



CITY OF CARSON

PLANNING COMMISSION STAFF REPORT

PUBLIC HEARING: July 23, 2013

SUBJECT: Conditional Use Permit No. 932-13

APPLICANT: Brent James Hammes
10900 Los Alamitos Blvd. Ste. 160
Los Alamitos, CA 90720

OWNER: Robert Soto
5450 N. Paramount Blvd. Spc. 175
Long Beach, CA 90805

REQUEST: To approve a Conditional Use Permit for an existing second dwelling unit located within the RS (Residential, Single-Family) zoning district.

PROPERTY INVOLVED: 2700 East Jackson Street

COMMISSION ACTION

- Concurred with staff
- Did not concur with staff
- Other

COMMISSIONERS' VOTE

AYE	NO		AYE	NO	
		Chairman Faletogo			Gordon
		Vice-Chair Verrett			Piñon
		Brimmer			Saenz
		Diaz			Schaefer
		Goolsby			

Item No. 12A

I. Introduction

Date Application Received

- March 28, 2013: Conditional Use Permit No. 932-13

Applicant

- Brent James Hammes; 10900 Los Alamitos Blvd. Ste. 160; Los Alamitos, CA 90720

Property Owner

- Robert Soto; 5450 N. Paramount Blvd. Spc. 175; Long Beach, CA 90805

Project Address

- 2700 East Jackson Street

Project Description

- The proposal is to consider a conditional use permit (CUP) for an existing second dwelling unit within the RS (Residential, Single Family) zoning district.
- The project site is located on a 5,460-square-foot parcel with two detached dwelling units with a one-car garage attached to the front unit and a two-car garage located below the second-story second unit. The main dwelling unit is 870 square feet with an attached 239-square-foot one-car garage and the second dwelling unit is 672 square feet with an attached 672-square-foot two-car garage.
- The property consists of two legal lots that are tied for assessment purposes. Each lot is 25 feet wide.

II. Background

History of Property

- Based on staff research of city/county records and historical records, staff finds that the front (main) dwelling unit was built in 1960 and the rear (second) unit was built in 1924.

Previously Approved Discretionary Permits

- There are no previously approved discretionary permits for this site.

Public Safety Issues

- There are no open code enforcement cases for the subject property.
- The property was developed prior to the adoption of the Carson Municipal Code (CMC) in 1977. The property is therefore nonconforming with respect to several development standards, which include lot size, unit size, setback requirements and off-street parking (Exhibit No. 2). Per Section 9182.3 of the CMC, the Commission can make findings regarding the adequacy of these standards.

III. Analysis

Location/Site Characteristics/Existing Development

- The subject property is rectangular in shape and is compatible with surrounding residential single-family uses. The property consists of two legal lots that are tied for assessment purposes. Staff recommends that a condition of approval be included to require a lot merger.
- The applicant is applying for a conditional use permit for a second dwelling unit pursuant to Section Nos. 9172.21 and 9182.3 of the Carson Municipal Code (CMC). Second dwelling units on single-family residentially-zoned lots provide an important housing resource that should be preserved if findings can be made regarding the adequacy of the building condition, parking, landscaping and other features needed to meet neighborhood compatibility standards. (Exhibit No. 3 and Exhibit No. 4)
- The second dwelling unit is considered the rear unit because it is the smaller of the two units in terms of livable space.

Zoning/General Plan/Redevelopment Area Designation

- The subject property is zoned RS (Residential, Single-Family) with the adjacent properties to the north, east and west sharing the same zoning designation. Properties to the south are zoned RM-25 (Residential, Multi-family – 25 units per acre).
- The zoning designation for the subject property is consistent with the General Plan Land Use designation of Low Density Residential.

Applicable Zoning Ordinance Regulations

The proposed CUP is subject to the approval of a development plan in accordance with the procedures as provided in Section 9172.21 and subject to CMC Sections 9122.8 (Second Dwelling Units), 9125.6 (Second Dwelling Unit Development Standards) and 9182.3 (Nonconforming Residential Density).

Required Findings: Conditional Use Permit No. 932-13

Pursuant to Section 9172.21, Conditional Use Permit, the Planning Commission may approve the proposal only if the following findings can be made in the affirmative:

- a. The proposed use and development will be consistent with the General Plan.
- b. The site is adequate in size, shape, topography, location, utilities and other factors to accommodate the proposed use and development.

- c. There will be adequate street access and traffic capacity.
- d. There will be adequate water supply for fire protection.
- e. The proposed use and development will be compatible with the intended character of the area.

All of the required findings pursuant to Section 9172.21(d), "Conditional Use Permit, Approval Authority and Findings and Decision", can be made in the affirmative, if conditions of approval are implemented. Specific details regarding the applicable findings are incorporated in the attached resolution.

Issues of Concern: Zoning Requirements / Conditional Use Findings

- Issue – Structure / Site maintenance: Per Section 9122.8 of the Carson Municipal Code, the Commission may require additional improvements to the property. The following conditions of approval are recommended.
 - **Conditions of Approval:**
 1. Any major improvements shall require review and approval by the Planning Division and issuance of a building permit if applicable.
 2. A property inspection report was prepared by a qualified/certified property inspector that includes plans to eliminate or mitigate any building, plumbing, electrical and fire code deficiencies (Exhibit No. 3). The deficiencies described in the property inspection report shall be eliminated or mitigated within 90 days. The Planning Division shall inspect the property for compliance with the corrective measures. An extension of time to complete necessary corrective measures may be granted for up to an additional 90 days, subject to the discretion of the Planning Division.
 3. There shall be no dwelling expansion or alteration that will intensify the number of bedrooms or other habitable area if the Planning Division determines there will be an impact to off-street parking.
 4. The garage interior shall remain clear to facilitate automobile parking inside garages. Further, all building setback yard areas are to remain clear for fire prevention safety.

- Issue – Parking: The primary unit is required to provide 2 spaces within a garage. The existing two-car garage currently provides 2 parking spaces for the second dwelling unit and therefore the primary unit is legal, nonconforming with respect to parking requirements (Exhibit No. 5). Staff recommends that the following conditions be added to mitigate any foreseeable parking impacts and to prevent an intensification of street parking:
 - Any expansions to the primary and/or second dwelling unit will constitute as an intensification of use and the nonconforming parking privilege will

no longer be continued. One two-car covered parking spaces will be required prior to the approval of any expansions to the primary or second dwelling unit including but not limited to the addition of bedrooms, other habitable areas, and additional square footage.

- The garage interior shall remain clear to facilitate vehicle parking.
- Issue – Lot Merger: The city is considering a comprehensive merger of parcels which includes the subject property. Staff recommends that a condition of approval to require a deed restriction be recorded within 90 days of receiving approval by the Planning Commission stating that if the property owner intends to sell the dwellings prior to the completion of a city initiated parcel merger the property owner will be responsible for the completion of the parcel merger prior to the close of escrow.
- Issue – Deed Restriction: Per Section 9125.6.8 (L)(1) of the Carson Municipal Code, the applicant shall submit a deed restriction stating that:
 - The second dwelling unit shall not be sold separately.
 - The second dwelling unit is restricted to the maximum size allowed per the development standards.
 - The restrictions shall be binding upon any successor in ownership of the property and lack of compliance shall void the approval of the unit and may result in legal action against the property owner.
- Issue – Owner Occupancy: Per 9125.6.J - Second Dwelling Unit Development Standards – of the Carson Municipal Code, either the main residence or second dwelling unit shall be occupied by owner of the property. At the May 11, 2010 Planning Commission meeting, the Planning Commission directed staff to eliminate the owner-occupied requirement and instead include a requirement for a compliance inspection of all buildings on the property. The following condition has been added as a requirement:
 - The property owner shall consent to an inspection of the interior and exterior of all buildings upon receipt of a written request by the city in order to determine compliance with these conditions and applicable Carson Municipal Code requirements.
- Issue – Driveway Pavement: The driveway pavement for the second dwelling unit is in disrepair and shall be repaired subject to the approval of the Planning Department and within 60 days of Planning Commission approval.
- Issue – Landscaping: Existing landscaping shall be rehabilitated subject to the approval of the Planning Department and within 60 days of Planning Commission approval.

- Issue – Fencing: There is an existing six-foot high fence located along the southwestern property line. In addition, an existing chain link fence is located along the western property line. Staff recommends the following conditions:
 - Mitigation: The six-foot high fence located along the southwestern property line shall be reduced to 3 ½ feet per Carson Municipal Code requirements within 60 days of Planning Commission approval.
 - Mitigation: The existing chain link fence along the western property line shall be replaced by a wrought iron fence to the satisfaction of the Planning Division and within 60 days of Planning Commission approval.

- Issue – Aesthetics: To enhance the appearance and compatibility of the second dwelling unit, staff recommends the following conditions:
 - Mitigation: Exterior materials and colors of the second dwelling unit shall be compatible to the primary residence subject to the approval of the Planning Department.
 - Mitigation: Decorative trim shall be provided along the roofline and between the first and second floors of the second dwelling unit to the satisfaction of the Planning Division and within 60 days of Planning Commission approval.

- Issue – Unpermitted Porch Enclosure: A second-story porch for the second dwelling unit was permitted in 1960. However, the porch was enclosed without permits. Staff recommends that the total square footage of the dwelling shall be increased from 672 square feet to 726 square feet with the approval of a building permit for the porch enclosure.
 - Mitigation: The applicant shall obtain a building permit for the existing second-story porch enclosure within 60 days of Planning Commission approval.

IV. Environmental Review

Pursuant to Section 15301, Existing Facilities, of the California Environmental Quality Act (CEQA) Guidelines, the proposed second dwelling unit does not have the potential for causing a significant effect on the environment and is found to be exempt.

V. Recommendation

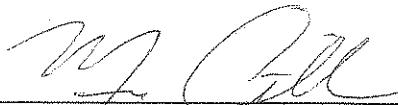
That the Planning Commission:

- **APPROVE** Conditional Use Permit No. 932-13 subject to the conditions of approval attached as Exhibit "B" to the Resolution; and
- **WAIVE** further reading and **ADOPT** Resolution No. _____, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARSON APPROVING CONDITIONAL USE PERMIT NO. 932-13 FOR AN EXISTING SECOND DWELLING UNIT LOCATED AT 2700 EAST JACKSON STREET."

VI. Exhibits

1. Zoning Map
2. Second Dwelling Unit Checklist
3. Property Inspection Report
4. Proposed Resolution
5. Proposed Development Plans (submitted under separate cover)

Prepared by:



Max Castillo, Assistant Planner

Reviewed by:



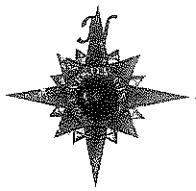
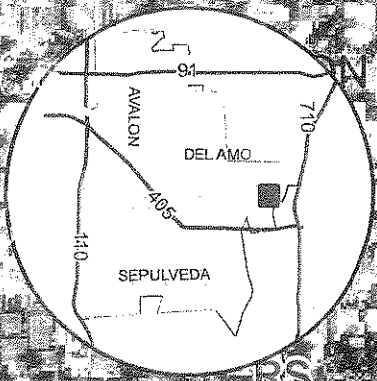
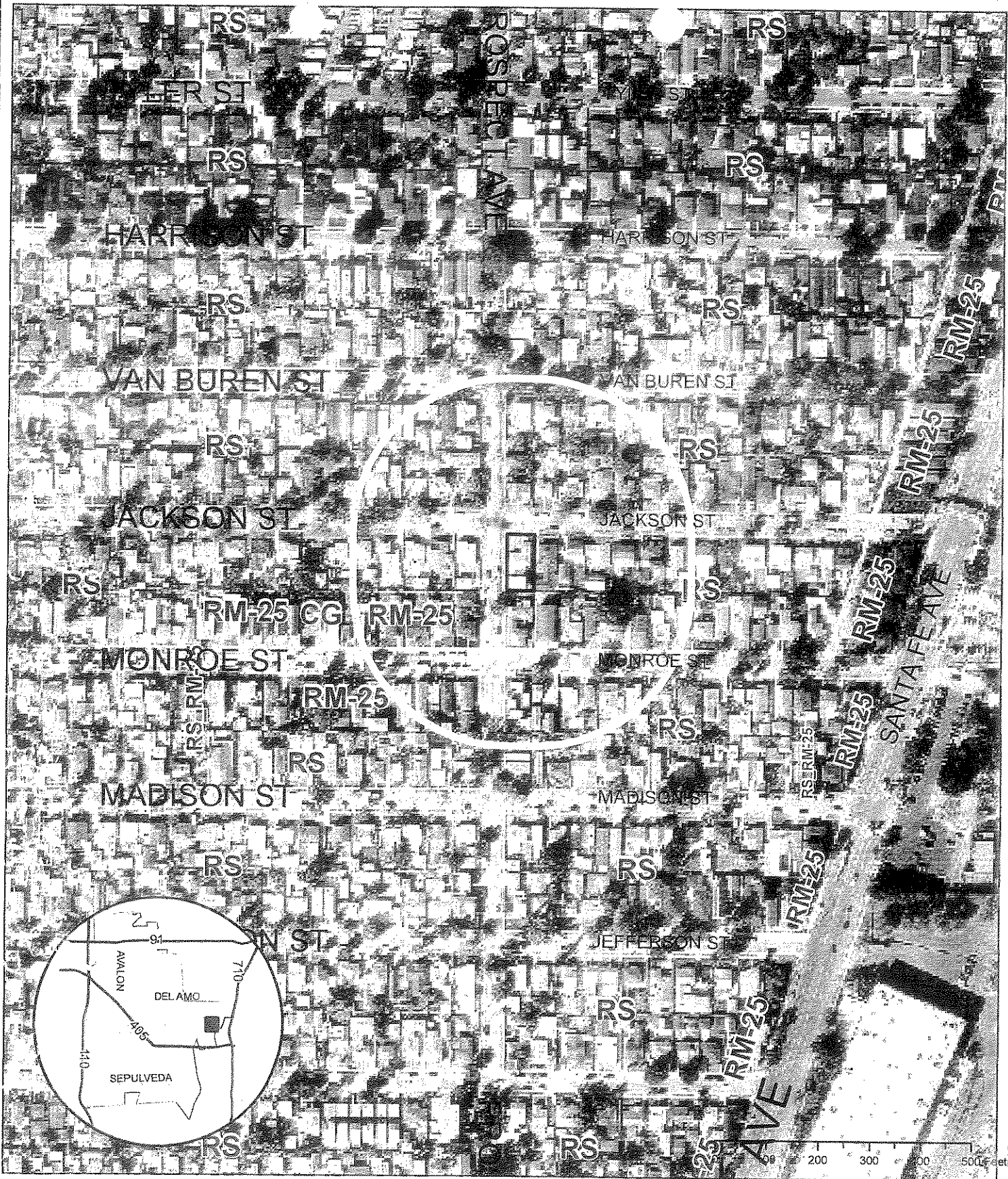
John F. Signo, AtCR, Senior Planner

Approved by:



Sheri Repp-Loadsmán, Planning Officer

MC/c93213_2700-2702EJackson_p



City of Carson
 300 Foot Radius Map
 2700--2704 Jackson Street

Exhibit I



Property Address: 2700 East Jackson Street

Application #: CUP No. 932-13

Date 1st Dwelling Unit Built: 1960

Date 2nd Dwelling Unit Built: 1924

Applicable Development Standards per Section 9125.6

MINIMUM LOT SIZE

Meets Code: No

7,500 square feet for RS zone

Comments:

Lot size = 5,460 square feet

UNIT SIZE

Meets Code: No

0 bdrm, 1 bthrm and kitchen: 500 s.f. max.

Attached d.u. same as above, but no more than 40% of main d.u.

1 bdrm, 1 bthrm and kitchen: 650 s.f. max.

2 bdrms, 1 bthrm and kitchen: 700 s.f. max.

Comments:

Second unit size = 2 bedrooms, 1 bathroom and kitchen (672 square feet) + 672 sq. ft. garage

SETBACK REQUIREMENTS

Meets Code: No

10' from primary residence

15' rear yard

6' from accessory structure

If above accessory structure, 10' min. side yard

5' side yard

Comments:

The setback of the second-story second dwelling unit from the rear yard is 5 feet 9 inches. The side yard setback is 5 feet 4 inches. A condition of approval requiring all building setback yard areas to remain clear for fire prevention safety has been included.

OFF-STREET PARKING

Meets Code: No

Studio: 1 uncov. sp. outside of FYSB

2 bedrms or over 700 s.f.: 2 spcs. within garage

1 bdrm: 1 sp. in 10'x20' gar. or 9'x20' carport

Main dwelling unit parking provided

Comments:

The primary and second dwelling units are each required to provide 2 spaces within a garage. The existing two-car garage currently provides parking for the second unit and therefore the primary unit is legal, nonconforming with respect to parking requirements. A condition of approval requiring that there be no dwelling expansion or alterations that will intensify the second and/or the primary dwelling unit, unless parking requirements are met has been included. In addition, the garage interior shall remain clear to facilitate garage parking.



OWNER OCCUPIED

Meets Code: No

Comments:

The owner will lease both units.

Per Section 9122.8, the Commission may require additional improvements to the property, or any buildings or structure thereon, which may include but are not limited to the following:

1. Condition of landscaping

Staff's evaluation: Fair

Comments:

Existing landscaping shall be rehabilitated.

2. Exterior changes to promote compatibility of buildings and structures with surrounding development

Wall Paint: Fair

Doors: Unacceptable

Building Material: Fair

Windows: Fair

Building Trim: Unacceptable

Porch: Unacceptable

Roof: Good

Accessory structure: Unacceptable

Eaves: Fair

Other: Not applicable

Comments:

The applicant shall mitigate any deficiencies identified in the property inspection report. In addition, conditions of approval have been added requiring the applicant to improve existing fences, use compatible materials/colors for both the primary and secondary unit, and provide building and window trim for the second unit.

3. General repairs to vehicular maneuvering or parking areas

Staff's evaluation: Unacceptable

Comments:

Staff recommends rehabilitation of the existing concrete driveway for the second unit.

4. Modifications designed to bring a structure more nearly into compliance with the applicable standards for second dwelling units.

Staff's evaluation: Existing is Acceptable



Comments:

The property inspection report identifies the modifications required to bring the structure more into compliance. The property owner is in the process of addressing the other outstanding issues. Conditions have also been added to ensure the structure will be in compliance.

OTHER ISSUES: Garage Conversion: **Not Applicable** Unpermitted additions (rooms, patio, etc.): **Not Applicable**

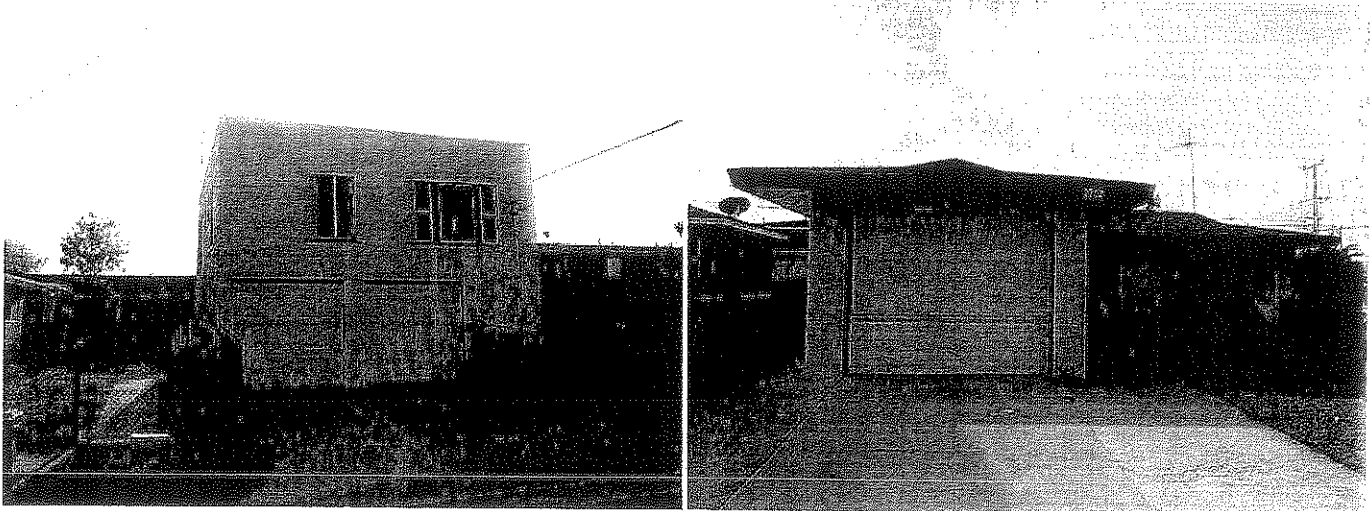
Planner: Max Castillo Date Completed: 4/25/2013





Eagle Eye Property Inspections

Email: eagle2inspect@gmail.com
Phone: (800) 893-4669
10630 Downey Ave Ste 101
Downey CA 90241-3463
Inspector: Edward Rodriguez, RHI.,CPI
Allied Home Inspection Institute
InterNachi Member #11012201



Property Inspection Report

Client(s): Cal 1st Holding Corp.
Property address: 2700 & 2702 Jackson St.
Carson, Ca. 90810
Inspection date: Saturday, March 23, 2013

This report published on Tuesday, March 26, 2013 1:20:03 PM PDT

Dear Customer:

Thank you for choosing Eagle Eye Property Inspections to perform the following inspection on the property you wish to purchase. This report is the exclusive property of Eagle Eye Property Inspections and the individual(s) paying for the inspection fee and report. Use of this report by any unauthorized persons is prohibited.

All findings should be made to Eagle Eye Property Inspections.

This report represents our professional opinion of the condition of the inspected elements of the subject property, determine during a limited time inspection. This inspection was performed, where applicable, in a manner consistent with the standards of the home inspection industry, terms and conditions of the inspection agreement and limitations noted in the inspection agreement. Information contained herein was prepared exclusively for the named client and their authorized representatives.

We have inspected the subject property and must report to you exactly what we found. Because of the age, design and location of the home, we might find some hairline cracks on driveways or walls, see paint peeling off walls, cracks on tiles, chipped bathtubs or some cracks over windows and doors. These are normal and cosmetic conditions.

While due care was exercised in the performance of this inspection, the company makes no representations or guarantees with respect to latent deficiencies or future conditions as part of the inspection or this report. This report is valid only for a period of thirty (30) days from the date of the inspection. This report, including any attachments, should be reviewed in its entirety. Any questions about the inspection or report should be resolved prior to title transfer.

This inspection report was prepared in a format specifically for the individual/s paying for the inspections fee and report and such transfer does not cover all potential areas of concern a third party may have. This report is transferable only with the

EXHIBIT NO. 3

6

consent of the individual/s paying for inspections fee and report and such trans. does not imply any warranty or guarantee regarding the report by inspection firm.

No warranty, guarantee, or insurance by Eagle Eye Property Inspections is expressed or implied. This report does not include inspection for wood destroying insects, mold, lead or asbestos. A representative sampling of the building components is viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of components is performed. Not all defects will be identified during this inspection. Unexpected repairs should be anticipated.










The person conducting your inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts.

You are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, plumbers, engineers, or roofers.

If you have any questions regarding this report, please feel free to call us.




How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

 Safety	Poses a risk of injury or death
 Repair/Replace	Recommend repairing or replacing
 Repair/Maintain	Recommend repair and/or maintenance
 Minor Defect	Correction likely involves only a minor expense
 Maintain	Recommend ongoing maintenance
 Evaluate	Recommend evaluation by a specialist
 Monitor	Recommend monitoring in the future
 Serviceable	Item or component is in serviceable condition
 Comment	For your information

Wood Destroying Organism Concerns


Concerns relating to wood destroying organisms are shown as follows:

 Infestation	Evidence of infestation of wood destroying insects or organisms (Live or dead insect bodies, fungal growth, etc.)
 Damage	Damage caused by wood destroying insects or organisms (Rot, carpenter ant galleries, etc.)
 Conductive conditions	Conditions conducive for wood destroying insects or organisms (Wood-soil contact, shrubs in contact with siding, roof or plumbing leaks, etc.)

Contact your inspector If there are terms that you do not understand, or visit the glossary of construction terms at <http://www.reporthost.com/glossary.asp>

General information

Report number: 10798
Inspector's name: Edward Rodriguez, CPI
Structures inspected: Residential
Type of building: Duplex
Age of building: Verify with Accessors office
Property owner's name: Prospect Buyer(s)
Time started: 8:25am
Time finished: 11:20am
Inspection Fee: \$349.00
Payment method: Check
Present during inspection: Client(s), Realtor(s)
Occupied: No
Weather conditions: Clear
Temperature: Cool
Ground condition: Dry
Front of structure faces: North
Main entrance faces: North
Foundation type: Slab on grade

1)  This property has one or more fuel burning appliances, and no carbon monoxide alarms are visible. This is a safety



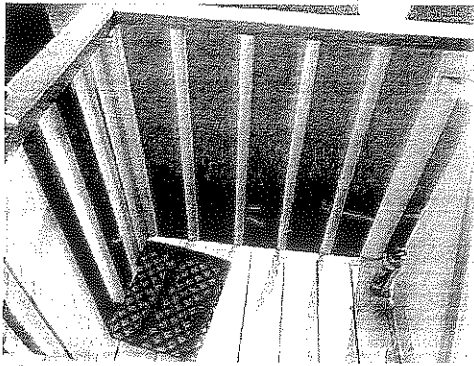


Photo 23

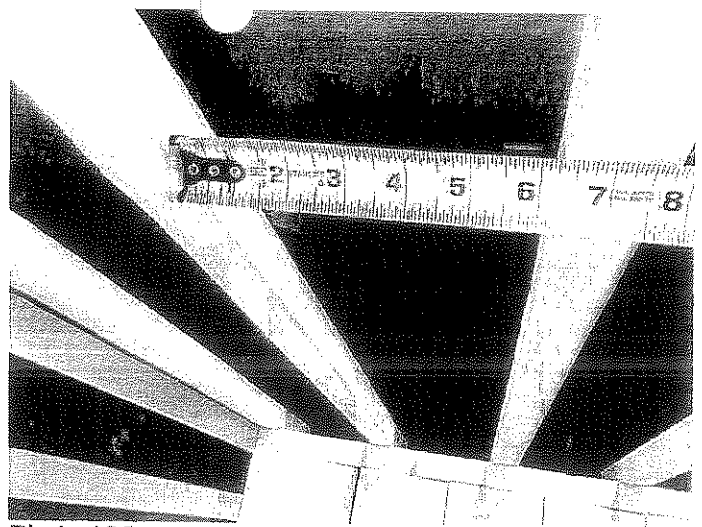


Photo 186

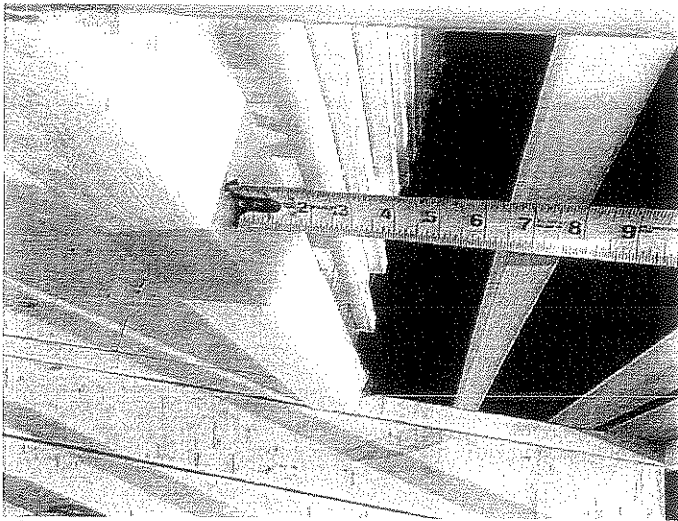




Photo 187

8)   Non-metallic sheathed wiring is routed in one or more areas so it is subject to damage, such as on wall or ceiling surfaces. The insulation can be damaged by objects coming in contact with it and/or it being repeatedly moved. This is a safety hazard due to the risk of shock and fire. A qualified electrician should evaluate and repair as necessary. For example, rewire using conduit, or re-routing through wall cavities.

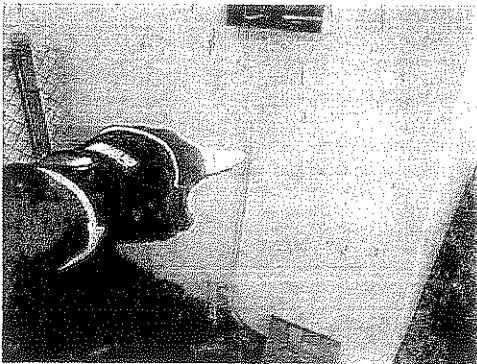




Photo 39

9)   Handrail(s) at some stairs are ungraspable and are a safety hazard. Handrails should be sized and shaped so your hand can encircle them. A qualified contractor should make repairs or modifications as necessary. For example, replacing existing handrails or installing additional handrails.

Prospective Buyer(s).

- 10 EASY WAYS TO SAVE ENERGY IN YOUR HOME: <http://www.nachi.org/increasing-home-energy-efficiency-client.htm>
- 15 TOOLS FOR HOME MAINTENANCE: <http://www.nachi.org/15-tools.htm>
- HOME MAINTENANCE CHECKLIST/REPAIR:
<http://frugalliving.about.com/od/homemaintenancerepair/a/Home-Maintenance-Checklist.htm>
http://frugalliving.about.com/od/homemaintenancerepair/Home_MaintenanceRepair.htm

Exterior #2700

Limitations: The following items are not included in this inspection: below-grade foundation walls and footings, or those obscured by vegetation or building components; exterior building surfaces or components obscured by vegetation, stored items or debris. Any comments made regarding these items are as a courtesy only. Some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of sump pumps, seismic reinforcement, nor determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing.

In addition, the following items are not included in this inspection: water features and related equipment; playground, recreation or leisure equipment; landscape lighting; areas below exterior structures with less than three feet of vertical clearance; irrigation systems; invisible fencing; sea walls, docks and boathouses. Any comments made regarding these items are as a courtesy only. Note that the inspector does not test or determine the adequacy of drainage systems for grounds, walkways, below-grade stairs and roof downspouts. The inspector does not provide an evaluation of geological conditions and/or site stability, compliance of pool or spa fencing with municipal requirements, or determination that deck, balcony and/or stair membranes are watertight.

Footing material: Poured in place concrete

Foundation material: Poured in place concrete


Apparent wall structure: Wood frame

Wall covering: Stucco

Driveway material: Poured in place concrete

Sidewalk material: Poured in place concrete

Exterior door material: Solid core wood

-
- 5)  One or more trip hazards were found in sidewalk and/or patio sections due to cracks, settlement and/or heaving. A qualified contractor should evaluate and repair or replace sidewalk and/or patio sections as necessary to eliminate trip hazards.

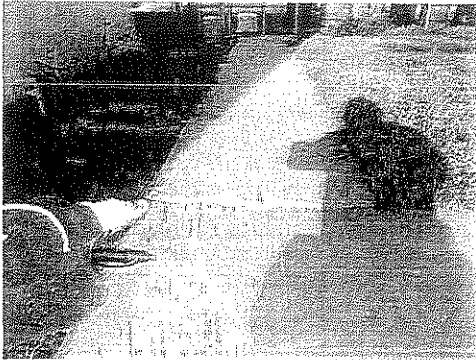



Photo 2



Photo 3

-
- 6)  One or more sets of stairs are wobbly. A qualified contractor should evaluate and repair as necessary, such as installing additional supports and/or diagonal bracing.

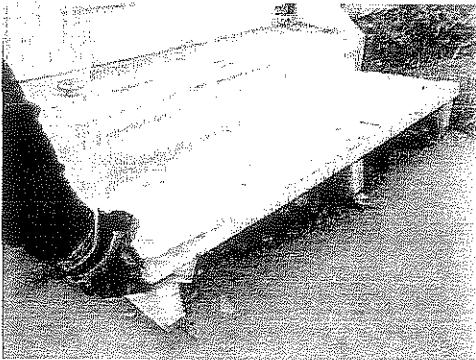



Photo 12

-
- 7)  Gaps larger than four inches were found in one or more guardrails. This is a safety hazard, especially for small children. A qualified contractor should make modifications as necessary so gaps in guardrails do not exceed four inches. For example, installing additional balusters or railing components.

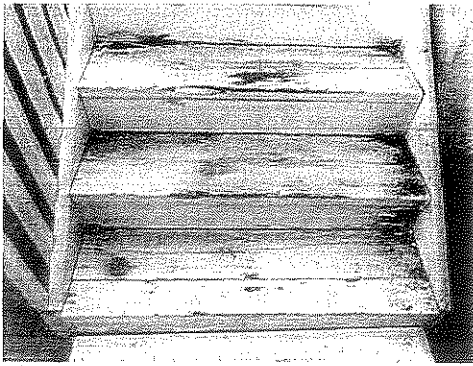


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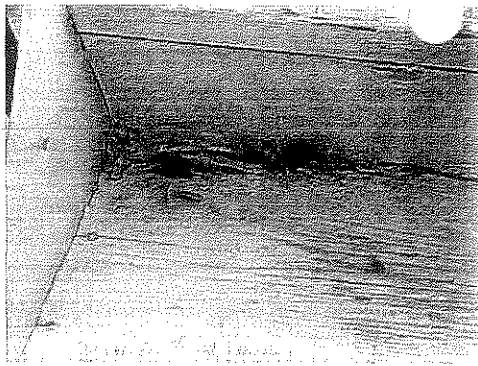


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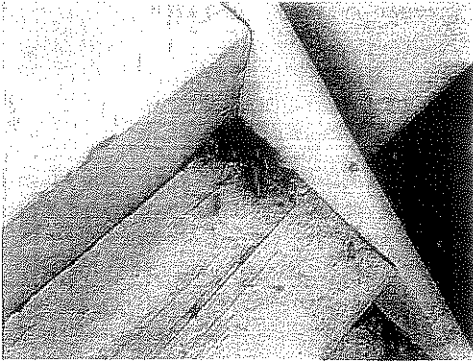


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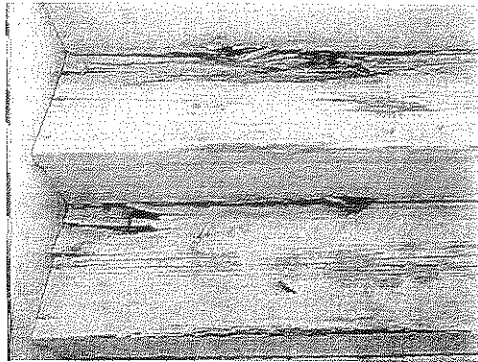


Photo 8

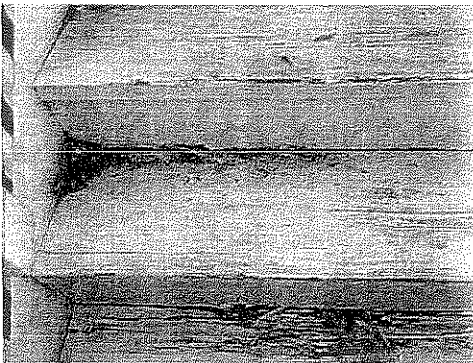


Photo 9



Photo 10



Photo 11

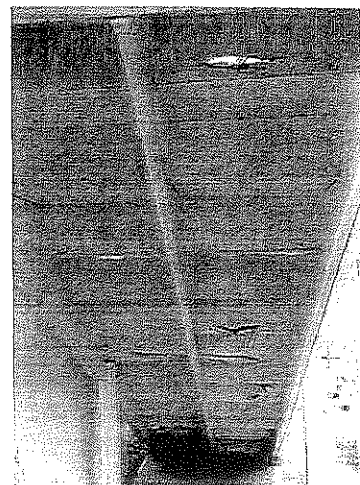



Photo 20

13)  Sidewalks and/or patios have cracks and/or deterioration in one or more areas. A qualified contractor should evaluate and repair or replace sidewalk and/or patio sections as necessary.

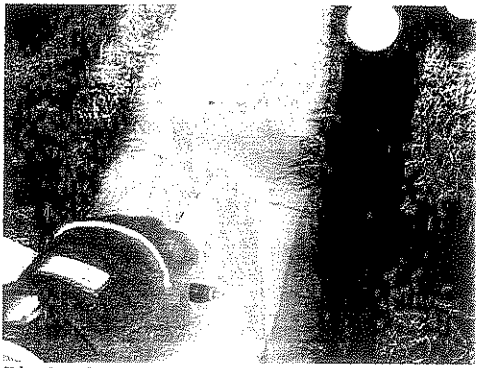


Photo 4

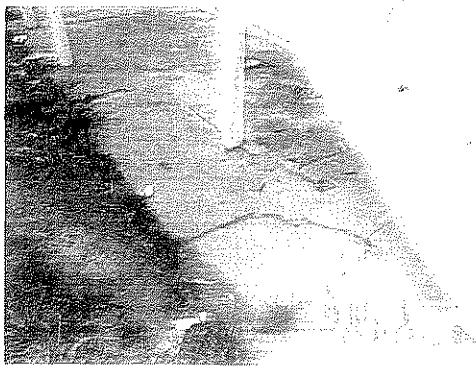


Photo 13

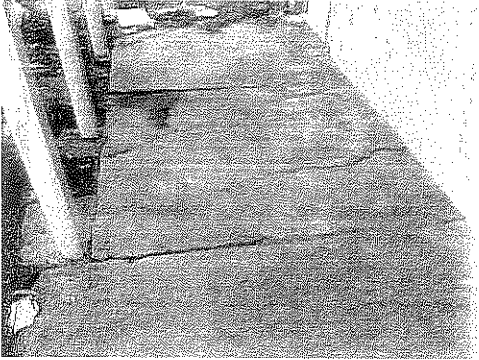




Photo 14

14)  One or more light fixtures are damaged and/or deteriorated. A qualified electrician should evaluate and repair or replace light fixtures where necessary.

Missing cover



Photo 24

15)  The perimeter grading slopes towards the structure in one or more areas. This can result in water accumulating around the structure's foundation, or in basements and crawl spaces if they exist. Accumulated water is a conducive condition to wood destroying insects and organisms. Wet soil may also cause the foundation to settle and possibly fail over time. Recommend grading soil so it slopes down and away from the structure with a slope of at least 5% (10% or better is optimal) for at least 6 feet.



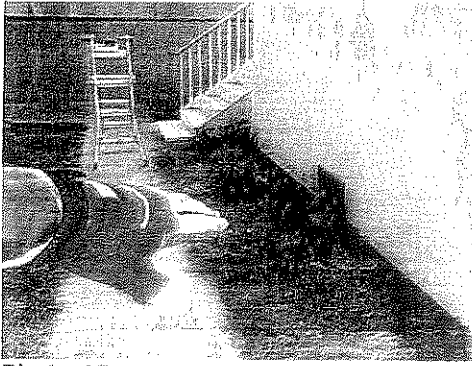


Photo 48

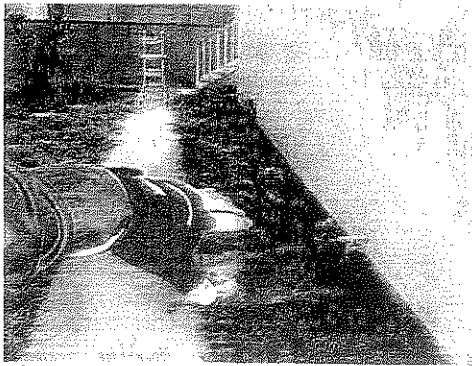




Photo 49

16)   One or more downspouts have no extensions, or have extensions that are ineffective. This can result in water accumulating around the structure's foundation, or in basements and crawl spaces if they exist. Accumulated water is a conducive condition to wood destroying insects and organisms, and may also cause the foundation to settle and possibly fail over time. Repairs should be made as necessary, such as installing or repositioning splash blocks, or installing and/or repairing tie-ins to underground drain lines, so rain water is carried at least several feet away from the structure to soil that slopes down and away from the structure.

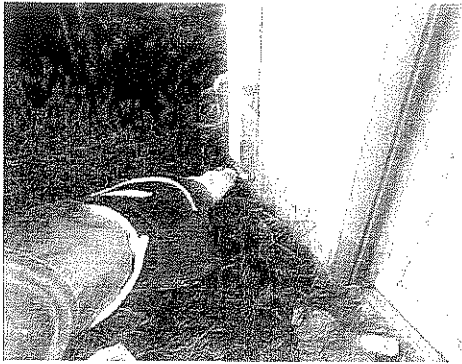




Photo 17

17)   One or more wooden deck support posts are in contact with soil. This is a conducive condition for wood destroying insects and organisms. However no damage from wood destroying insects or organisms was found. Standard building practices require that there be at least 6" of space between any wood and the soil below, even if the wood is treated. If possible, soil should be removed or graded so a 6" clearance is maintained. Otherwise recommend installing borate based Impel rods to prevent rot. For more information, visit: <http://www.google.com/search?q=impel+rods>

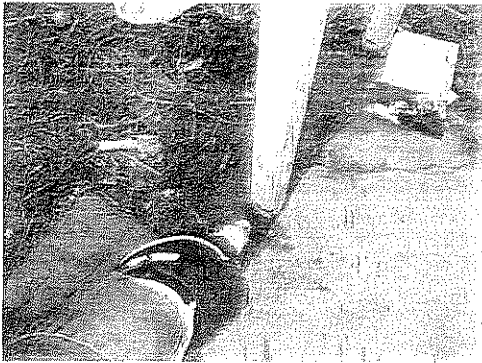



Photo 15



Photo 16

18)  Gaps exist at one or more openings around the exterior, such as those where outside faucets, refrigerant lines, and/or gas supply pipes penetrate the exterior. Gaps should be sealed as necessary to prevent moisture intrusion and entry by vermin.

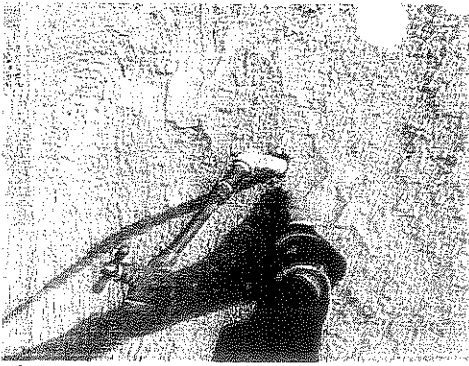


Photo 18

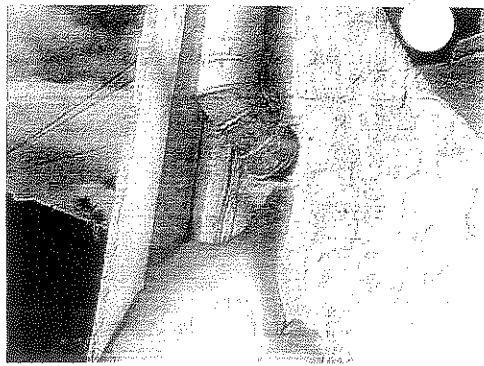



Photo 50

19)  One or more exhaust duct end caps are missing. Their purpose is to prevent unconditioned air from entering the house, and keep out birds, rodents and insects. Blocked ducts can cause fan motors and/or clothes dryers to overheat and may pose a fire hazard. Vent cap(s) should be installed where necessary.

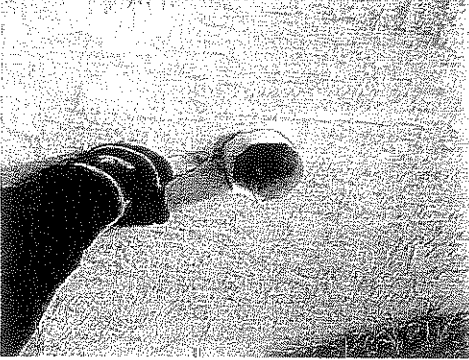



Photo 19

20)  One or more outside faucets leak. For example, from the valve stem when turned on or from the spigot when turned off. A qualified plumber should evaluate and repair as necessary.

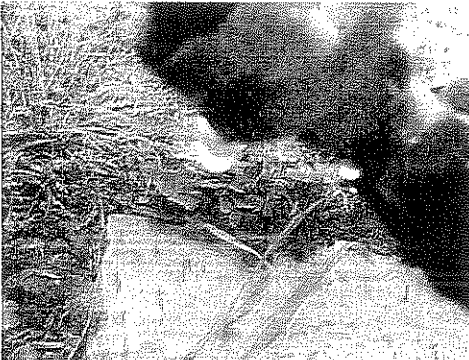


Photo 44

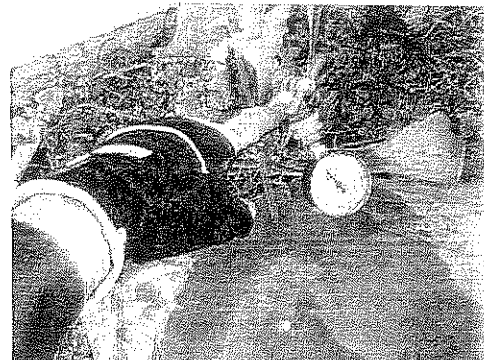



Photo 45

21)  At the time of inspection there appeared to be evidence of infestation of wood destroying insects or organisms (Live or dead insect bodies, shelter tubes, pellets, fungal growth, etc.) Recommend having a qualified pest control specialist evaluate, maintain and/or treat as necessary.

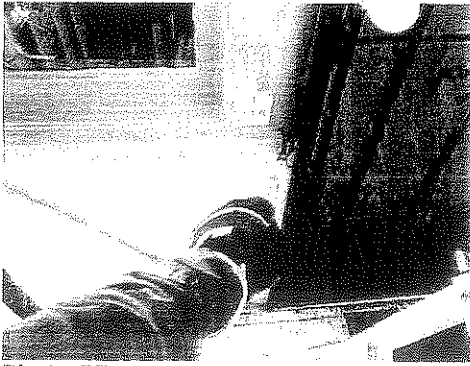


Photo 25

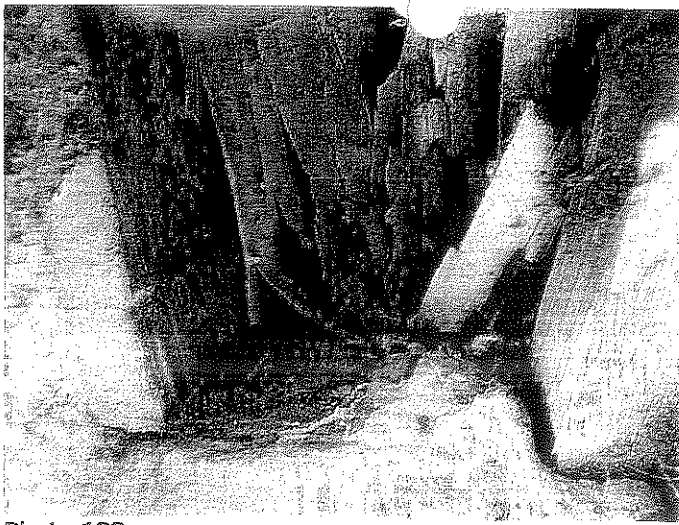


Photo 188

Roof #2700

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation; solar roofing components; any comments made regarding these items are as a courtesy only. The inspector does not provide an estimate of remaining roof surface life, does not determine that the roof has absolutely no leaks at the time of the inspection, and does not determine that the roof won't leak in the future. Only active leaks and evidence of past leaks observed during the inspection are reported on as part of this inspection. To absolutely determine that no leaks exist, complete access to all roof structure areas must be available during a wide variety of weather conditions, including prolonged heavy rain, high wind from varying directions, heavy accumulations of snow and/or ice, and melting snow and ice.



Roof inspection method: Traversed

Roof type: Shed, Flat

Roof covering: Asphalt or fiberglass composition shingles, Rolled

Gutter & downspout material: Galvanized steel

Roof ventilation: Adequate

22)   One or more flashings at parapet walls are deteriorated and/or substandard. These may result in leaks. A qualified roofing contractor should evaluate and repair as necessary.

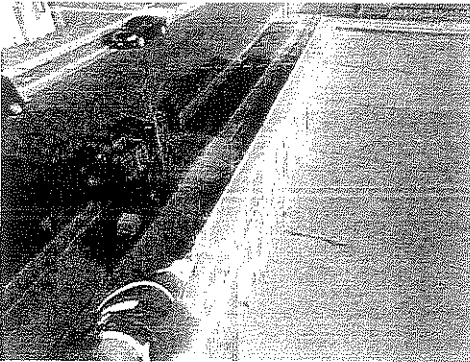


Photo 26

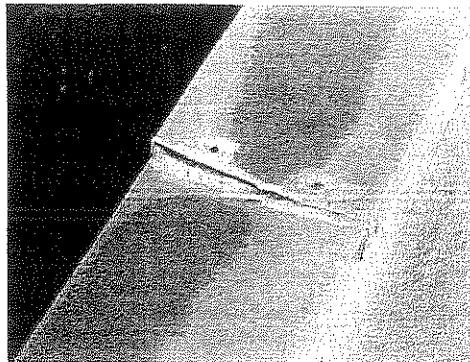




Photo 27

23)   Lead flashing at one or more plumbing vent pipes is improperly installed. For example, shorter than the vent pipe, not bent over the edge of the vent pipe, etc. Properly installed, the flashing should extend up and over the top edge of the pipe, and be bent down into the pipe. Otherwise, rain water may flow between the pipe and the flashing, resulting in leaks. A qualified roofing contractor should make repairs as necessary so flashings are installed as per standard building practices.

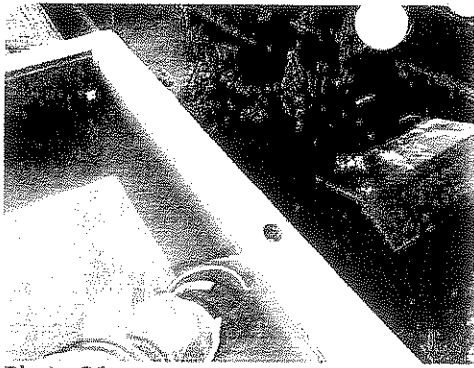




Photo 29



Photo 189

24)   Standing water was found on the flat roof. It should evaporate within 48 hours after it rains. If standing water remains after 48 hours, then the roof installation is likely substandard. A qualified roofing contractor should evaluate and repair if necessary to prevent prolonged standing water.

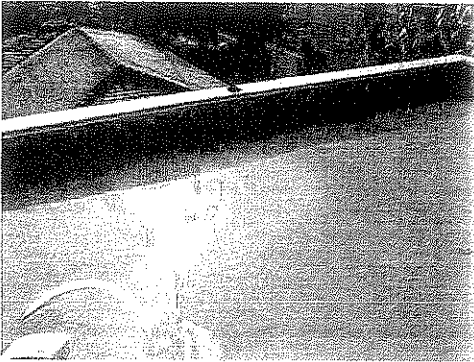


Photo 28

25) ✓

Overall, the roofing material appears to be in serviceable condition.

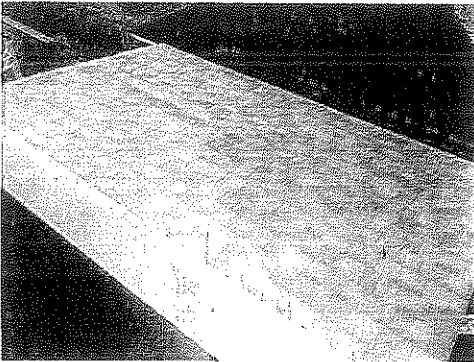


Photo 30

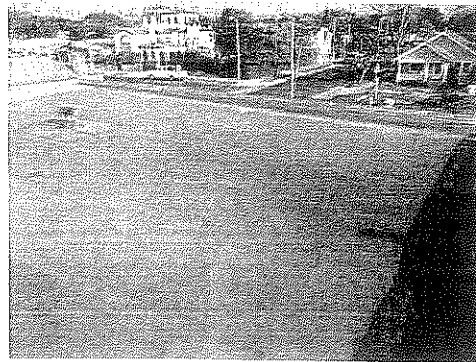


Photo 31

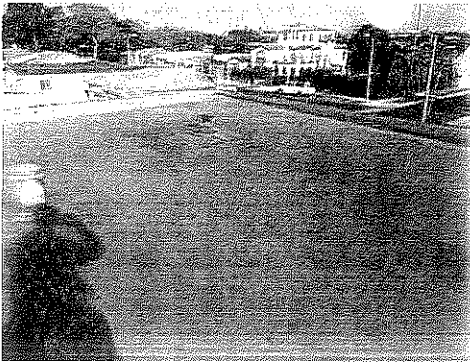


Photo 32

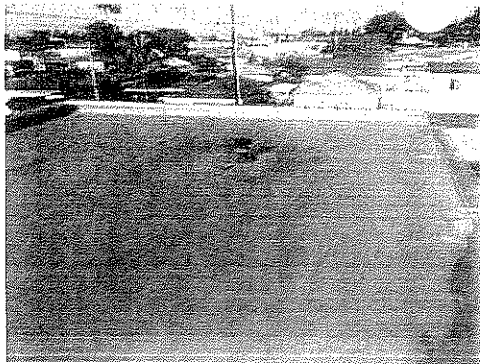


Photo 33

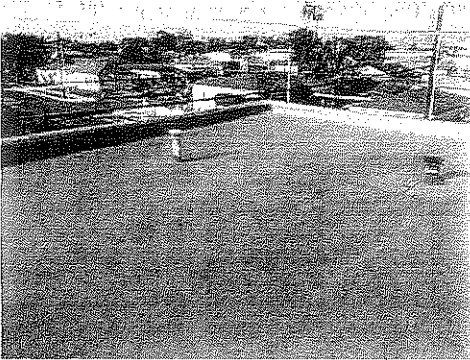


Photo 34

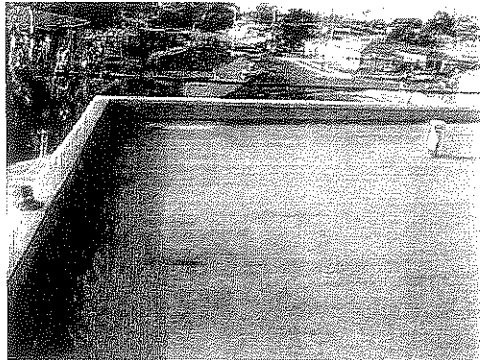


Photo 35

Garage #2700

Limitations: The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.

Type: Attached




Condition of garage vehicle door(s): Required repair, replacement and/or evaluation (see comments below)

Type of garage vehicle door: Tilt

Number of vehicle doors: 2

Condition of garage interior: Required repair or evaluation (see comments below)

Garage ventilation: None visible

26)    Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

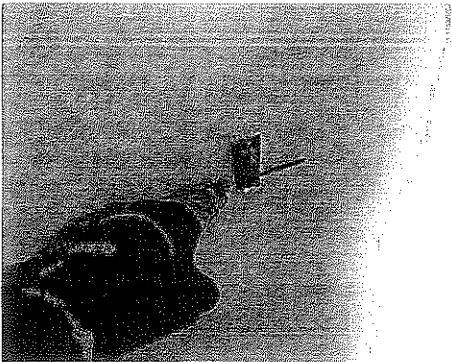





Photo 58

27)    One or more ground fault circuit interrupter (GFCI) electric receptacles did not trip when tested with the inspector's test instrument. These devices should trip when tested with a test instrument in addition to tripping via the test buttons on the receptacles. This is a safety hazard due to the risk of shock. A qualified electrician should evaluate and repair as necessary.

16

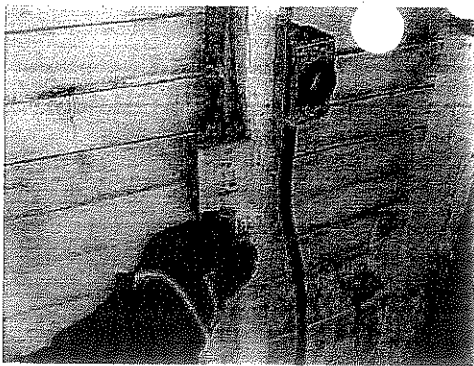



Photo 60

28)  One or more garage electric receptacles appear to have no ground fault circuit interrupter (GFCI) protection. This is a safety hazard due to the risk of shock. A qualified electrician should evaluate to determine if GFCI protection exists, and if not, repairs should be made so that all garage receptacles, except for one for use with a refrigerator or freezer, have GFCI protection. For example, install GFCI receptacles or circuit breaker(s) as needed.

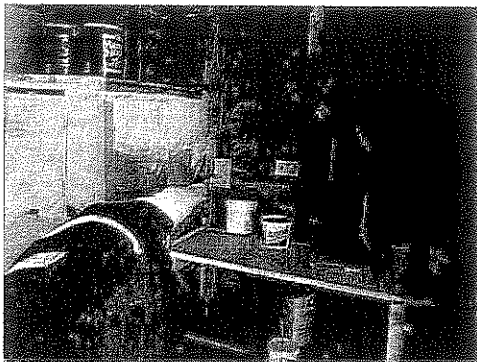


Photo 54



29)  Lamp holders or light fixtures with fully or partially exposed bulbs are installed in one or more closets. This is a safety hazard due to the risk of fire. Flammable stored items may come into contact with hot bulbs, and hot fragments from broken bulbs may fall on combustible materials. Standard building practices require closet lighting to use fluorescent light fixtures, or to use fully enclosed incandescent fixtures. Installing a compact fluorescent lamp in a lamp holder is not an acceptable practice. A qualified electrician should replace closet lights as necessary and as per standard building practices.



Photo 53

30)  One or more gaps, holes were found in the attached garage walls or ceilings. Current standard building practices call for wooden-framed ceilings and walls that divide the house and garage to provide limited fire-resistance rating to prevent the spread of fire from the garage to the house. Recommend that a qualified person repair per standard building practices. For example, by patching openings or holes, firestopping holes or gaps with fire-resistant caulking, and/or installing fire-resistant wall covering (e.g. Type X drywall). For more information, visit: <http://www.reporthost.com/?AGFR>

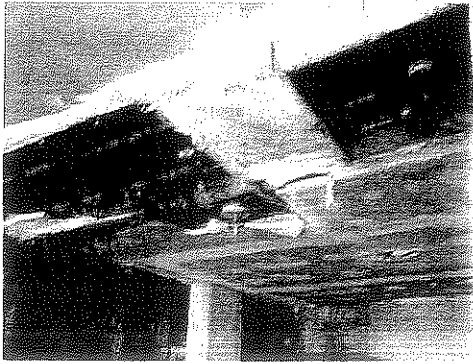



Photo 52



Photo 55

31)  One or more exterior entrance doors are damaged and/or deteriorated and should be repaired or replaced by a qualified contractor.

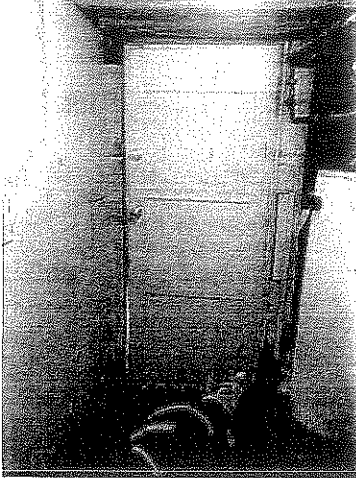



Photo 62

32)  The weatherstrip around one or more exterior entry doors is missing and/or deteriorated. Weatherstrip should be installed where missing and/or replaced where deteriorated, and by a qualified contractor if necessary.

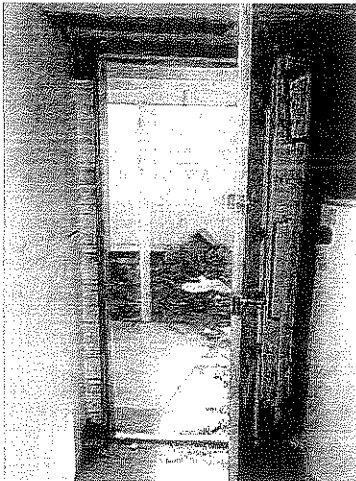



Photo 59

33)  Seismic reinforcements such as anchor bolts, hold-downs and/or metal straps were missing in one or more locations. A qualif

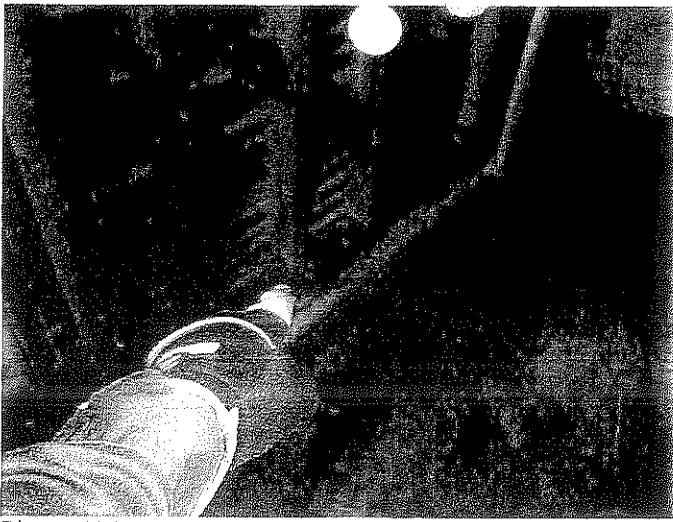


Photo 191

34) 🔍 Weatherstrip at the sides and/or bottom of the vehicle door is missing. It should be installed where missing to prevent water and vermin intrusion.

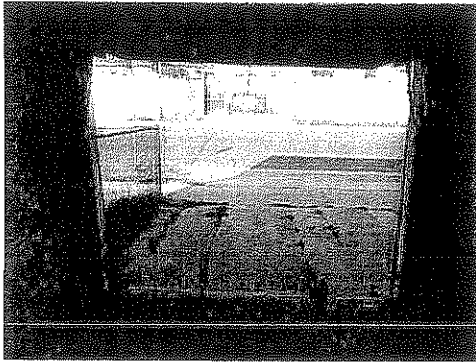


Photo 63



Photo 64

35) 🔍 One or more garage vehicle doors were difficult or unable to open or close. Vehicle doors should open and close smoothly and easily. A qualified person should evaluate and repair as necessary. This may require lubrication or repair to hardware such as rollers or brackets.

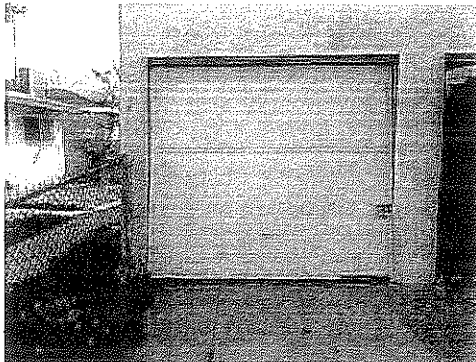


Photo 65

36) 🔍 Cracks or deterioration were found in walls in one or more areas. They do not appear to be a structural concern, but the client(s) may wish to repair these for aesthetic reasons.



Photo 66

Attic #2700


Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation; solar roofing components; any comments made regarding these items are as a courtesy only. Note that the inspector does not determine if rafters, trusses, joists, beams, etc. are of adequate size, spanning or spacing.

Inspection method: Viewed from hatch

Roof structure type: Rafters

Ceiling structure: Ceiling beams

Insulation material: None visible

37)  One or more sections of wiring that weren't terminated were found. This is a potential safety hazard due to the risk of shock. A qualified electrician should evaluate and repair as necessary. For example, cutting the wire to length and terminating the wire with wire nuts in a securely anchored, covered, properly sized junction box.

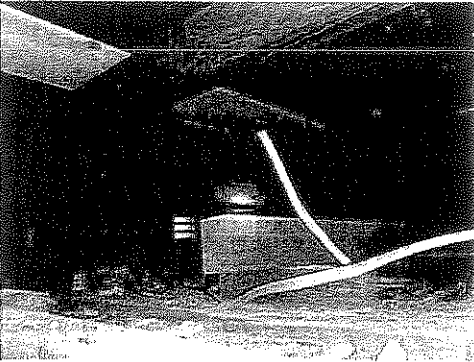


Photo 76


38)  No ceiling insulation is installed in the attic. A qualified contractor should install insulation for better energy efficiency and as per standard building practices with an R rating recommended for this area.



Photo 68

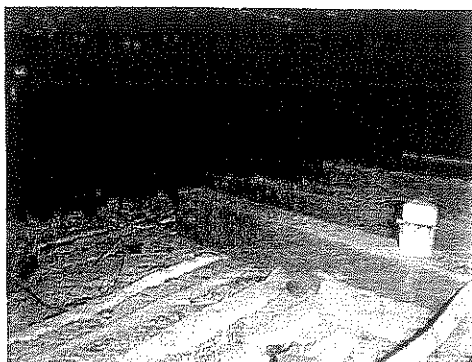


Photo 69

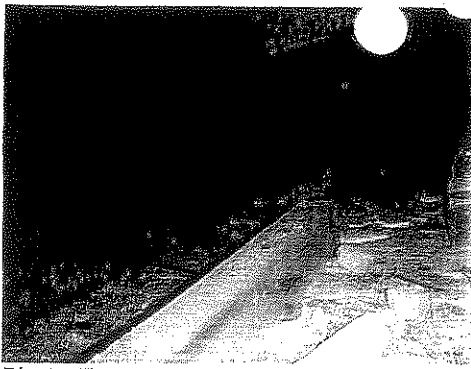


Photo 70



Photo 71

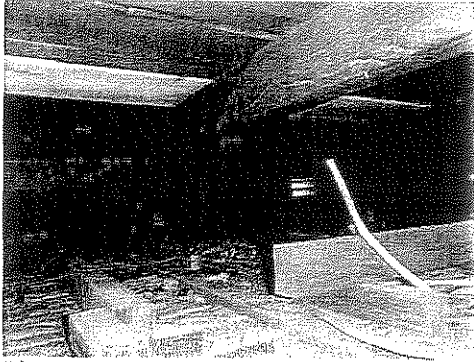


Photo 72

39) Ⓢ Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection.

Electric service #2700

Limitations: The following items are not included in this inspection: generator systems, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, does not determine if this system has an adequate capacity for the client's specific needs, nor determine if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, install or change light bulbs, nor determine the operability of every wall switch.

Primary service type: Overhead

Primary service overload protection type: Circuit breakers

Service amperage (amps): 100

Service voltage (volts): 120/240

Location of main service switch: West

Location of main disconnect: Breaker at top of main service panel

Service entrance conductor material: Copper

System ground: Ground rod(s) in soil

Main disconnect rating (amps): 100

Branch circuit wiring type: Non-metallic sheathed

Solid strand aluminum branch circuit wiring present: No

40) ⚡ One or more loose conductors in the main service panel have bare ends and are not connected to an overcurrent protection device (circuit breakers or fuses). This is a safety hazard due to the risk of fire if the bare conductors come into contact with other components in the panel. A qualified electrician should evaluate and repair as necessary. For example, removing wires that aren't terminated or installing wire nuts.

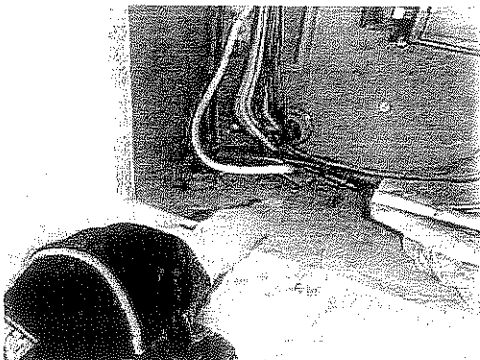



Photo 40

21

41)  This property has "knob and tube" wiring, which was commonly installed prior to 1950. It is ungrounded, and considered unsafe by today's standards. Over time, the wire's insulation may become brittle and fall apart or wear thin, resulting in exposed conductors and a risk of shock and/or fire. This wiring is also easily damaged by covering it with insulation (a common practice), and incorrectly tapping new wiring into it.

The inspector did not find any energized knob and tube wiring during the inspection. However this is no indication that all the knob and tube wiring has been abandoned. It is not within the scope of this inspection to determine what percentage of this property's wiring is of the knob and tube type, or to determine what percentage of the knob and tube wiring is energized vs. abandoned. A qualified electrician should evaluate this wiring and make repairs or replace wiring if necessary.



Photo 73

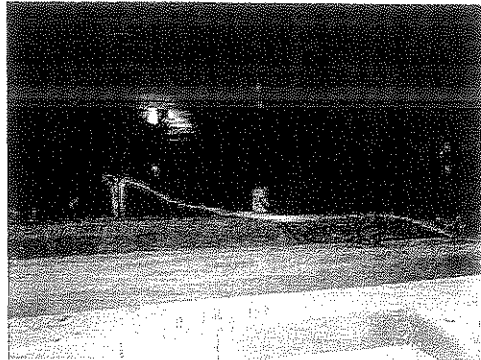



Photo 74



Photo 75

42)  The legend for overcurrent protection devices (breakers or fuses) in the main service panel is missing, unreadable or incomplete. Recommend installing, updating or correcting the legend as necessary so it's accurate. Evaluation by a qualified electrician may be necessary.

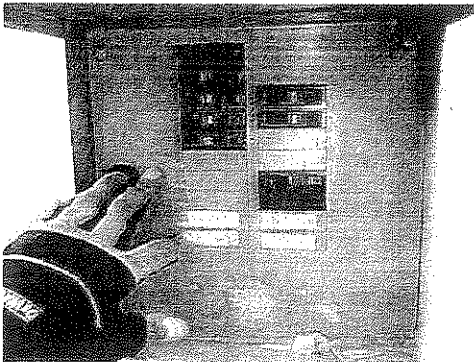



Photo 42

43)  Location of main service switch: West

77

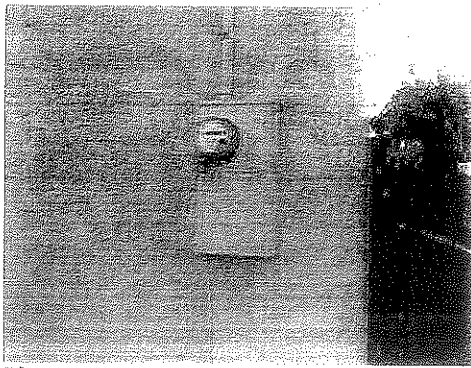


Photo 38

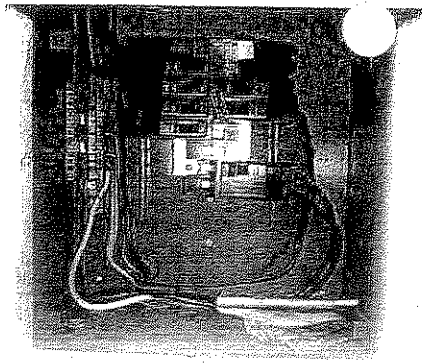


Photo 41

Water heater #2700

Limitations: The following items are not included in this inspection: solar water heating systems; circulation systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit.

Estimated age: 2010

Type: Tank

Energy source: Natural gas

Capacity (in gallons): 38

Manufacturer: General Electric



44)  The water heater does not have seismic straps or struts installed. This is a potential safety hazard since movement can cause leaks in the gas supply lines or damage wiring. Leaks may also occur in water supply pipes. A qualified contractor should install seismic straps or struts as necessary and as per standard building practices.



Photo 57

45)  No drain line is installed for the temperature-pressure relief valve. This is a potential safety hazard due to the risk of scalding if someone is standing next to the water heater when the valve opens. A qualified plumber should install a drain line as per standard building practices. For example, extending to 6 inches from the floor, or routed so as to drain outside.

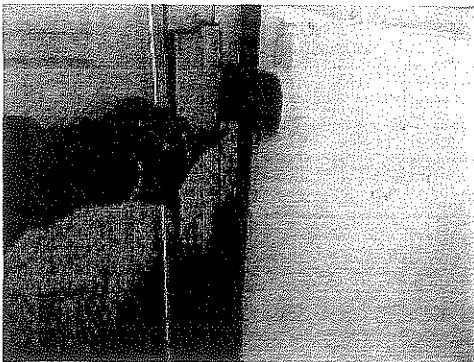


Photo 61

46) 🔍

The water heater appears to be in serviceable condition.



Photo 56

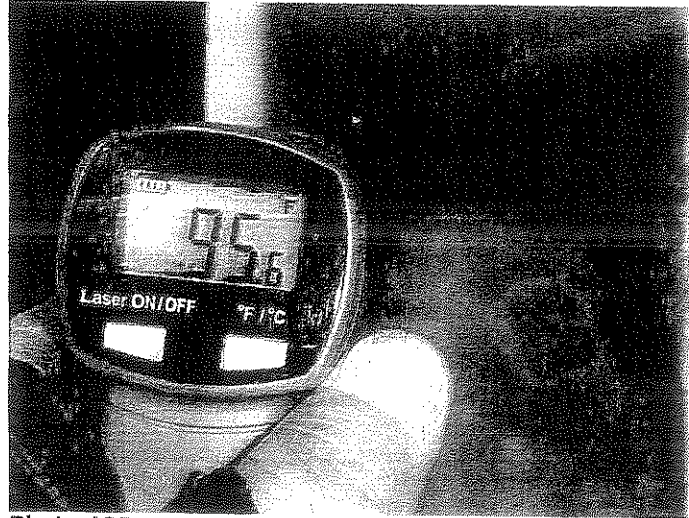


Photo 192

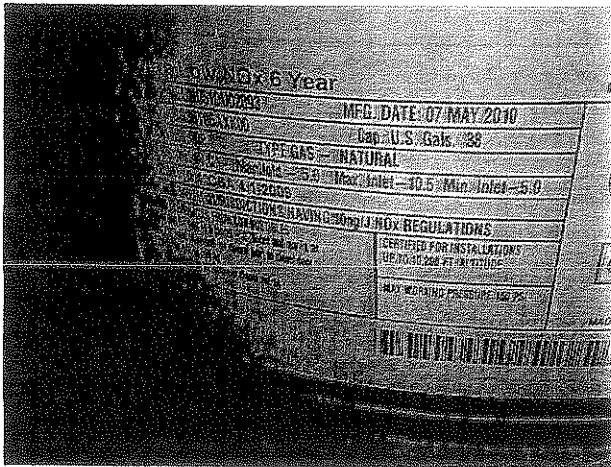


Photo 200

47) 🔍 No drip leg is installed on the water heater gas supply line. Drip legs are intended to trap oil, scale, water condensation and/or debris from the gas supply lines before they reach and damage the water heater components. A qualified contractor should install a drip leg as per standard building practices.
• Note that depending on the quality of the gas being delivered in some municipalities, the installation of a drip leg or dirt leg may not be required by local officials.

24

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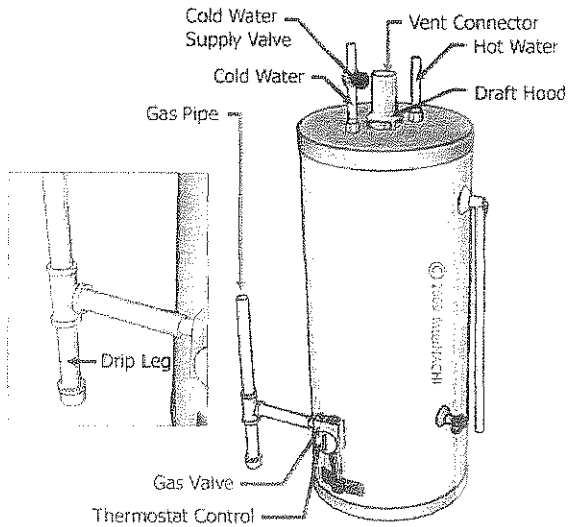


Photo 201

Heating and cooling #2700

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating system components, does not determine if heating systems are appropriately sized, or perform any evaluations that require a pilot light to be lit. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks.

In addition, the following items are not included in this inspection: Cooling components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on cooling system components, does not determine if cooling systems are appropriately sized, and does not test coolant pressure. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future.

Primary heating system energy source: Natural gas

Primary heat system type: Gravity

48) Ⓢ The furnace was shut off at the time of the inspection. For example, the gas supply was shut off, the pilot light was out, and/or the electric supply was turned off. As a result, the inspector was unable to fully evaluate this unit.



Photo 78

49) Ⓢ The estimated useful life for most furnaces is 15 to 20 years. This furnace appears to be at this age or older and may need replacing at any time. Recommend budgeting for a replacement in the near future.

25

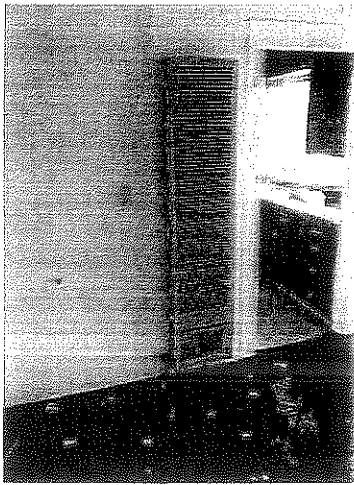


Photo 77

Plumbing and laundry #2700

Limitations: The following items are not included in this inspection: private wells and sewage disposal systems; main, side and lateral sewer lines; gray water systems; pressure boosting systems; incinerating or composting toilets; fire suppression sprinkler systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated, does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Water pressure (psi): 85psi

Location of main water shut-off valve: North

Location of main water meter: North

Location of main fuel shut-off: South

Water service: Public


Service pipe material: Copper

Supply pipe material: Copper, Galvanized steel

Vent pipe material: Galvanized steel

Drain pipe material: Plastic, Galvanized steel

Waste pipe material: Cast iron

50)  The water supply pressure is greater than 80 psi. Pressures above 80 psi may void warranties for some appliances such as water heaters or washing machines. Flexible supply lines to washing machines are more likely to burst with higher pressures. Typically the pressure cannot be regulated at the water meter. Recommend having a qualified plumber evaluate and make modifications to reduce the pressure below 80 psi. Installing a pressure reducing valve on the main service pipe is a common solution to this problem. If one exists, then it should be adjusted for lower pressures.

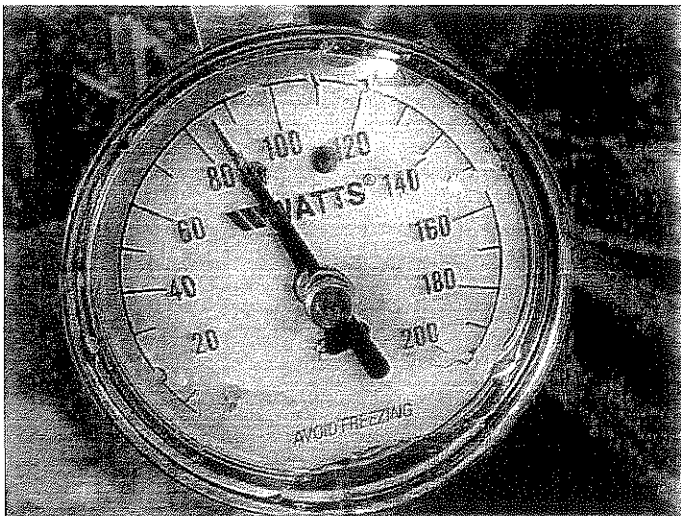



Photo 190

51)  Some, most, or all of the water supply pipes in this structure are made of galvanized steel. Based on the age of this structure, these pipes may be nearing or may have exceeded their estimated useful life of 40 to 60 years. Internal corrosion

26

and rust can reduce the inside diameter of these pipes over time, resulting in reduced flow and eventually, leaks. The inspector performed a "functional flow test" during the inspection where multiple fixtures were run simultaneously, and found the flow to be adequate. For example, the shower flow didn't decrease substantially when the toilet was flushed. Despite this, and because of their apparent age, these pipes may need replacing at any time.

52) ①



Photo 43

• Location of main fuel shut-off: South



Photo 46

• Location of main water shut-off valve: North

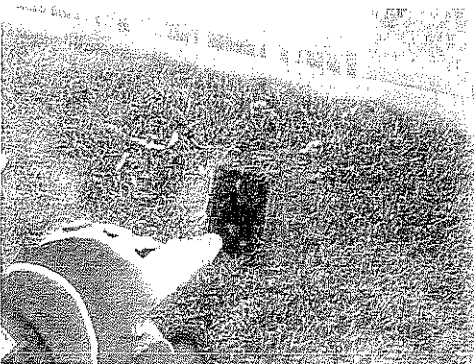


Photo 47

• Location of main water meter: North

Kitchen #2700

Limitations: The following items are not included in this inspection: free-standing or portable appliances such as dishwashers, trash compactors, refrigerators, freezers, ice makers; specialty appliances such as hot water dispensers, water filters and trash compactors; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances such as dishwashers, garbage disposals, trash compactors, ovens, broilers, etc.

53) ⚡🔍 One or more electric receptacles have reverse-polarity wiring, where the hot and neutral wires are reversed. This is a safety hazard due to the risk of shock. A qualified electrician should evaluate and make repairs as necessary.

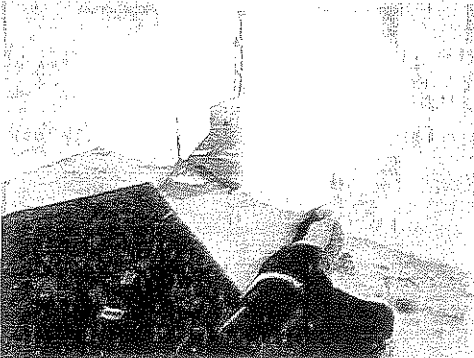


Photo 87

54) ⚡🔍 One or more electric receptacles that serve countertop surfaces within six feet of a sink appear to have no ground fault circuit interrupter (GFCI) protection. This is a safety hazard due to the risk of shock. A qualified electrician should evaluate to determine if GFCI protection exists, and if not, repairs should be made so that all receptacles that serve countertop surfaces within six feet of sinks have GFCI protection. For example, install GFCI receptacles or circuit breaker(s) as needed.



Photo 84



Photo 85

55) ⚠️ Cover plate(s) are missing from one or more electric boxes, such as for receptacles, switches and/or junction boxes. They are intended to contain fire and prevent electric shock from exposed wires. This is a safety hazard due to the risk of fire and shock. Cover plates should be installed where missing.

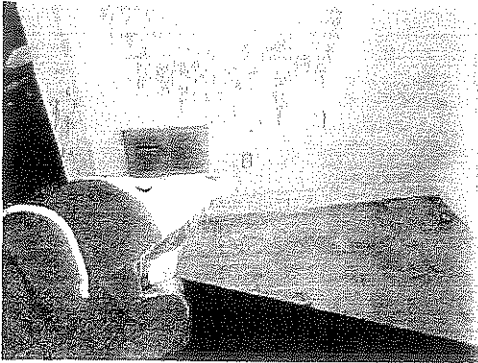


Photo 90

56) 🔧 One or more cabinets and/or drawers are damaged and/or deteriorated. A qualified contractor should evaluate and repair or replace cabinets and/or components as necessary.

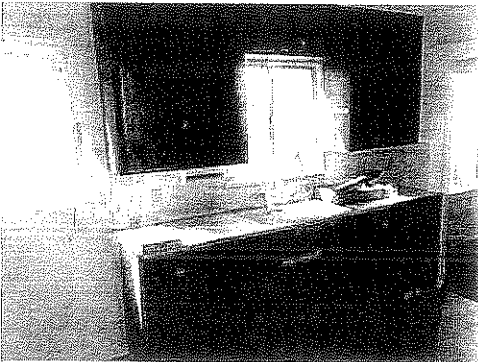


Photo 79

57) 🔧 Countertops are damaged and/or deteriorated in one or more areas. A qualified contractor should evaluate and repair or replace countertops as necessary.



Photo 80