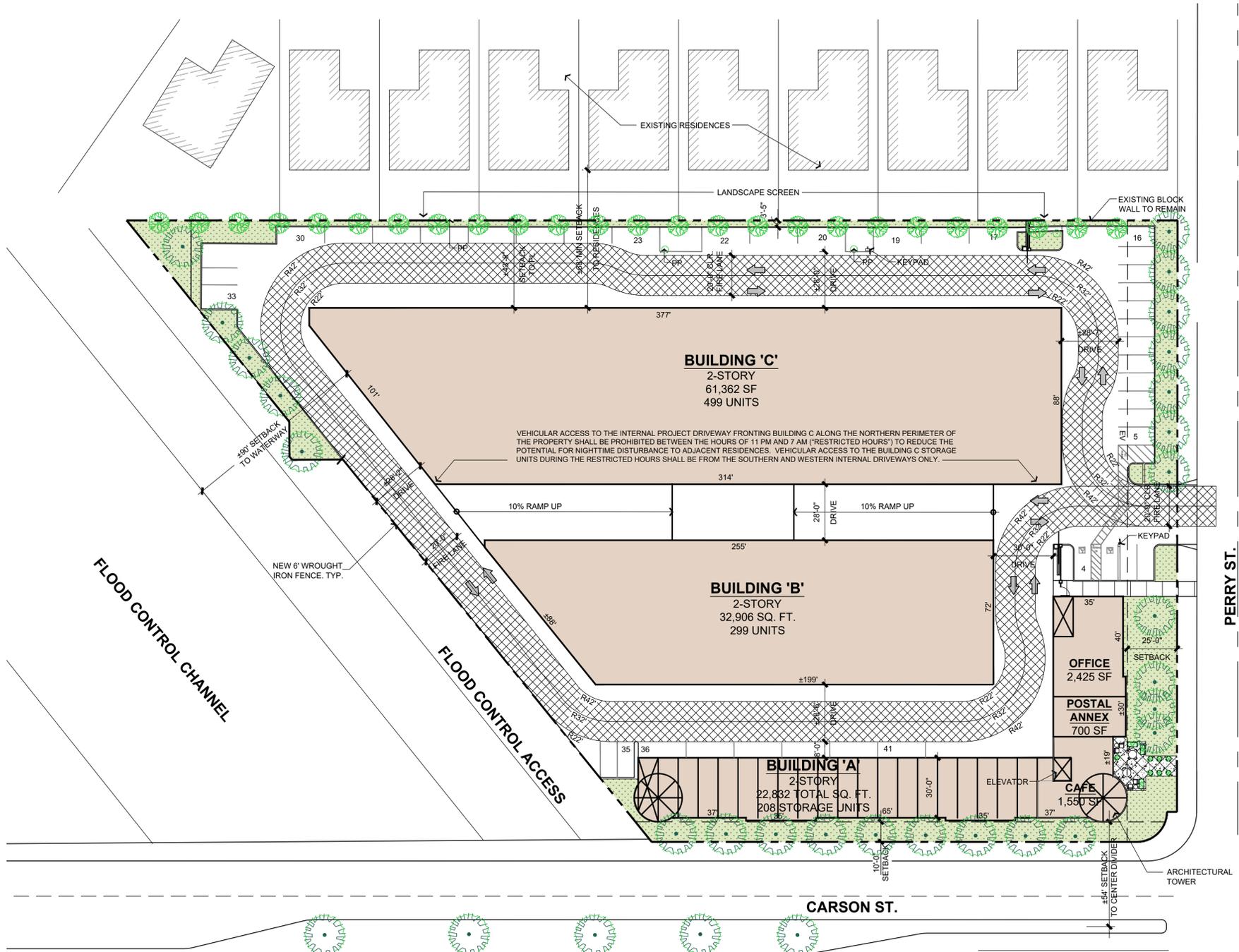
ZIMMERMAN VISUAL



ZIMMERMAN VISUAL



ZIMMERMAN VISUAL



BASIS OF DESIGN			
	REQUIRED / EXISTING	PROVIDED / PROPOSED	
ZONE	ML - MANUFACTURING, LIGHT	TBD	
OVERLAY	D OVERLAY		
STRUCTURE HEIGHT	N/A	TBD	
FLOOR AREA RATIO	.5 (GP)	0.998 (121,775)	
LOT COVERAGE	-	47% (57,330 S.F.)	
LANDSCAPE	-	±12,134 S.F. (9.9%) LANDSCAPE AREA	
SETBACKS			
FRONT	25'	25 FT. MIN.	
STREET SIDE	10 FT.	10 FT. MIN.	
REAR (RESIDENTIAL)	10 FT.	40 FT. MIN.	
INTERIOR SIDE	10 FT.	28' FT. MIN.	
SITE DATA			
LOT AREA	122,071	SQ. FT.	
	2.8	ACRES	
TOTAL GROSS BLDG. AREA	121,775	SQ. FT.	
PARKING			
PARKING SPACES	1 SPACE PER 20 UNITS 725/20 = ±36 STALLS	41 SPACES	
PARKING SIZE	STANDARD: 8.5' X 18' PARALLEL: 8' X 24'	STANDARD: 8.5' X 18' PARALLEL: 8' X 24'	
PARKING PROVIDED			
STANDARDS	39		
ACCESSIBLE	2		
TOTAL	41		
BUILDING AREA TABULATIONS (Square Feet)			
	SELF STORAGE	OFFICE/POSTAL ANNEX/CAFE	TOTAL
BUILDING A 2-STORY	22,832	4,675	27,507
BUILDING B 2-STORY	32,906		32,906
BUILDING C 2-STORY	61,362		61,362
TOTAL AREA:	117,100	4,675	121,775

EST. NET STORAGE AREA = 94,332 S.F.
 BUILDING CONSTRUCTION TYPE: IIB
 OCCUPANCY CLASSIFICATION: S-1. TOP STORAGE IN NOT GRATER THAN 8'
 BUILDINGS ARE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

FIRE DEPARTMENT NOTES - LOS ANGELES COUNTY CODE OF ORDINANCES

- 503.2.1 - DIMENSIONS**
FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6,096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT AS SPECIFIED IN SECTIONS 503.2.1.1 THROUGH 503.2.1.2.2.2. AND FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE CLEAR TO THE SKY.
EXCEPTION: A MINIMUM VERTICAL CLEARANCE OF 13 FEET 6 INCHES (4,114.8 MM) MAY BE ALLOWED FOR PROTECTED TREE SPECIES ADJACENT TO ACCESS ROADS. ANY APPLICABLE TREE-TRIMMING PERMIT FROM THE APPROPRIATE AGENCY IS REQUIRED.
- 503.2.1.1 - COMMERCIAL, INDUSTRIAL, AND MULTIFAMILY-RESIDENTIAL DEVELOPMENTS**
FIRE APPARATUS ACCESS ROADS FOR COMMERCIAL, INDUSTRIAL, AND MULTIFAMILY-RESIDENTIAL DEVELOPMENTS SHALL BE INSTALLED AND ARRANGED IN ACCORDANCE WITH SECTIONS 503.2.1.1 THROUGH 503.2.1.2.2.2. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT OF THE VERTICAL DISTANCE BETWEEN THE ACCESS ROADWAY AND THE EAVE OF A PITCHED ROOF. THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.
- 503.2.1.2.1 - WHERE THE HIGHEST ROOF SURFACE DOES NOT EXCEED 30 FEET**
FOR BUILDINGS WHERE THE VERTICAL DISTANCE BETWEEN THE ACCESS ROADWAY AND THE HIGHEST ROOF SURFACE DOES NOT EXCEED 30 FEET (9,144 MM), FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6,096 MM), EXCLUSIVE OF SHOULDERS, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF CLEAR TO THE SKY.
EXCEPTION: THE 26-FOOT (7,925-MM) WIDTH MAY BE REDUCED TO NOT LESS THAN 20 FEET (6,096 MM), WHEN APPROVED BY THE FIRE CODE OFFICIAL. THIS EXCEPTION SHALL NOT BE APPLIED FOR A DISTANCE OF 25 FEET (7,620 MM) ON EITHER SIDE OF A HYDRANT.
- 503.2.1.2.2 - WHERE THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET**
FOR BUILDINGS WHERE THE VERTICAL DISTANCE BETWEEN THE ACCESS ROADWAY AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET (9,144 MM), AN APPROVED FIRE APPARATUS ACCESS ROADWAY WITH A MINIMUM WIDTH OF 28 FEET (8,535 MM), EXCLUSIVE OF SHOULDERS, SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF. THIS ROADWAY SHALL HAVE AN UNOBSTRUCTED CLEARANCE OF CLEAR TO THE SKY.
EXCEPTION: THE 26-FOOT (8,535-MM) WIDTH MAY BE REDUCED TO NOT LESS THAN 20 FEET (6,096 MM), WHEN APPROVED BY THE FIRE CODE OFFICIAL. THIS EXCEPTION SHALL NOT BE APPLIED FOR A DISTANCE OF 25 FEET (7,620 MM) ON EITHER SIDE OF A HYDRANT.
- 503.2.2.1 - OBSTRUCTIONS**
OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE FIRE APPARATUS ACCESS ROAD OR BETWEEN THE FIRE APPARATUS ROAD AND THE BUILDING. OTHER OBSTRUCTIONS SHALL BE PERMITTED TO BE PLACED WITH THE APPROVAL OF THE FIRE CODE OFFICIAL.
- 503.2.3 - SURFACE**
FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD THAT IS DESIGNED AND MAINTAINED WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS (34,050 KG).
EXCEPTION: FOR SINGLE-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS, THE FIRE APPARATUS ACCESS ROAD MUST BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 50,000 POUNDS (22,700 KG).
- 503.2.4 - TURNING RADII**
THE MINIMUM TURNING RADIUS SHALL BE NOT LESS THAN 33 FEET (9,754 MM) MEASURED AT THE CENTERLINE OF THE REQUIRED ACCESS ROADWAY.
- 503.2.7 - GRADE**
FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 15 PERCENT IN GRADE.
EXCEPTION: FOR A FIRE APPARATUS ACCESS ROAD SERVING NO MORE THAN TWO SINGLE-FAMILY DWELLINGS, GRADES SHALL NOT EXCEED 20 PERCENT WHEN APPROVED BY THE FIRE CODE OFFICIAL. GRADES BETWEEN 15.1 PERCENT AND 20 PERCENT SHALL NOT EXCEED A MAXIMUM CUMULATIVE TOTAL OF 500 FEET (152.4 M) AS MEASURED OVER THE ENTIRE LENGTH OF THE ACCESS ROADWAY.
- 503.2.9 - AREA OF FIREFIGHTING OPERATIONS**
THE AREA OF FIREFIGHTING OPERATIONS SHALL NOT BE LOCATED UNDERNEATH HIGH-VOLTAGE TRANSMISSION LINES.
- 503.3 - MARKING AND SIGNAGE**
WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS. TO CLEARLY INDICATE THE ACCESS TO SUCH ROADS, OR TO PROHIBIT THE OBSTRUCTION THEREOF, THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. A NO-PARKING DESIGNATION SHALL MEET THE REQUIREMENTS OF CALIFORNIA VEHICLE CODE SECTION 22500.1 AND BE APPROVED BY THE FIRE CODE OFFICIAL.
SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES (305 MM) WIDE BY 18 INCHES (457 MM) HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE POSTED ON ONE OR BOTH SIDES OF THE FIRE APPARATUS ROAD AS REQUIRED.
- 503.6 - GATES**
THE INSTALLATION OF SECURITY GATES ACROSS A FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. GATES SECURING THE FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:
WHERE A SINGLE GATE IS PROVIDED, THE GATE WIDTH SHALL NOT BE LESS THAN 20 FEET (6,096 MM), EXCEPT ON A FIRE APPARATUS ACCESS ROADWAY APPROVED TO BE A LESSER WIDTH, IN WHICH CASE THE GATE SHALL NOT RESTRICT THAT WIDTH. WHERE A FIRE APPARATUS ROAD CONSISTS OF A DIVIDED ROADWAY, THE GATE WIDTH SHALL BE NOT LESS THAN 15 FEET (4,572 MM) FOR RESIDENTIAL USE AND 20 FEET (6,096 MM) FOR COMMERCIAL/INDUSTRIAL USES. 2 GATES SHALL BE OF THE SWINGING OR SLIDING TYPE. 3 CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. 4 GATE COMPONENTS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. 5 ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. 6 METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL. 7 ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. 8 GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.
- 510.1 - EMERGENCY RESPONDER RADIO COVERAGE (ERRC) IN NEW BUILDINGS**
NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED ON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS UTILIZED BY THE JURISDICTION, MEASURED AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS.
EXCEPTIONS:
WHERE APPROVED BY THE FIRE CODE OFFICIAL, A WIRED COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.2.12.2 OF THE CALIFORNIA FIRE CODE IS PROVIDED. 2 NEW BUILDINGS THAT CAN DEMONSTRATE MINIMUM RADIO COVERAGE SIGNAL STRENGTH THROUGHOUT THE INTERIOR OF THE BUILDING. 3 IN FACILITIES WHERE EMERGENCY RESPONDER RADIO COVERAGE IS REQUIRED AND SUCH SYSTEMS, COMPONENTS OR EQUIPMENT REQUIRED COULD HAVE A NEGATIVE IMPACT ON THE NORMAL OPERATIONS OF THAT FACILITY, THE FIRE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO ACCEPT AN AUTOMATICALLY ACTIVATED EMERGENCY RESPONDER RADIO COVERAGE SYSTEM. 4 ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES.

PERRY STREET STORAGE

CARSON, CA

PRELIM. SITE PLAN

NORTH

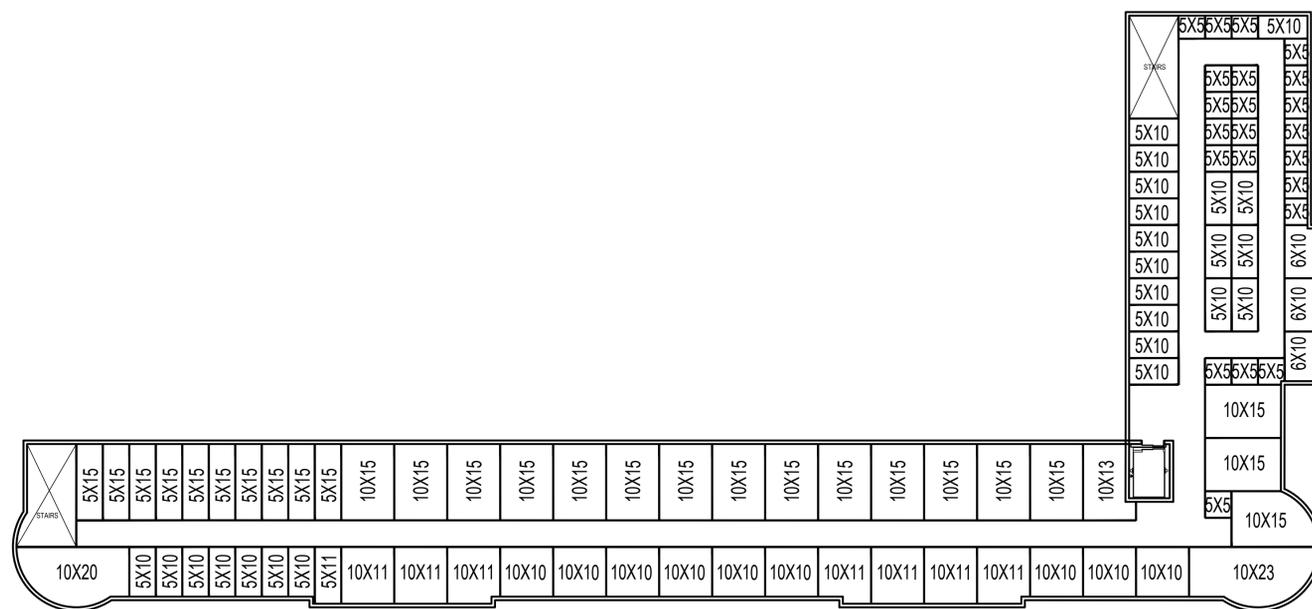
ja

JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090

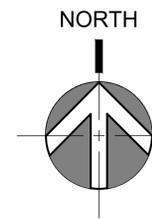
JOB NUMBER: 20-817
SCALE: 1"=30'-0"
DATE: 09/08/2022

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

SHEET A1



THIRD FLOOR - BUILDING 'A' ①
1/16"=1'-0"



PERRY STREET STORAGE
CARSON, CA

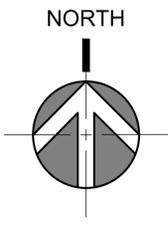
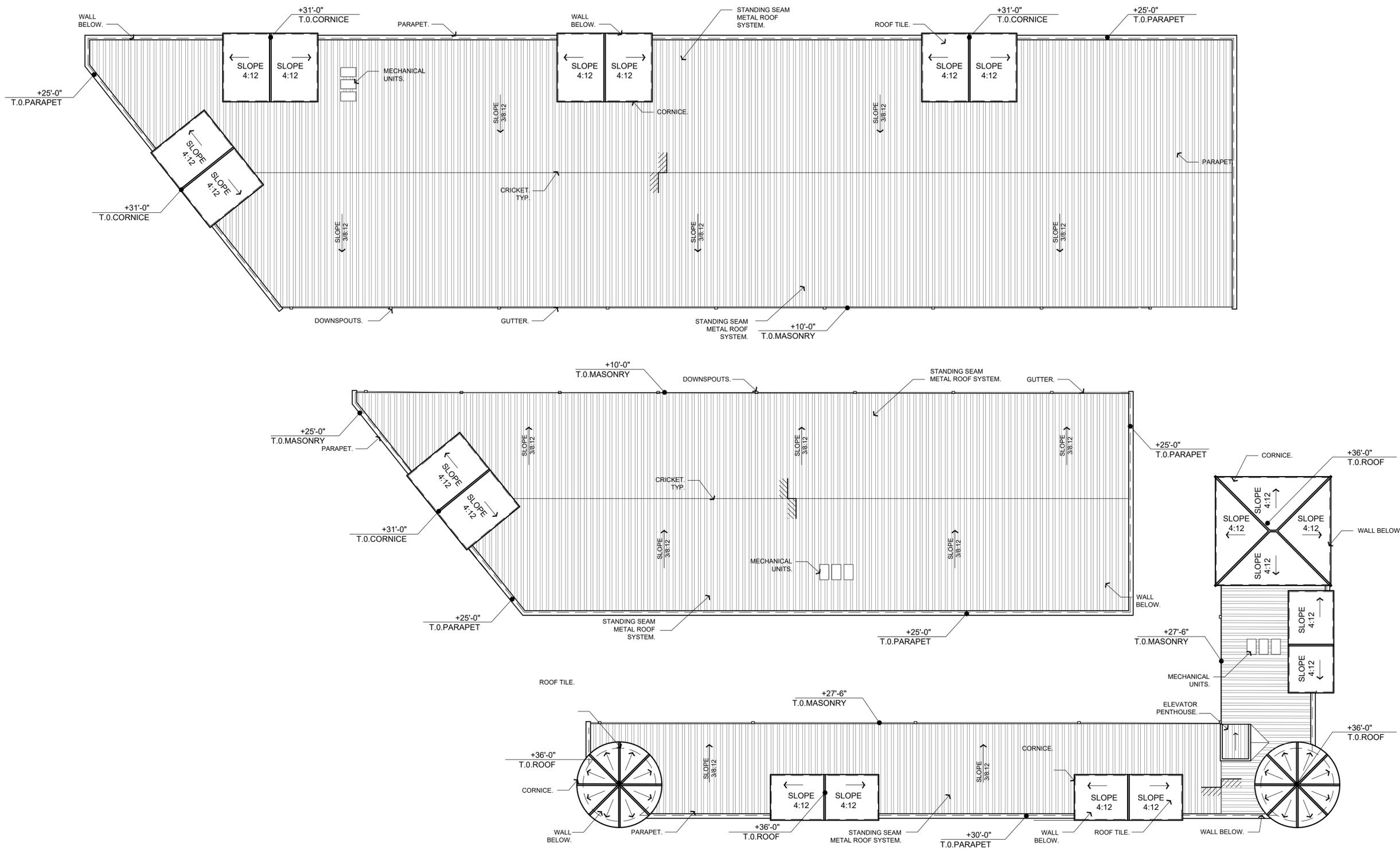
PRELIM. UNIT MIX THIRD FLOOR

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: 1/16"=1'-0"
DATE: 09/08/2022



SHEET A4



ROOF PLAN ①
1/16" = 1'-0"

PERRY STREET STORAGE

CARSON, CA

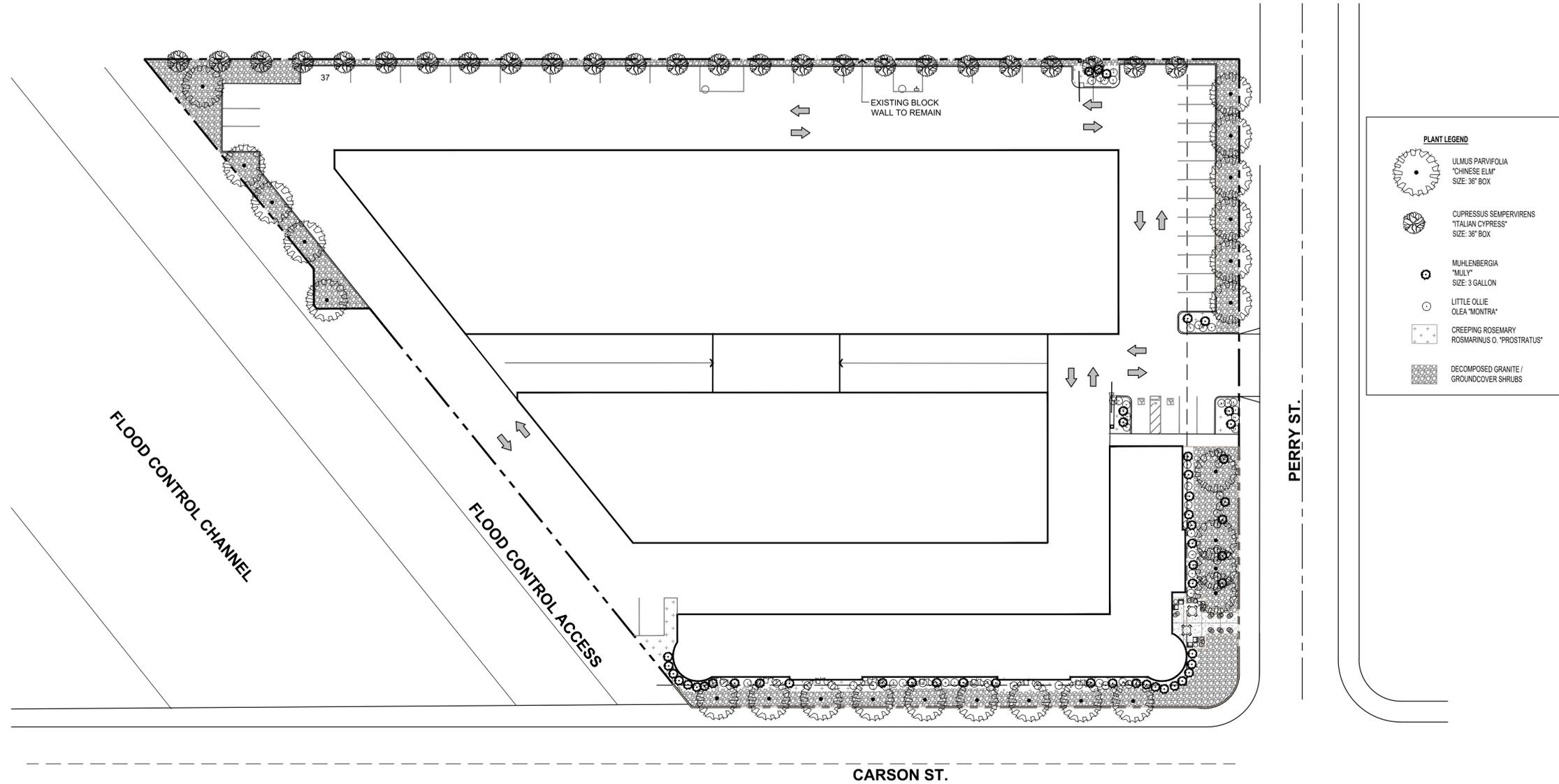
PRELIM. ROOF PLAN

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: 1/16"=1'-0"
DATE: 09/08/2022

ja
JORDAN ARCHITECTS
 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

SHEET A5



PLANT LEGEND

- ULMUS PARVIFOLIA
"CHINESE ELM"
SIZE: 36" BOX
- CUPRESSUS SEMPERVIRENS
"ITALIAN CYPRESS"
SIZE: 36" BOX
- MUHLENBERGIA
"MULLY"
SIZE: 3 GALLON
- LITTLE OLLIE
OLEA 'MONTRA'
- CREEPING ROSEMARY
ROSMARINUS O. 'PROSTRATUS'
- DECOMPOSED GRANITE /
GROUNDCOVER SHRUBS

ULMUS PARVIFOLIA



CUPRESSUS SEMPERVIRENS



MUHLENBERGIA



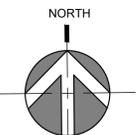
LITTLE OLLIE



CREEPING ROSEMARY



DECOMPOSED GRANITE



PERRY STREET STORAGE

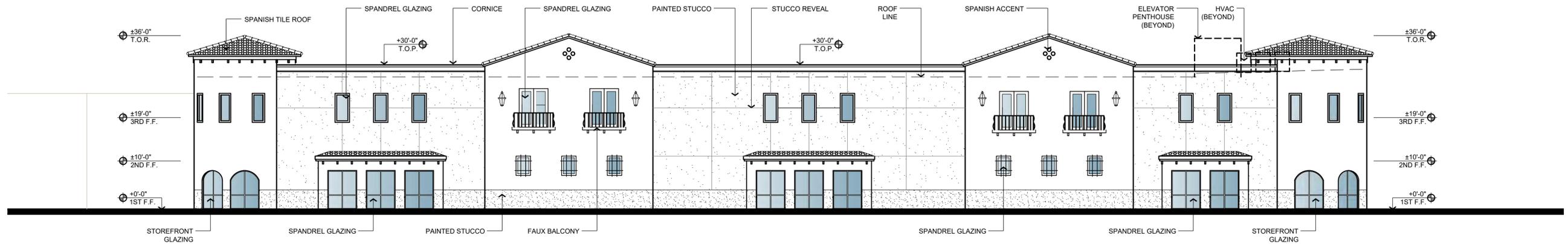
CARSON, CA

PRELIM. LANDSCAPE PLAN

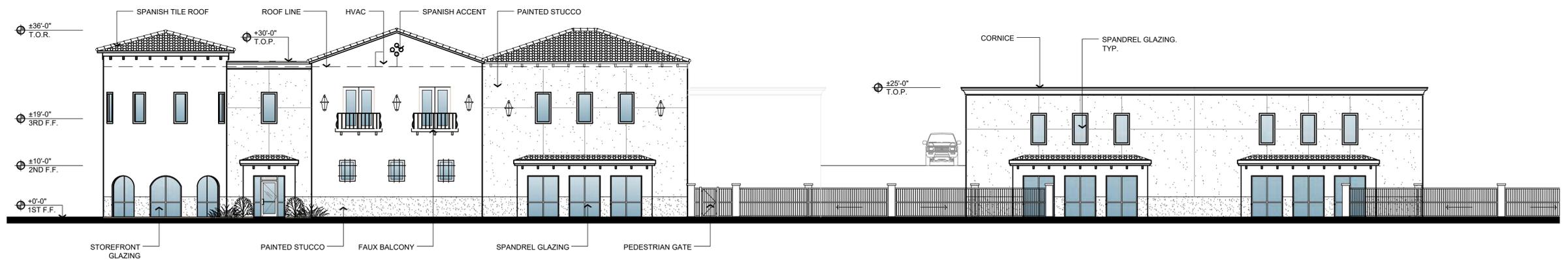
THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: 1"=20'-0"
DATE: 09/08/2022

JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



CARSON ST. - SOUTH ELEVATION ①
3/32" = 1'-0"



PERRY ST. - EAST ELEVATION ②
3/32" = 1'-0"

PERRY STREET STORAGE CARSON, CA

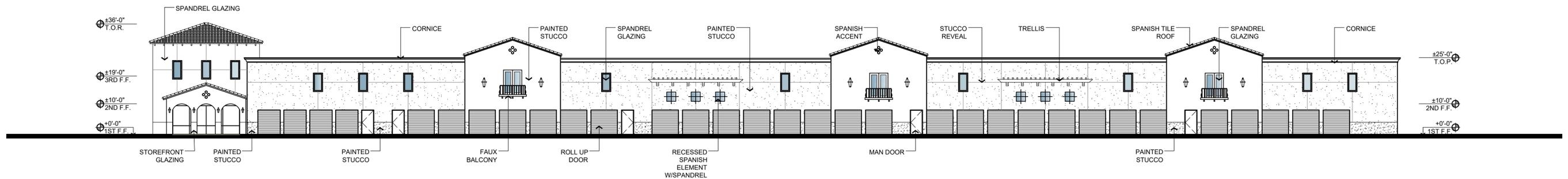
PRELIMINARY ELEVATIONS

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022

ja
JORDAN ARCHITECTS
 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

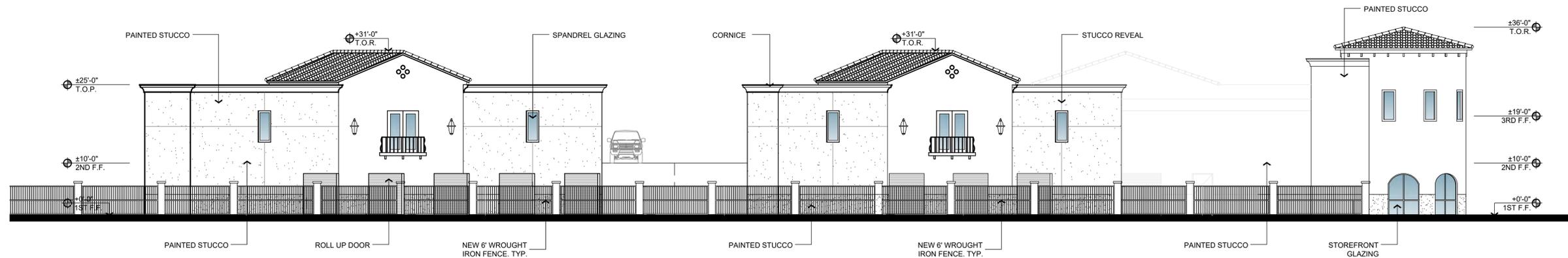
SHEET A7



INTERIOR OF SITE ADJACENT TO RESIDENTIAL - NORTH ELEVATION

1/16" = 1'-0"

1



ADJACENT TO DOMINGUEZ CHANNEL - WEST ELEVATION

3/32" = 1'-0"

2

PERRY STREET STORAGE
CARSON, CA

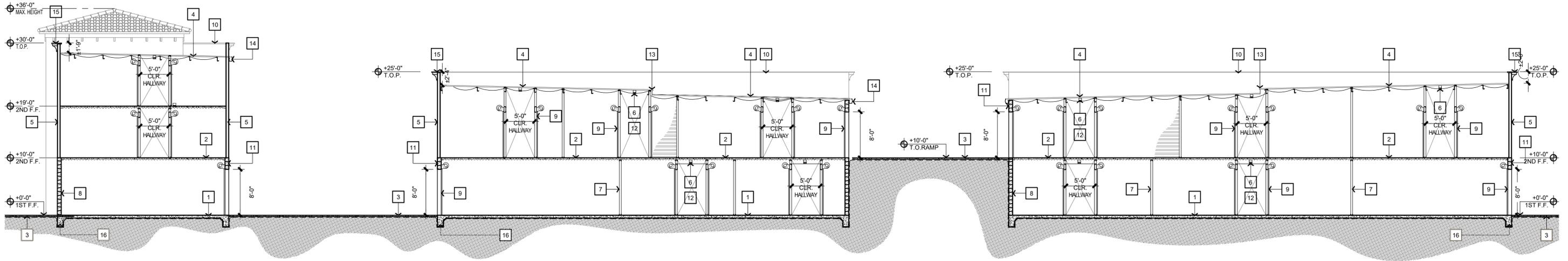
PRELIMINARY ELEVATIONS

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022

ja
JORDAN
ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090

SHEET A8



VERTICAL SITE SECTION ①
1/8" = 1'-0"

GENERAL NOTES	KEYNOTES	KEYPLAN																		
	<table border="0"> <tr> <td>1 CONCRETE SLAB ON GRADE.</td> <td>10 PARAPET BEYOND.</td> </tr> <tr> <td>2 LIGHT WEIGHT CONCRETE OVER LIGHT GA. METAL DECK.</td> <td>11 MASONRY LINTEL</td> </tr> <tr> <td>3 CONCRETE DRIVEWAY</td> <td>12 TYP. HALLWAY.</td> </tr> <tr> <td>4 24 GA. GALVALUME STANDING SEAM METAL ROOFING SYSTEM OVER PURLINS.</td> <td>13 8" STANDING SEAM ROOF STEP.</td> </tr> <tr> <td>5 EXTERIOR LIGHT GA. STUD WALL.</td> <td>14 ROOF GUTTER.</td> </tr> <tr> <td>6 LIGHTING AT STORAGE CORRIDORS.</td> <td>15 PARAPET.</td> </tr> <tr> <td>7 INT. 4" OR 6" METAL STUD WALL</td> <td>16 TYPICAL WALL BASE.</td> </tr> <tr> <td>8 C.M.U. MASONRY BLOCK.</td> <td></td> </tr> <tr> <td>9 ROLL-UP DOOR AT STORAGE UNIT.</td> <td></td> </tr> </table>	1 CONCRETE SLAB ON GRADE.	10 PARAPET BEYOND.	2 LIGHT WEIGHT CONCRETE OVER LIGHT GA. METAL DECK.	11 MASONRY LINTEL	3 CONCRETE DRIVEWAY	12 TYP. HALLWAY.	4 24 GA. GALVALUME STANDING SEAM METAL ROOFING SYSTEM OVER PURLINS.	13 8" STANDING SEAM ROOF STEP.	5 EXTERIOR LIGHT GA. STUD WALL.	14 ROOF GUTTER.	6 LIGHTING AT STORAGE CORRIDORS.	15 PARAPET.	7 INT. 4" OR 6" METAL STUD WALL	16 TYPICAL WALL BASE.	8 C.M.U. MASONRY BLOCK.		9 ROLL-UP DOOR AT STORAGE UNIT.		
1 CONCRETE SLAB ON GRADE.	10 PARAPET BEYOND.																			
2 LIGHT WEIGHT CONCRETE OVER LIGHT GA. METAL DECK.	11 MASONRY LINTEL																			
3 CONCRETE DRIVEWAY	12 TYP. HALLWAY.																			
4 24 GA. GALVALUME STANDING SEAM METAL ROOFING SYSTEM OVER PURLINS.	13 8" STANDING SEAM ROOF STEP.																			
5 EXTERIOR LIGHT GA. STUD WALL.	14 ROOF GUTTER.																			
6 LIGHTING AT STORAGE CORRIDORS.	15 PARAPET.																			
7 INT. 4" OR 6" METAL STUD WALL	16 TYPICAL WALL BASE.																			
8 C.M.U. MASONRY BLOCK.																				
9 ROLL-UP DOOR AT STORAGE UNIT.																				

PERRY STREET STORAGE

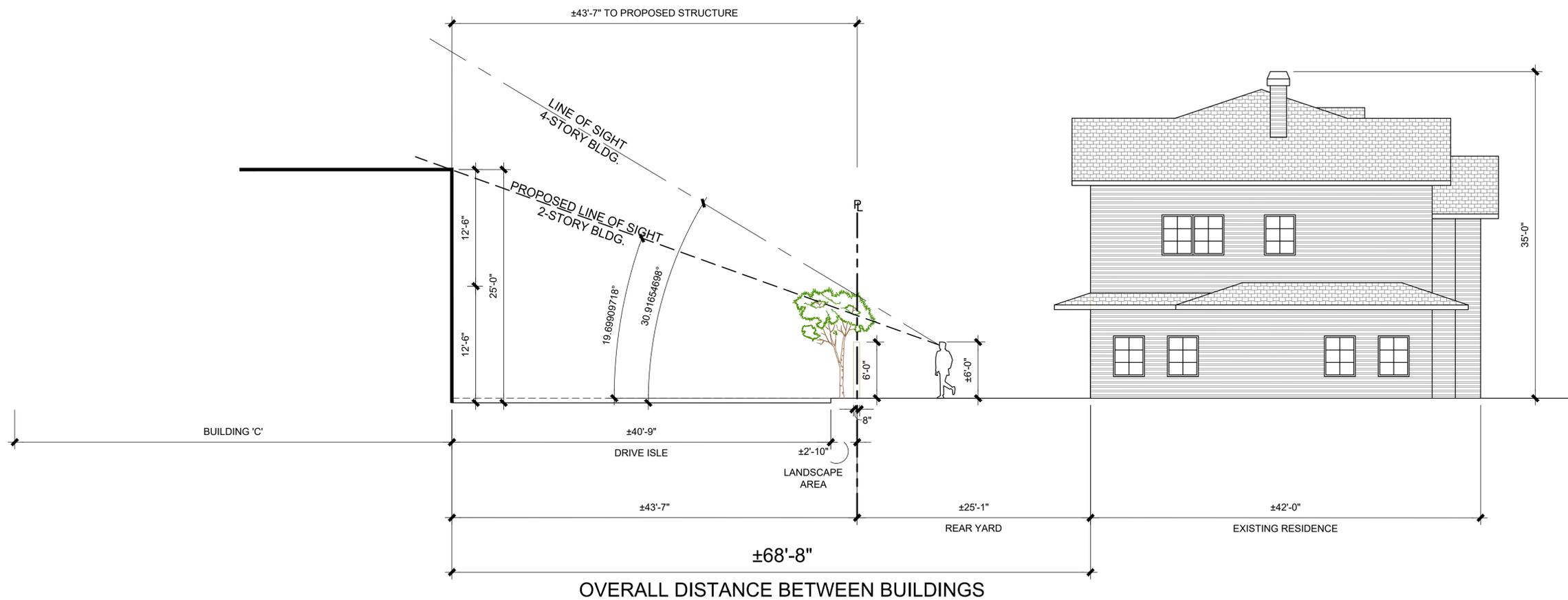
CARSON, CA

PRELIM. SITE SECTION

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: 1/8"=1'-0"
DATE: 09/08/2022

JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



PERRY STREET STORAGE

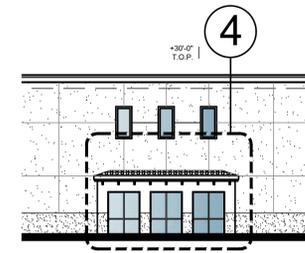
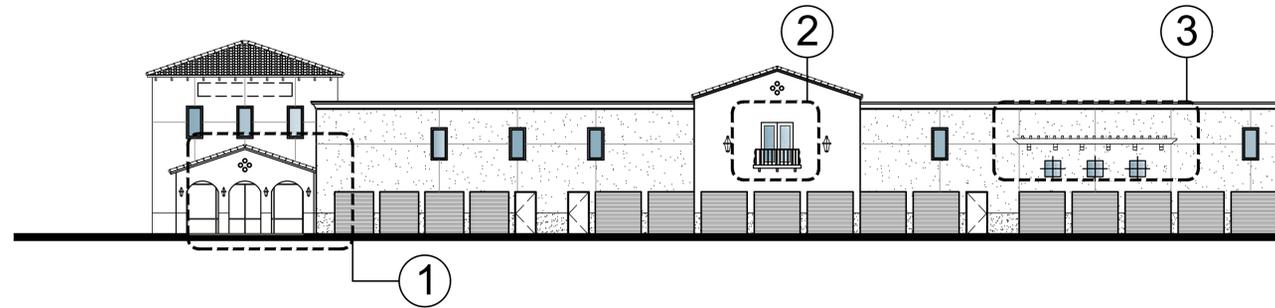
CARSON, CA

LINE OF SIGHT SECTION

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
 SCALE: N.T.S.
 DATE: 09/08/2022

ja
JORDAN
 ARCHITECTS
 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090



DETAIL
N.T.S. ①



DETAIL
N.T.S. ②



DETAIL
N.T.S. ③



DETAIL
N.T.S. ④

PERRY STREET STORAGE

CARSON, CA

DETAILS

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022

ja
JORDAN ARCHITECTS
 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

**PERRY STREET SS
CONCEPTUAL UNIT MIX TABULATION
PREPARED ON SEPTEMBER 01, 2022 - NOTE: UNITS SIZES ARE NOMINAL**

		BUILDING A						BUILDING B						BUILDING C						TOTAL						
		1ST LEVEL		2ND LEVEL		3RD LEVEL		1ST LEVEL		2ND LEVEL		1ST LEVEL		2ND LEVEL		1ST LEVEL		2ND LEVEL		1ST LEVEL		2ND LEVEL				
		NON-CLIMATE		CLIMATE CONTROL		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL				
UNIT SIZE	UNIT AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	AREA RATIO
(in feet)	(in sq. ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq. ft)	(%)
5 X 5	25	0	0	6	150	22	550	0	0	11	275	0	0	36	900	0	0	16	400	0	0	25	625	116	2,900	3.1%
5 X 6	30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	30	1	30	0.0%
5 X 7	35	0	0	0	0	0	0	0	0	2	70	0	0	0	0	0	0	0	0	0	0	0	0	2	70	0.1%
4 X 10	40	0	0	0	0	0	0	0	0	0	0	0	0	1	40.0	0	0	0	0	0	0	0	0	1	40	0.0%
5 X 8	40	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	120	0	0	4	160	7	280	0.3%
5 X 10	50	0	0	32	1,600	24	1,200	0	0	60	3,000	0	0	44	2,200	0	0	39	1,950	0	0	68	3,400	267	13,350	14.2%
5 X 11	55	0	0	1	55	1	55	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	110	0.1%
5 X 12	60	0	0	0	0	0	0	0	0	0	0	0	0	16	960	0	0	0	0	0	0	0	0	16	960	1.0%
6 X 10	60	0	0	3	180	3	180	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	360	0.4%
5 X 13	65	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	30	1,950	30	1,950	2.1%
7 X 10	70	0	0	0	0	0	0	0	0	1	70	0	0	0	0	0	0	0	0	0	0	0	0	1	70	0.1%
5 X 15	75	0	0	10	750	10	750	0	0	0	0	0	0	10	750	0	0	24	1,800	0	0	20	1,500	74	5,550	5.9%
8 X 10	80	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	80	1	80	0	0	3	240	5	400	0.4%
10 X 10	100	5	500	9	900	9	900	0	0	33	3,300	4	400	33	3,300	1	100	49	4,900	4	400	67	6,700	214	21,400	22.7%
10 X 11	110	0	0	7	770	7	770	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	14	1,540	1.6%
10 X 12	120	0	0	0	0	0	0	1	120	0	0	0	0	9	1,080	0	0	0	0	0	0	2	240	12	1,440	1.5%
10 X 13	130	0	0	1	130	1	130	0	0	0	0	0	0	1	130	1	130	0	0	0	0	14	1,820	18	2,340	2.5%
10 X 14	140	0	0	0	0	0	0	1	140	0	0	0	0	0	0	0	0	0	0	0	0	1	140	2	280	0.3%
10 X 15	150	0	0	17	2,550	17	2,550	1	150	2	300	0	0	12	12	0	0	41	6,150	0	0	43	6,450	133	18,162	19.3%
10 X 17	170	0	0	0	0	0	0	1	170	0	0	0	0	1	170	0	0	0	0	0	0	0	0	2	340	0.4%
10 X 18	180	0	0	0	0	0	0	0	0	0	0	0	0	1	180	3	540	0	0	0	0	0	0	4	720	0.8%
10 X 19	190	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	190	0	0	0	0	1	190	2	380	0.4%
10 X 20	200	0	0	1	200	1	200	1	200	2	400	0	0	0	0	0	0	2	400	0	0	0	0	7	1,400	1.5%
10 X 21	210	0	0	0	0	0	0	1	210	0	0	0	0	0	0	1	210	0	0	0	0	0	0	2	420	0.4%
10 X 22	220	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	220	1	220	0.2%
10 X 23	230	0	0	1	230	1	230	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	460	0.5%
10 X 25	250	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	250	0	0	0	0	0	0	1	250	0.3%
10 X 27	270	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	270	0	0	0	0	0	0	1	270	0.3%
10 X 28	280	1	280	0	0	0	0	0	0	0	0	0	0	0	0	30	8,400	0	0	0	0	0	0	31	8,680	9.2%
10 X 30	300	10	3,000	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	10	3,000	3.2%
10 X 31	310	8	2,480	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	2,480	2.6%
10 X 32	320	0	0	0	0	0	0	14	4,480	0	0	0	0	0	0	0	0	0	0	0	0	0	0	14	4,480	4.7%
TOTAL		24	6,260	88	7515	96	7515	20	5470	111	7415	4	400	164	9722	40	10170	175	15800	4	400	280	23665	1006	94,332	100.0%
PERCENTAGE (%)		2%	7%	9%	8%	10%	8%	2%	6%	11%	8%	0%	0%	16%	10%	4%	11%	17%	17%	0%	0%	28%	25%	100.00%	100.00%	

UNIT AVERAGE (in sf/unit) =	94
NET RENTABLE =	94,332
TOTAL GROSS STORAGE AREA=	121,775.00
	77%

**PERRY STREET STORAGE
CARSON, CA**

UNIT MIX TABULATION

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2022 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: N.T.S.
DATE: 09/08/2022



SHEET A12



WINTER - 8AM ①



SPRING - 8AM ④



SUMMER - 8AM ⑦



FALL - 8AM ⑩



WINTER - 12PM ②



SPRING - 12PM ⑤



SUMMER - 12PM ⑧



FALL - 12PM ⑪



WINTER - 4PM ③



SPRING - 4PM ⑥



SUMMER - 4PM ⑨



FALL - 4PM ⑫

PERRY STREET STORAGE CARSON, CA

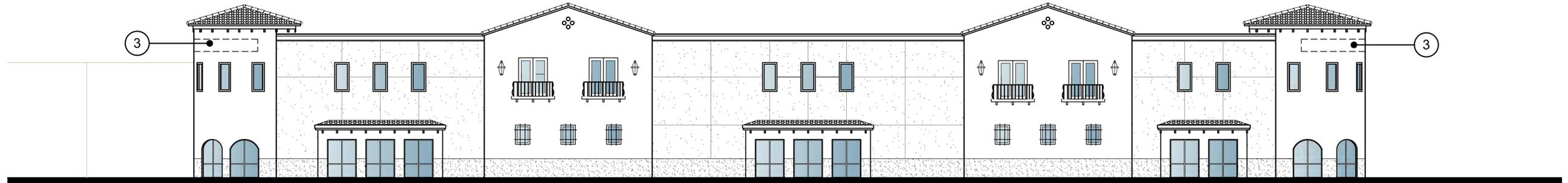
SHADOW STUDY

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: N.T.S.
DATE: 09/08/2022



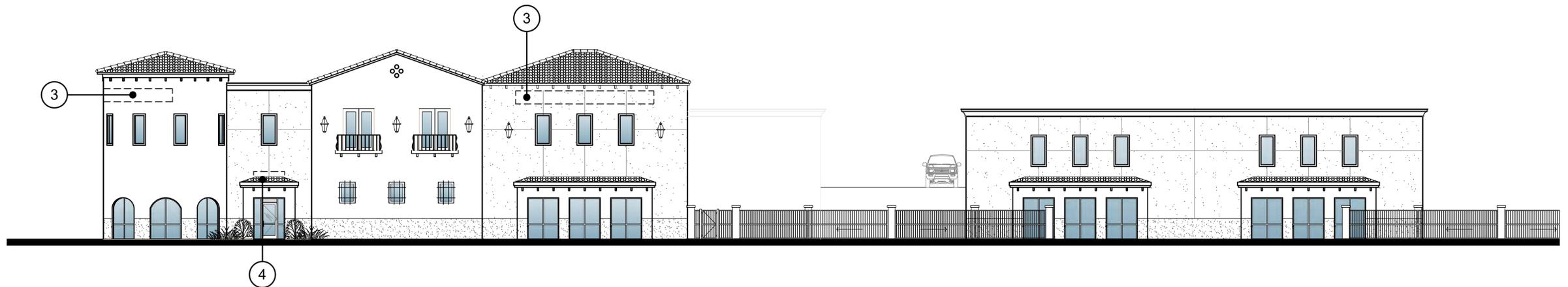
JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



TOTAL SQ. FOOTAGE OF SIGNAGE: 67 S.F.

ALLOWABLE: NOT TO EXCEED (2) S.F. FOR EACH OF THE FIRST (20) FEET OF BUSINESS STOREFRONT AND (1) S.F. FOR EACH LINEAR FOOT THAT EXCEEDS THE FIRST (20) FEET.

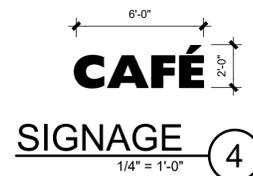
SOUTH ELEVATION 1
3/32" = 1'-0"



TOTAL SQ. FOOTAGE OF SIGNAGE: 106 S.F.

ALLOWABLE: NOT TO EXCEED (2) S.F. FOR EACH OF THE FIRST (20) FEET OF BUSINESS STOREFRONT AND (1) S.F. FOR EACH LINEAR FOOT THAT EXCEEDS THE FIRST (20) FEET.

EAST ELEVATION 2
3/32" = 1'-0"



PERRY STREET STORAGE
CARSON, CA

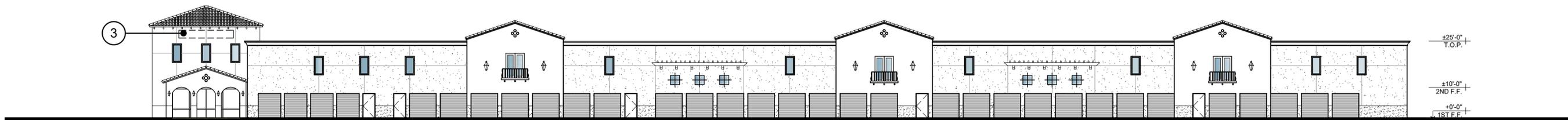
PRELIMINARY SIGNAGE

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. "COPYRIGHT" YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022



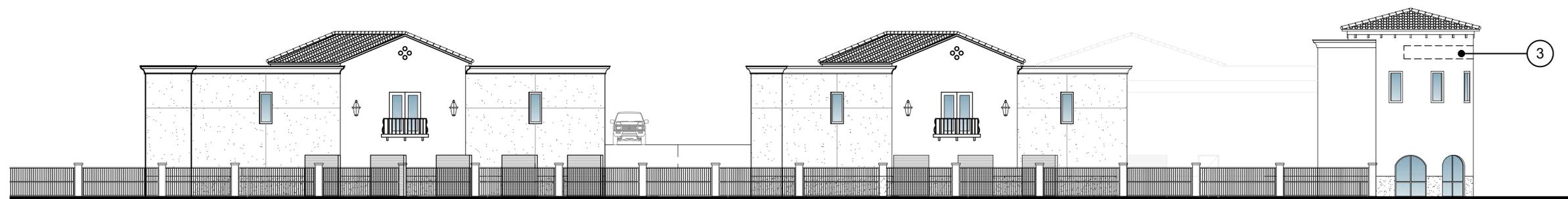
SHEET A14



TOTAL SQ. FOOTAGE OF SIGNAGE: 67 S.F.

NORTH ELEVATION ①
1/16" = 1'-0"

ALLOWABLE: NOT TO EXCEED (2) S.F. FOR EACH OF THE FIRST (20) FEET OF BUSINESS STOREFRONT AND (1) S.F. FOR EACH LINEAR FOOT THAT EXCEEDS THE FIRST (20) FEET.



TOTAL SQ. FOOTAGE OF SIGNAGE: 34 S.F.

WEST ELEVATION ②
3/32" = 1'-0"

ALLOWABLE: NOT TO EXCEED (2) S.F. FOR EACH OF THE FIRST (20) FEET OF BUSINESS STOREFRONT AND (1) S.F. FOR EACH LINEAR FOOT THAT EXCEEDS THE FIRST (20) FEET.



SIGNAGE ③
1/4" = 1'-0"

PERRY STREET STORAGE
CARSON, CA

PRELIMINARY SIGNAGE

THIS DRAWING AND ITS CONTENTS ARE INSTRUMENTS OF SERVICE AND ARE THE COPYRIGHTED PROPERTY OF JORDAN ARCHITECTS, INC. THE USE IS EXPRESSLY INTENDED FOR THE PROJECT NOTED ABOVE AND MAY NOT BE REUSED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JORDAN ARCHITECTS, INC. ©COPYRIGHT YEAR OF FIRST PUBLICATION 2020 JORDAN ARCHITECTS, INC.

JOB NUMBER: 20-817
SCALE: AS NOTED
DATE: 09/08/2022



SHEET A15