



PLANNING COMMISSION STAFF REPORT

PUBLIC HEARING: September 28, 2021

SUBJECT: Conditional Use Permit (CUP) No. 1112-21

APPLICANT: The Boy & The Bear – Coffee Roastery
 c/o: Andres Piñeros
 350 N. Pacific Highway
 Redondo Beach, CA 90277

PROPERTY OWNER: Richard Walker Trust
 P.O. Box 2128
 Palos Verdes, CA 90274

REQUEST: Consider approval of a CUP No. 1112-21 for a proposed coffee roasting operation and an online fulfillment center for wholesale roasted coffee

PROPERTY INVOLVED: 139 W. Victoria Street

COMMISSION ACTION

AYE	NO		AYE	NO	
		Chairperson Thomas			Monteclaro
		Vice Chair Palmer			D. Thomas
		Diaz			Rashad
		Guerra			
		Huff			Alt. Docdocil Alt. Hernandez Alt. Wilson

Item No. 6A

I. Introduction

Property Owner

Richard Walker Trust
P.O. Box 2128
Palos Verdes, CA 90274

Applicant

Andres Pineros, The Boy & The Bear
350 N. Pacific Coast Highway
Redondo Beach, CA 90277

II. Project Description

The applicant requests approval of CUP No. 1112-21 to develop and operate a coffee roasting facility and an online fulfillment center for wholesale roasted coffee in a 1,500 square foot suite at an existing facility in the MH-D (Manufacturing Heavy, Design Review) zone.

The proposed coffee roasting operation requires a CUP per Carson Municipal Code (CMC) Section 9141.1 (coffee roasting). The valuation for the proposed tenant improvements is less than \$50,000 and therefore not subject to Site Plan and Design Review per CMC 9172.23B(a) (Any construction of a new building or structure having an estimated valuation of \$50,000 or more).

The Boy and The Bear (TB&TB) specialty coffee roastery was established in 2012 and has three café locations: Redondo Beach, Culver City and Westchester. The proposed roasting facility in Carson will serve only as an online wholesale order fulfillment center for its onsite roasted coffees.

III. Project Site and Surrounding Land Uses

The subject property is in the MH-D (Manufacturing Heavy – Design Review) Zone and is designated Heavy Industrial under the Land Use Element of the General Plan and General Plan Map. The site is located approximately 180 feet west of the intersection of Victoria and Main Streets and is approximately 250 feet to residential development to the east.

The following table provides a summary of site information:

Site Information	
General Plan Land Use	Heavy Industrial
Zone District	MH-D (Manufacturing, Heavy; Design Review)
Site Size	1.11 acres
Present Use and Development	Various industrial use tenants
Surrounding Uses/Zoning	North: Heavy Industrial, MH-D South: Light Industrial, ML-D East: Heavy Industrial, MH-D West: Heavy Industrial, MH-D
Access	Ingress/Egress: Victoria Street

IV. Analysis

Site History

The site is in a predominantly industrial area, surrounded by a mix of warehouse and office uses and a residential community to the east of the subject property. The subject 18,383 square foot building was constructed in 1966 and has numerous tenant spaces/suite with a variety of industrial uses including a machine shop, printing shop, wholesale plumbing supplier and logistics facilities. The site itself has a landscaped parkway with sidewalks fronting Victoria Street and parking to the rear of the building.

Proposed Use

The applicant proposes tenant improvements to a 1,500 square foot suite that include the installation of coffee roasting equipment. Coffee roasting of 150 to 320 pounds of coffee per week will take place primarily on Monday and Fridays between the hours of 7:00am and 5:00pm. Only one roaster will be used, with an afterburner. Afterburners drastically reduce smoke, odor, fine particulate, carbon monoxide (CO) and volatile organic compounds (VOC) created during the coffee bean roasting process. The result is a clean exhaust stream, virtually free of smoke and odor. The applicant anticipates a maximum of three employees on site for roasting and fulfillment activities.

The coffee roasting machine is made by Mill City Roaster

<https://millcityroasters.com/shop/coffee-roasters/20kg-gas-coffee-roaster/>

The After Burner is manufactured by Clean Stream.

<https://coffeeroasterafterburners.com/index.html>.

The applicant must secure additional permits noted here and included as conditions of approval:

- State of California Department of Public Health, Food and Drug Branch, Processed Food Registration
- Los Angeles County Public Health Plan Check – Wholesale Food
- Los Angeles County Public Health Permit
- South Coast Air Quality Monitoring District (SCAQMD) – Air Quality Permit

According to the SCAQMD's Rule 1302, coffee roasting facilities are not a major polluting facility. The required Air Quality Permit is for the equipment (roaster and afterburner), not the coffee roasting itself. The equipment must meet Best Available Control Technology (BACT) requirements, utilizing the most stringent emission limitation or control technique achieved in practice for such an emission source, in this instance coffee roasting. Given the SCAQMD's requirements, there is no anticipated effect on air quality.

Site Plan

The property was developed in 1966 prior to the adoption of the CMC. The site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development.

The existing industrial building includes a total building footprint of 18,338 square feet and covers three parcels (APNs 7739-004-012, 7739-004-13 and 7739-014).

Off-Site Improvement

The project is not subject to off-site improvements and no capital improvement projects are proposed fronting the subject property at this time.

Access

One driveway located along Victoria Street provides access to the site for delivery trucks expected to be one truck twice per week.

Parking

Based on the CMC requirements, three parking spaces are required for the proposed use. The site has approximately 60 stalls with adequate ADA (American Disability Act) accessible parking space.

Water Supply

The Los Angeles County Fire Department – Land Development Unit approved the project subject to final plan check approval from Fire Prevention Engineering.

Building and Architecture

Constructed in 1966, the existing building consists of a redbrick façade with windows symmetrically placed throughout. The center of the building is two-stories while the right and left wings are high ceilinged one-story buildings.

Signage

No signage is being proposed for the property at this time.

Fencing

No new fencing is proposed.

Landscaping

The existing project site includes existing landscaping within the front parkway. The Department of Public Works' arborist reviewed the project and required no additional landscaping

V. CFD/DIF Discussion

On April 16, 2019, the City Council adopted Ordinance No. 19-1931 to implement the City's Interim Development Impact Fee (IDIF) Program. In accordance with this IDIF program, the project is exempt due to the scope of work limited to tenant improvements.

The City adopted Community Facilities District (CFD) 2018-01 to finance the ongoing costs of law enforcement, street and sidewalk maintenance, landscape maintenance, street sweeping and sidewalk cleaning, and other eligible impacts of the Project within the CFD. Based on the adopted CFD, the project is exempt due to the scope of work limited to tenant improvements.

VI. Zoning and General Plan Consistency

The proposed project is consistent with the standards of the Manufacturing Heavy (MH) zoning designation and Heavy Industrial General Plan land use designation and will remain consistent with the surrounding uses.

VII. Environmental Review

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Class 1 – Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

VIII. Public Notice

Notice of public hearing was posted to the project site on September 16, 2021 and notices were mailed to property owners and occupants within a 750-foot radius on September 16, 2021. The agenda was posted at City Hall 72 hours prior to the Planning Commission Meeting.

IX. Recommendation

That the Planning Commission:

- **ADOPT** Resolution No. 21-_____, entitled “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARSON APPROVING CONDITIONAL USE PERMIT NO. 1112-21 FOR A PROPOSED COFFEE ROASTING AND AN ONLINE FULFILLMENT CENTER FOR WHOLESALE ROASTED COFFEE AT 139 W. VICTORIA STREET.”

X. Exhibits

1. Draft Resolution
 - A. *Legal Description*
 - B. *Conditions of Approval*
2. Development Plans

Prepared by: Stefanie Edmondson, Senior Planner

CITY OF CARSON
PLANNING COMMISSION
RESOLUTION NO. 21-XXXX

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF CARSON, CALIFORNIA, APPROVING
CONDITIONAL USE PERMIT NO. 1112-21 FOR A
PROPOSED COFFEE ROASTING FACILITY AND ONLINE
FULFILLMENT CENTER FOR WHOLESALE ROASTED
COFFEE AT 139 W. VICTORIA STREET**

WHEREAS, on July 8, 2021, the Department of Community Development received an application from Andres Piñeros of The Boy & The Bear Coffee Roastery, for real property located at 139 W. Victoria Street and described in Exhibit “A” attached hereto, requesting approval of Conditional Use Permit No. 1112-21 to develop and operate a coffee roasting facility, using one roaster and an afterburner, and an online fulfillment center for wholesale roasted coffee in a 1,500 square foot suite at an existing industrial building; and

WHEREAS studies and investigations were made and a staff report with recommendations was submitted, and the Planning Commission, upon giving the required notice, did on the twenty-eighth day of September 2021, conduct a duly noticed public hearing as required by law to consider said conditional use permit. Notice of the hearing was duly posted and mailed to property owners and properties within a 750-foot radius of the project site by September 16, 2021.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF CARSON, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The Planning Commission finds that the foregoing recitals are true and correct, and are incorporated herein by reference.

SECTION 2. The Planning Commission finds that the facts of this matter are as follows:

- a) The proposed project is consistent with the General Plan of the City of Carson. The project site has a General Plan Land Use designation of Heavy Industrial and the proposed coffee roasting operation is compatible with the surrounding areas.
- b) The project site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and operations as a coffee roasting facility and online fulfillment center for onsite roasted coffee.
- c) The proposed development will have adequate street access for pedestrians and vehicles, and adequate capacity for parking and traffic. One driveway located along Victoria Street will provide access to the site for delivery trucks expected twice per week. Based on the City of Carson Municipal Code requirements, three parking spaces are required for the proposed use. Approximately 60 parking stalls are provided onsite, with adequate ADA (Americans with Disabilities Act) accessible space.
- d) There will be adequate water supply for fire protection. The Los Angeles County Fire Department – Land Development Unit approved the project subject to final plan check approval from Fire Prevention Engineering.

- e) Manufacturing Heavy (MH) Zoning allows for intensive operations that include odor and on occasion hazardous characteristics. The odors and emissions produced by the proposed use and development of a coffee roasting facility will be minimal as only one roaster will be used, with an afterburner. Afterburners drastically reduce smoke, odor, fine particulate, carbon monoxide (CO) and volatile organic compounds (VOC) created during the coffee bean roasting process. The result is a clean exhaust stream, virtually free of such emissions. This proposed use and development is compatible with the intended character of the area.
- f) No other criteria are specified for coffee roasting in the Carson Municipal Code.

SECTION 3. The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Class 1 – Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

SECTION 4. Conditional Use Permit No. 1112-21 complies with the City's Zoning Ordinance, including Section 9172.21 (Conditional Use Permit) of the Carson Municipal Code, and is consistent with the City's General Plan.

SECTION 5. The Planning Commission of the City of Carson, pursuant to the findings set forth above, does hereby approve Conditional Use Permit No. 1112-21 for a proposed coffee roasting facility and an online fulfillment center for wholesale roasted coffee at 139 W. Victoria Street, subject to the Conditions of Approval attached hereto as Exhibit "B."

SECTION 6. This decision of the Planning Commission shall become effective and final 15 days after the date of the action unless an appeal is filed in accordance with Section 9173.4 of the Zoning Ordinance.

SECTION 7. The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

APPROVED and ADOPTED this 28th day of September 2021.

CHAIRPERSON

ATTEST:

SECRETARY

Exhibit A

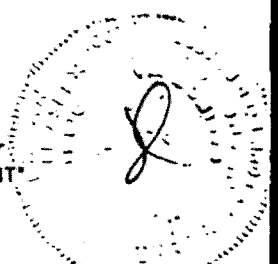
5

LEGAL DESCRIPTION OF THE PROPERTY

THAT PORTION OF LOT 10 OF THE SOUTH GARDENA TRACT, AS PER MAP RECORDED IN BOOK 43, PAGE 39 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 10; THENCE ALONG THE EASTERLY LINE OF SAID LOT 10; NORTH 0° 28' 50" WEST 154.20 FEET; THENCE PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 10, SOUTH 61° 50' 40" WEST 235.29 FEET; THENCE SOUTH 28° 09' 20" EAST 119.56 FEET TO A POINT IN THE NORTHWESTERLY LINE OF THE LAND DESCRIBED AS PARCEL NO. 7-12 IN LOS ANGELES COUNTY SUPERIOR COURT CASE NO. 859766, NOTICE OF PENDENCY OF SAID ACTION WAS RECORDED MAY 13, 1965, IN BOOK M-1861, PAGE 481, OFFICIAL RECORDS OF SAID COUNTY, SAID LAST MENTIONED POINT BEING THE TRUE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE ALONG SAID NORTHWESTERLY LINE SOUTH 61° 50' 40" WEST 71.60 FEET TO A POINT DISTANT THEREON NORTH 61° 50' 40" EAST 240.00 FEET FROM THE WESTERLY LINE OR THE DESCRIBED IN THE DEED TO L & W INVESTMENTS INC., RECORDED ON JULY 6, 1964 AS INSTRUMENT #1151 IN BOOK D2537, PAGE 552 OFFICIAL RECORDS; THENCE NORTH 28° 09' 20" WEST 177.00 FEET, THENCE NORTH 61° 50' 40" EAST 71.60 FEET TO A LINE BEARING NORTH 28° 09' 20" WEST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 28° 09' 20" EAST 177.00 FEET TO THE TRUE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 7339-004-014



**CITY OF CARSON
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

**EXHIBIT "B"
CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT NO. 1112-2021**

GENERAL CONDITIONS

1. Approved CUP No. 1112-21 is for the development and operation of a coffee roasting facility and an online fulfillment center for wholesale roasted coffee in a 1,500 square foot suite at an existing facility in the Manufacturing Heavy-Design Review zone. Tenant improvements include the installation of coffee roasting equipment, including one roaster and an afterburner approved and permitted by the South Coast Air Quality Control Board. A maximum of three employees will roast between 150 to 320 pounds of coffee per week and fill online orders for wholesale roasted coffee between the hours of 7:00 a.m. to 5:00 p.m., Monday through Friday.

Any substantial modification from the permitted operation, including but not limited to non-inclusion of an afterburner approved and permitted by the South Coast Air Quality Control Board, will require review and approval pursuant to Condition No. 10, below.
2. The approved Resolution, including the Conditions of Approval contained herein, and signed Affidavit of Acceptance, shall be copied in their entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans prior to Building and Safety plan check submittal. Said copies shall be included in all development plan submittals, including any revisions and the final working drawings.
3. The applicant and property owner shall sign an Affidavit of Acceptance form and submit the document to the Planning Division within 30 days of receipt of the Planning Commission Resolution.
4. The applicant, property owner, and/or successor to whom these project entitlements are assigned shall submit a complete set of electronic plans that conform to all the Conditions of Approval to be reviewed and approved by the Planning Division prior to the issuance of a building permit.
5. If a building permit for Conditional Use Permit No. 1112-21 is not issued within **two years** of the effective date, said permit shall be declared null and void unless an extension of time is approved by the Planning Commission.
6. The applicant shall comply with all city, county, state, and federal regulations applicable to this project.
7. Additional permits for the coffee roasting operation must be secured by the applicant prior to commencing operations including:
 - State of California Department of Public Health, Food and Drug Branch, Processed Food Registration
 - Los Angeles County Public Health Permit
 - Los Angeles County Public Health Plan Check – Wholesale Food
 - South Coast Air Quality Monitoring District – Air Quality Permit
8. City adopted Ordinance No. 19-1931 to implement the City's Interim Development Impact Fee ("IDIF") Program. In accordance with this IDIF program, the project is exempt due to the scope of work limited to tenant improvements. See the following City webpage for additional information: <http://ci.carson.ca.us/CommunityDevelopment/IDIFProgram.aspx>.
9. City adopted CFD 2018-01 to finance the ongoing costs of the following: law enforcement, street and sidewalk maintenance, landscape maintenance, street sweeping and sidewalk cleaning, and other eligible impacts of the Project within the CFD (the CFD Services). Based on the adopted CFD, the project is exempt due to the scope of work limited to tenant improvements. See the following City webpage for additional information:

<http://ci.carson.ca.us/communitydevelopment/CFD.aspx>.

10. Substantial project revisions will require review and approval by the Planning Commission. Any revisions shall be approved by the Planning Division prior to Building and Safety plan check submittal.
11. A modification of these conditions, including additions or deletions, may be considered upon filing of an application by the owner of the subject property or his/her authorized representative in accordance with Section 9173.1 of the Zoning Ordinance.
12. It is further made a condition of this approval that if any condition is violated or if any law, statute ordinance is violated, this permit may be revoked by the Planning Commission; provided the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty days.
13. Indemnification. The applicant, owner, and tenant(s), for themselves and their successors in interest ("Indemnitors"), agree to defend, indemnify and hold harmless the City of Carson, its agents, officers and employees, and each of them ("Indemnitees") from and against any and all claims, liabilities, damages, losses, costs, fees, expenses, penalties, errors, omissions, forfeitures, actions, and proceedings (collectively, "Claims") against Indemnitees to attack, set aside, void, or annul any of the project entitlements or approvals that are the subject of these conditions, and any Claims against Indemnitees which are in any way related to Indemnitees' review of or decision upon the project that is the subject of these conditions (including without limitation any Claims related to any finding, determination, or claim of exemption made by Indemnitees pursuant to the requirements of the California Environmental Quality Act), and any Claims against Indemnitees which are in any way related to any damage or harm to people or property, real or personal, arising from Indemnitors' operations or any of the project entitlements or approvals that are the subject of these conditions. The City will promptly notify Indemnitors of any such claim, action or proceeding against Indemnitees, and, at the option of the City, Indemnitors shall either undertake the defense of the matter or pay Indemnitees associated legal costs or shall advance funds assessed by the City to pay for the defense of the matter by the City Attorney. In the event the City opts for Indemnitors to undertake defense of the matter, the City will cooperate reasonably in the defense, but retains the right to settle or abandon the matter without Indemnitors' consent. Indemnitors shall provide a deposit to the City in the amount of 100% of the City's estimate, in its sole and absolute discretion, of the cost of litigation, including the cost of any award of attorneys' fees, and shall make additional deposits as requested by the City to keep the deposit at such level. If Indemnitors fail to provide or maintain the deposit, Indemnitees may abandon the action and Indemnitors shall pay all costs resulting therefrom and Indemnitees shall have no liability to Indemnitors.

BUILDING AND SAFETY DIVISION

14. Submit development plans for plan check review and approval.
15. Obtain all appropriate building permits and an approved final inspection for the proposed project.
16. Prior to issuance of building permit, proof of worker's compensation and liability insurance must be on file with the Los Angeles County Building and Safety Division.

FIRE DEPARTMENT

17. The proposed development shall obtain approval and comply with all Los Angeles County Fire Department requirements.

BUSINESS LICENSE

18. All parties involved in the subject project including but not limited to contractors and subcontractors are required to obtain a city business license per Section 6310 of the Carson Municipal Code.

ESTD



2012

THE BOY & THE BEAR

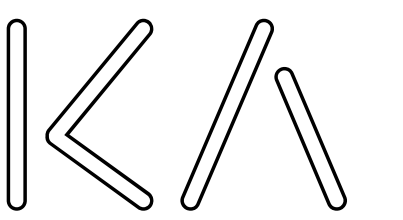
SPECIALTY COFFEE ROASTERY

TB & TB

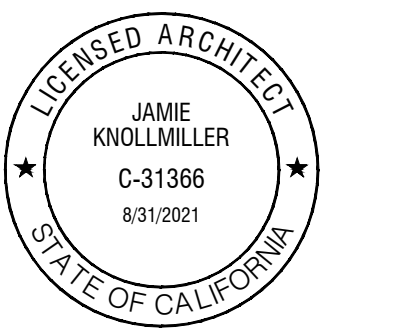
THE BOY & THE BEAR

WHOLESALE & FULFILLMENT CENTER CONDITIONAL USE PERMIT APPLICATION

139 W. VICTORIA STREET, GARDENA, CA 90248



KNOLLMILLER ARCHITECTS



15 DEER CREEK
IRVINE, CA 92604
PH: (213) 445-2300

SCOPE OF WORK

PROJECT DESCRIPTION:

THE SCOPE OF WORK COVERED BY THE CONDITIONAL USE PERMIT APPLICATION INCLUDES:

- PROPOSED 1,500 SF TENANT IMPROVEMENT FOR A WHOLESALE & FULFILLMENT CENTER AND COFFEE ROASTERY
- SUITE LOCATED IN AN EXISTING 1-STORY WAREHOUSE BUILDING.
- EXISTING PARKING AND SITE IMPROVEMENTS TO REMAIN

PROJECT DATA

APM: 7339-004-013

TYPE OF CONSTRUCTION: V-B

SEPARATION WALLS: 1-HOUR

ZONING DISTRICTS: MH-D

LEGAL DESCRIPTION:

SOUTH GARDENA TRACT 1.11 MORE OR LESS ACS COM N ON E LINE OF LOT 10, 154.2 FT AND S 62°20' W 235.29 FT AND N 28°09'20" W 123.53 FT AND W PARALLEL WITH N LINE OF SD LOT 80.85 FT FROM SE COR OF SD LOT TH W PARALLEL WITH SD N LINE 82.2 FT TH S PARALLEL WITH E LINE OF SD LOT 360 FT TH NE ON NW LINE OF VICTORIA ST 240 FT TH N 28°09'20" W 280.64 FT TO BEG PART OF LOT 10

EXISTING BUILDING HEIGHT: 18'-0"

OCCUPANCY CLASSIFICATION: B

SPRINKLERS: NONE

REQUIRED YARDS:

FRONT: 25 FEET

SIDE: 10 FEET

REAR: 10 FEET

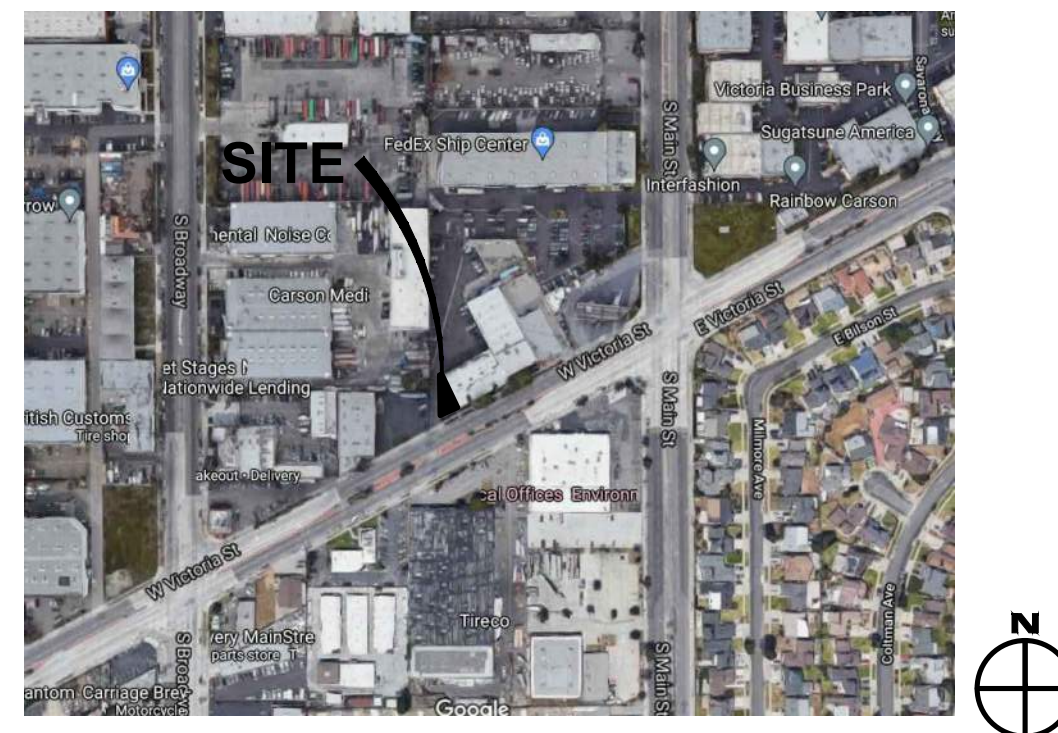
TABULATIONS

SITE AREA: 48,918 SF (1.12 ACRE)

EXISTING OVERALL BUILDING AREA: 18,388 SF

SUITE AREA: 1,500 SF

VICINITY MAP



PROJECT DIRECTORY

OWNER

THE BOY & THE BEAR COFFEE
139 W. VICTORIA STREET
GARDENA, CA 90248

ANDRES PINEROS
562-608-9936
INFO@THEBOYANDTHEBEAR.COM

ARCHITECT

KNOLLMILLER ARCHITECTS, INC
15 DEER CREEK
IRVINE, CA 92604

JAMIE KNOLLMILLER, AIA, LEED AP
213-445-2300
JAMIE@KNOLLMILLER.COM

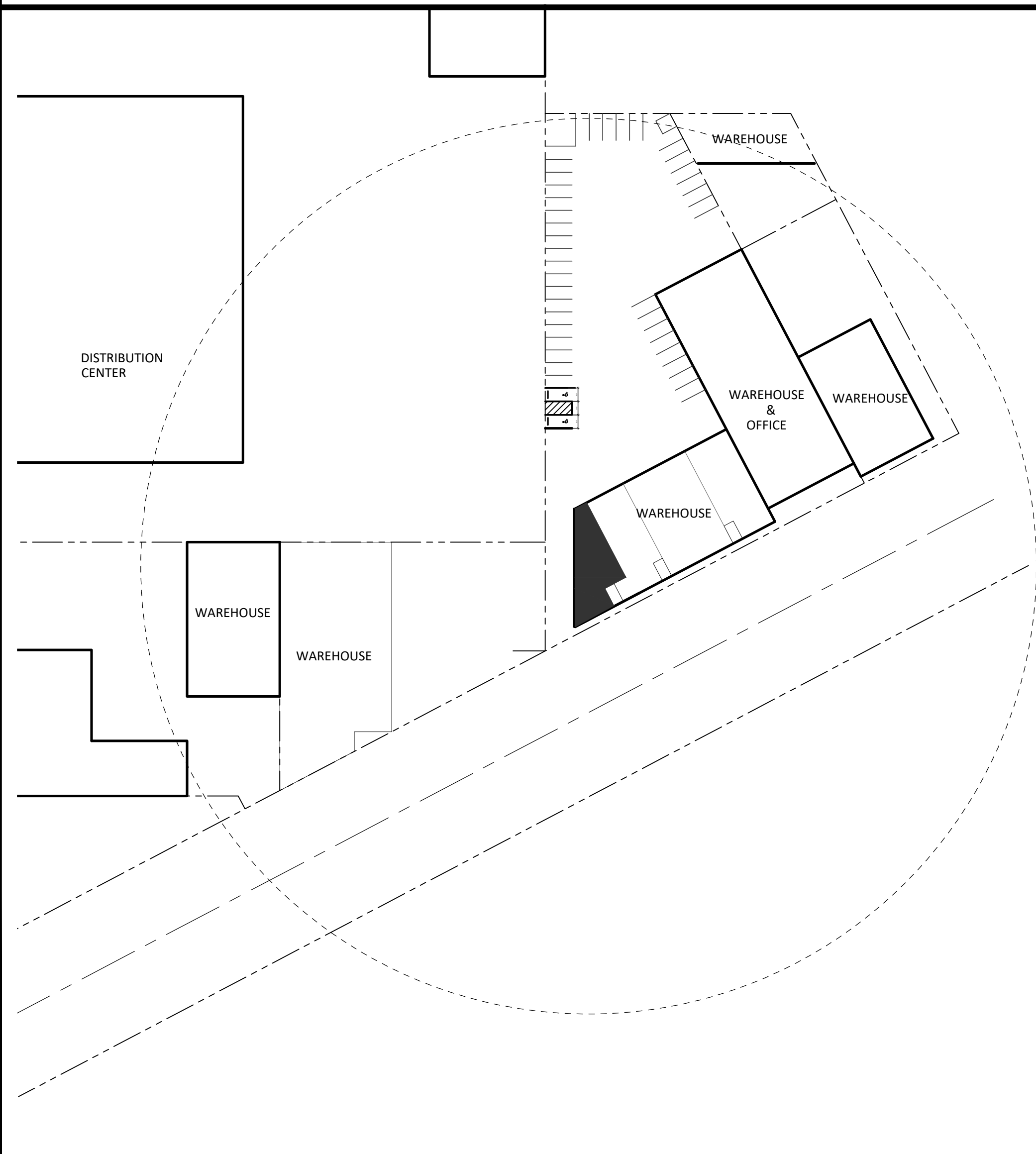
SHEET INDEX

ISSUE	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

ARCHITECTURAL

A0.1 TITLE SHEET, SITE PLAN, SITE UTILIZATION PLAN
A2.1 EXISTING & PROPOSED FLOOR PLANS
A3.0 EXISTING EXTERIOR ELEVATIONS
A4.0 SITE PHOTOS

THE BOY & THE BEAR
WHOLESALE & FULFILLMENT CENTER
CONDITIONAL USE PERMIT
139 W. VICTORIA STREET
GARDENA, CA 90248

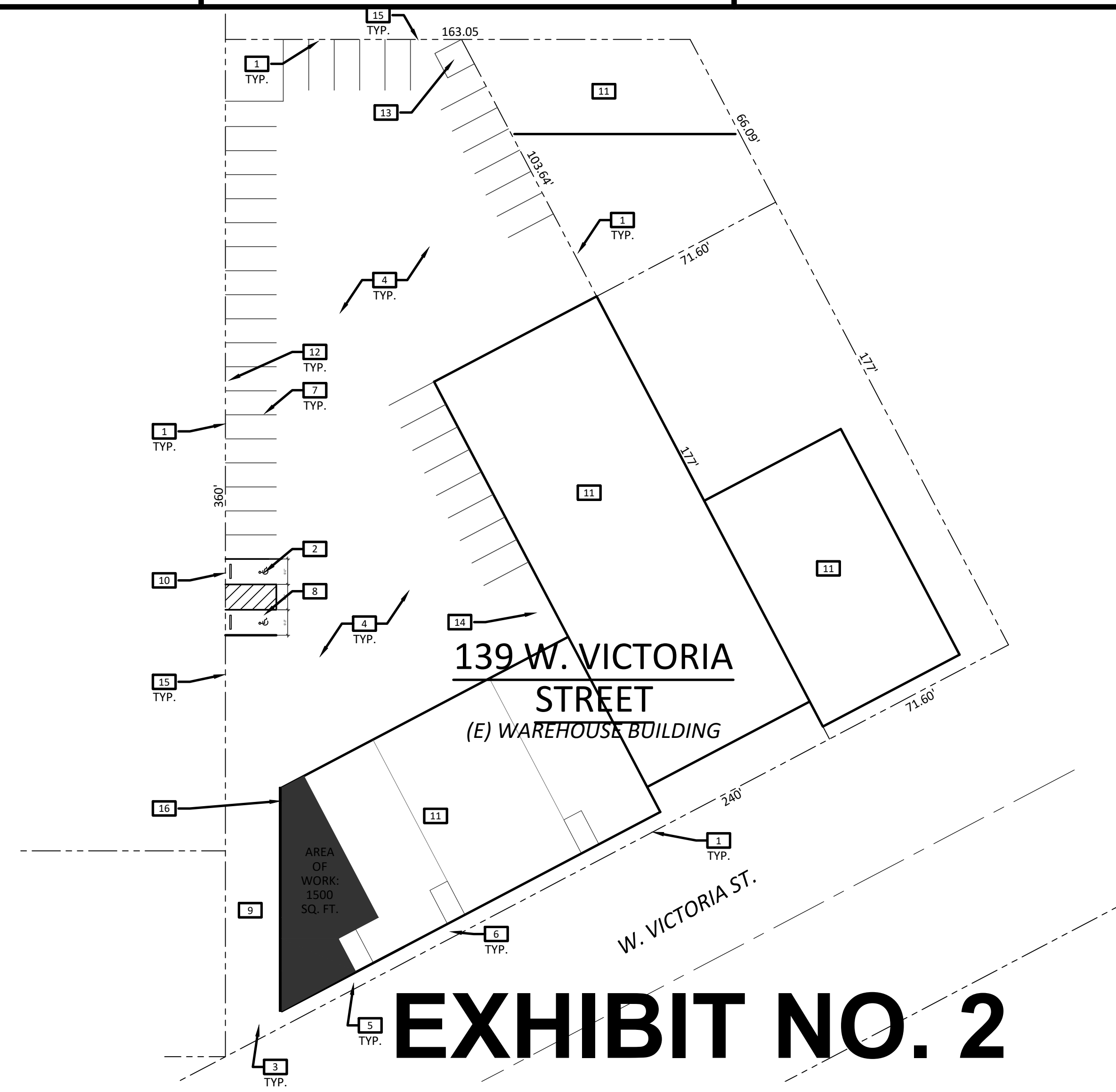


SITE UTILIZATION MAP

SCALE: 1/64" = 1'-0"

2

- (E) TENANT SUITE
- (E) ACCESSIBLE PATH OF TRAVEL



- 1 PROPERTY LINE
- 2 (N) VAN ACCESSIBLE PARKING WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 3 (E) DRIVEWAY TO REMAIN
- 4 (E) ASPHALT PAVING TO REMAIN
- 5 (E) CONCRETE SIDEWALK TO REMAIN
- 6 (E) LANDSCAPE AREA TO REMAIN
- 7 (E) PARKING STRIPING TO REMAIN
- 8 (N) ACCESSIBLE PARKING WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 9 NOT USED
- 10 (N) ACCESSIBLE PARKING STALL SIGNAGE
- 11 (E) BUILDING TO REMAIN
- 12 (E) CONCRETE WHEEL STOP TO REMAIN
- 13 (E) REFUSE AREA TO REMAIN
- 14 (E) LOADING AREA TO REMAIN
- 15 (E) CHAIN LINK FENCING TO REMAIN
- 16 (N) PAINTED STRIPE "NO PARKING FIRE LANE"

- NOTES:
1. ALL SITE IMPROVEMENTS ARE EXISTING TO REMAIN.
 2. THERE IS NO CHANGE TO THE EXISTING BUILDING AREA OR PARKING COUNT AS PART OF THIS PERMIT.

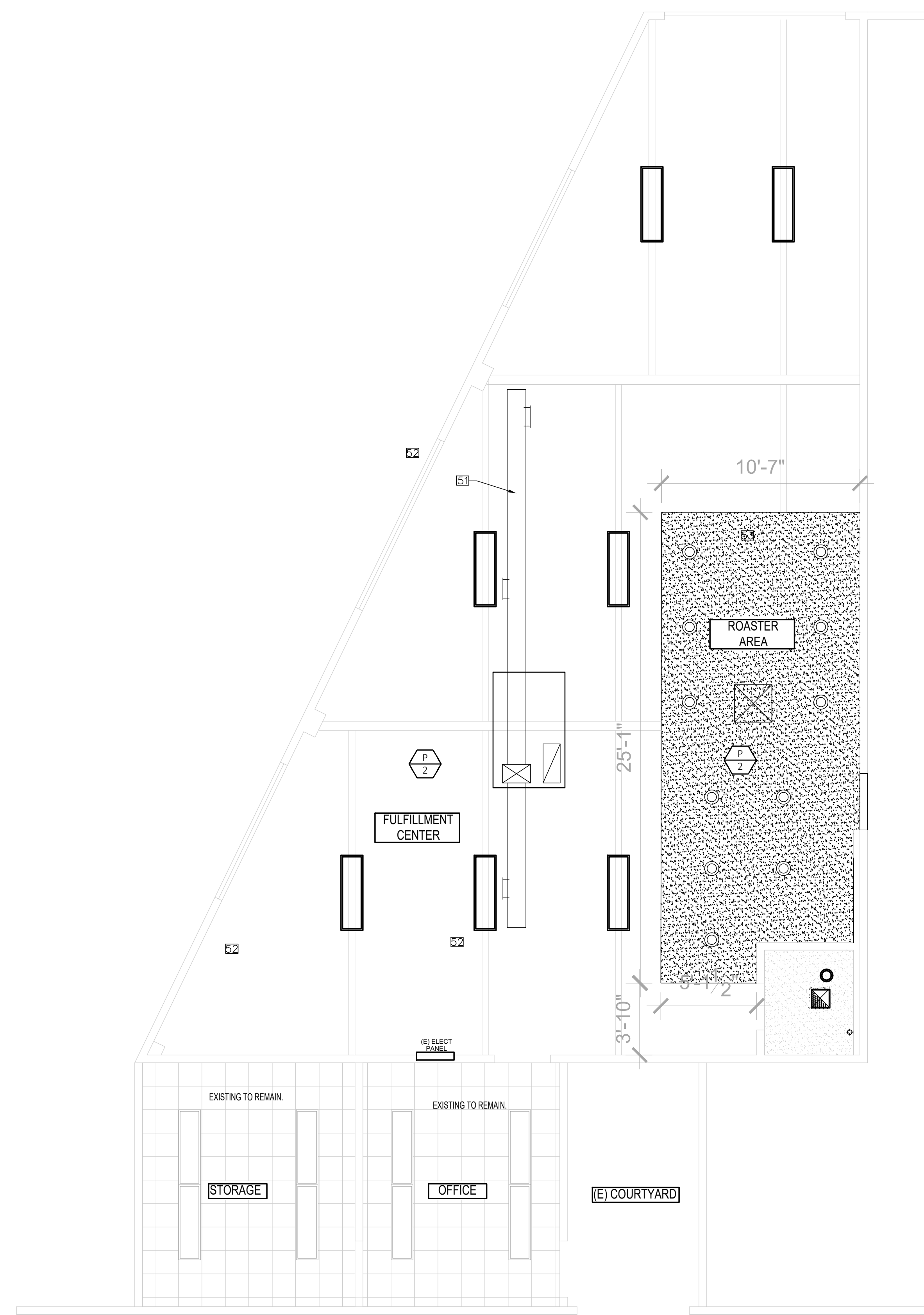
EXISTING SITE PLAN

SCALE: 1/32" = 1'-0"

1

A0.1

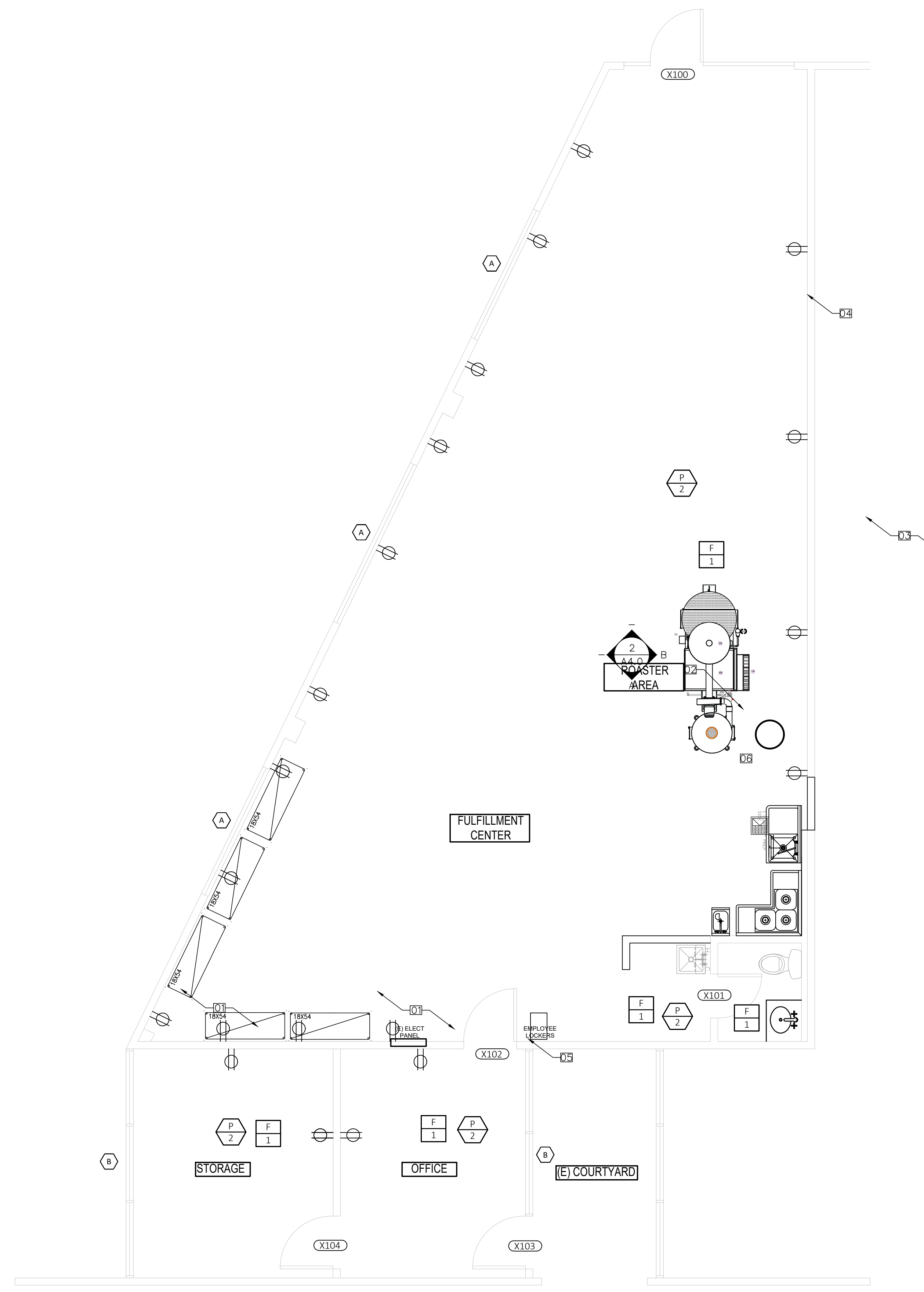
C:\Users\james\work\Dropbox\My PC\LAPTOP - JMS\5050\Documents\2021\21-007 - TheBoyandTheBear\CAD\21-007 Bear - Floor Plan.dwg



REFLECTED CEILING PLAN

SCALE
1/4" = 1'-0"

2



PROPOSED FLOOR PLAN

SCALE
1/4" = 1'-0"

1

FLOOR PLAN LEGEND

- (E) WALL TO REMAIN
- (N) 3-1/2" WOOD STUD (6" AT PLUMBING WALLS)
INTERIOR NON-BEARING WALL W/ 5/8" GYPSUM BOARD EA SIDE, 6" A/BY CEILING
- SOFFIT LINE ABOVE
- *SEE WALL SCHEDULE ON A5.0 FOR WALL ASSEMBLIES
- XXX DOOR TAG REFER TO DOOR SCHEDULE

FLOOR PLAN KEYNOTES

- FURNITURE (BY OTHERS)
- NEW FIXTURES & EQUIPMENT - SEE EQUIPMENT PLAN
- ADJACENT TENANT/BUILDING (NOT A PART)
- EXISTING 1-HR DEMISING WALL TO REMAIN
- EXISTING ENTRY TO REMAIN
- EXISTING RESTROOM TO REMAIN

FLOOR PLAN FINISHES

- WALL & CEILING FINISHES**
- ITEM: PAINT
MFR: SHERWIN WILLIAMS
COLOR/NO: PURE WHITE SW7005
FINISH: FLAT
 - ITEM: PAINT
MFR: SHERWIN WILLIAMS
COLOR/NO: TRICORN BLACK SW 6258
FINISH: SEMI GLOSS
- FLOOR FINISHES**
- ITEM: SEALED CONCRETE
MFR: TBD
STYLE: TBD
COLOR/NO: TBD

RCP GENERAL NOTES

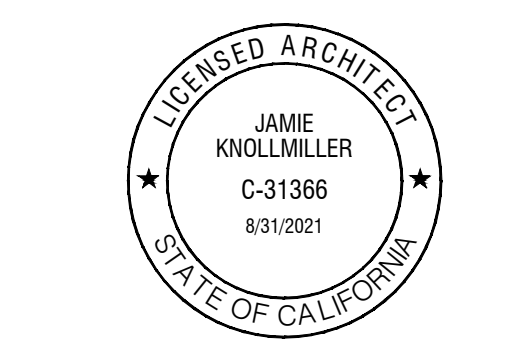
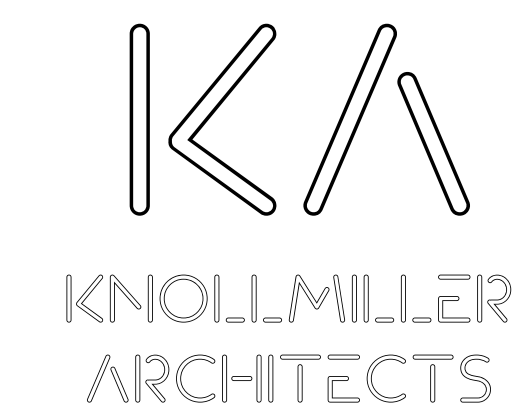
1. SEE FINISH SCHEDULE A1.2 FOR FINISH SPEC INFO.
2. REFER TO FLOOR PLAN A1.0 FOR ELEVATION REFERENCES
3. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (1205.1 AND 1205.3)
4. NO CONDUITS, OR PIPES OF ANY TYPE SHALL BE EXPOSED ABOVE FLOOR PREPARATION, FOOD STORAGE AND UTENSTIL WASHING AREAS.

CEILING PLAN KEYNOTES

- NEW HVAC - SEE MECH
- EXISTING CEILING TO REMAIN. PAINT PER FINISH SCHEDULE
- NEW 2X4 VINYL FACED SUSPENDED CEILING TILES (USG OR EQUAL)

CEILING LIGHTING LEGEND

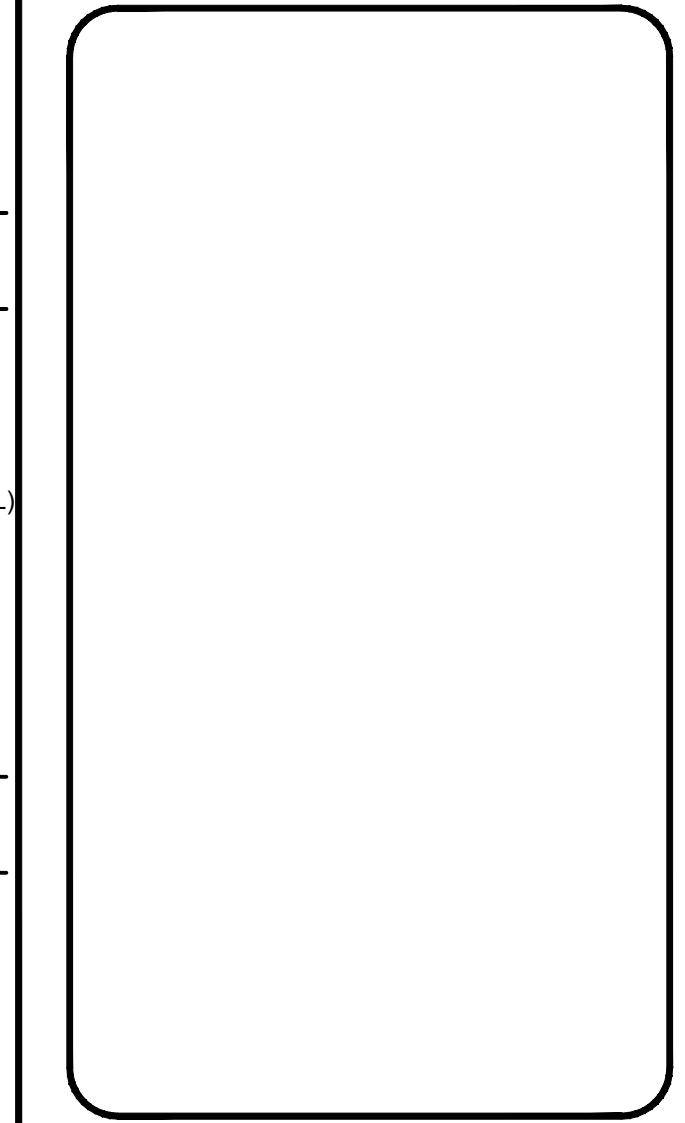
- CEILING MOUNTED EXIT SIGN W/ BATTERY BACKUP, SHADED
- QUADRANT INDICATES FACE OF LETTERING. SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED - SEE ELEC. DWGS.
- NOTE:
EXIT SIGNS SHALL BE SELF-LUMINOUS TYPE OR ELECTRICALLY ILLUM. & ENERGIZED FROM SEPARATE CIRCUITS, ONE OF WHICH SHALL BE FROM STORAGE BATTERIES OR AN ON-SITE GENERATOR.
- NOTE:
ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.
- RECESSED CAN LIGHT
 - RECESSED EMERGENCY CAN LIGHT
 - PENDANT LIGHT
 - 2" WIDE LINEAR FIXTURE WITH ACRYLIC LENS
 - TRACK LIGHTING WITH TRACK HEADS & LIMITER
 - BATTERY OPERATED EMERGENCY "BUG-EYE" LIGHT FIXTURE
 - PAINTED DRYWALL CEILING
 - OPEN TO ABOVE
 - SLOT SUPPLY AIR DIFFUSER (MUD-IN LINEAR AT HARD LID)
 - SLOT RETURN AIR DIFFUSER (MUD-IN LINEAR AT HARD LID)
 - SQUARE HVAC SUPPLY AIR GRILLE
 - SQUARE HVAC RETURN AIR GRILLE
 - SQUARE HVAC EXHAUST AIR GRILLE
 - EXHAUST HOOD WITH MAKE-UP AIR REGISTER



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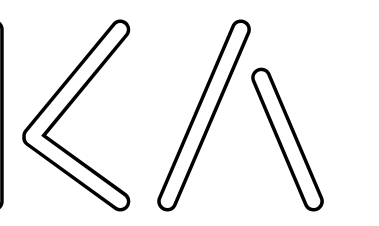
ISSUE	DATE	DESCRIPTION
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THE BOY & THE BEAR
WHOLESALE & FILM CENTER
CONDITIONAL USE PERMIT
139 W. VICTORIA STREET
GARDENA, CA 90248

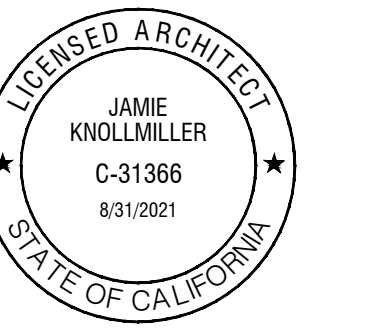


DRAWING
PROPOSED FLOOR & CEILING PLANS
SCALE
1/4" = 1'-0"
DRAWN BY
JLK
DATE
05/03/2021

A2.1

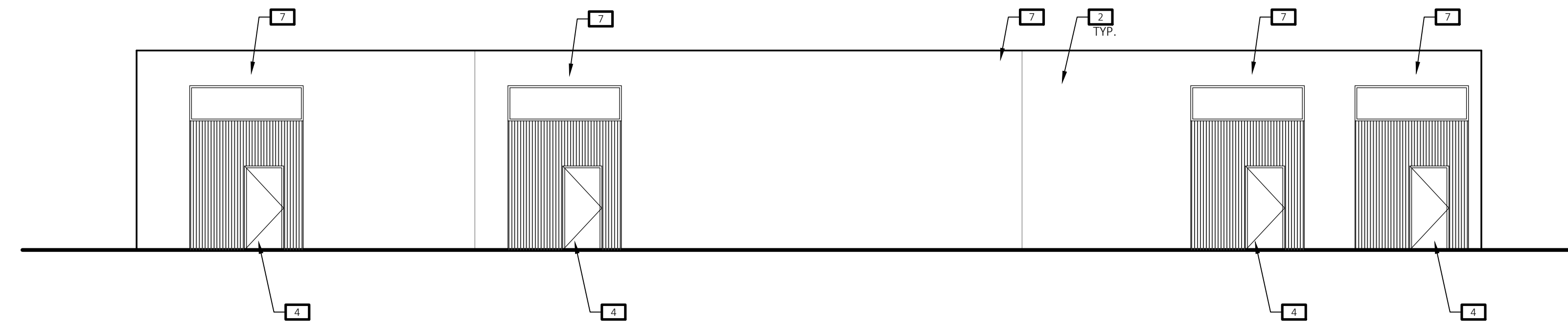


KNOLL MILLER ARCHITECTS



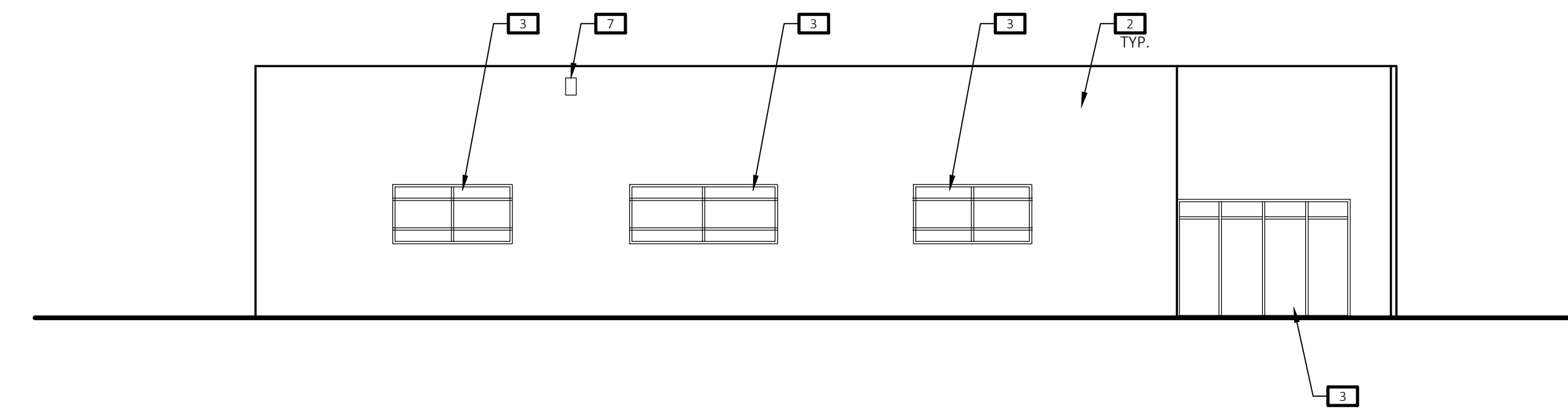
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ISSUE	DATE	DESCRIPTION
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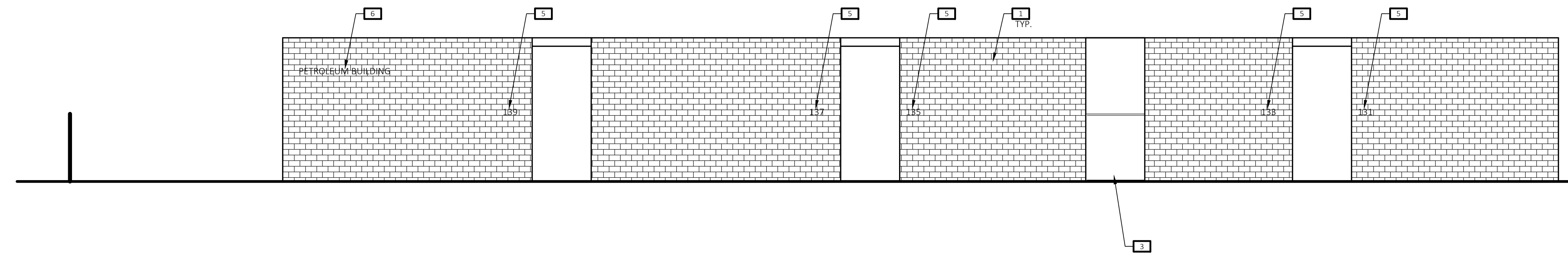
NORTH ELEVATIONS (PARKING LOT) 4

SCALE: 1/8" = 1'-0"



WEST ELEVATION 3

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (VICTORIA STREET) 2

SCALE: 1/8" = 1'-0"

- 1 (E) BRICK FACADE
- 2 (E) CONCRETE WALLS- PAINTED
- 3 (E) WINDOWS TO REMAIN
- 4 (E) DOORS TO REMAIN
- 5 (E) BUILDING ADDRESS
- 6 (E) BUILDING SIGNAGE TO REMAIN
- 7 (E) WALL MOUNTED LIGHTING TO REMAIN

KEYNOTES 6

1

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 WHOLESALE & FULLFILMENT CENTER
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 GARDENA, CA 90248

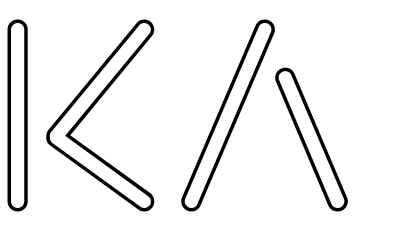
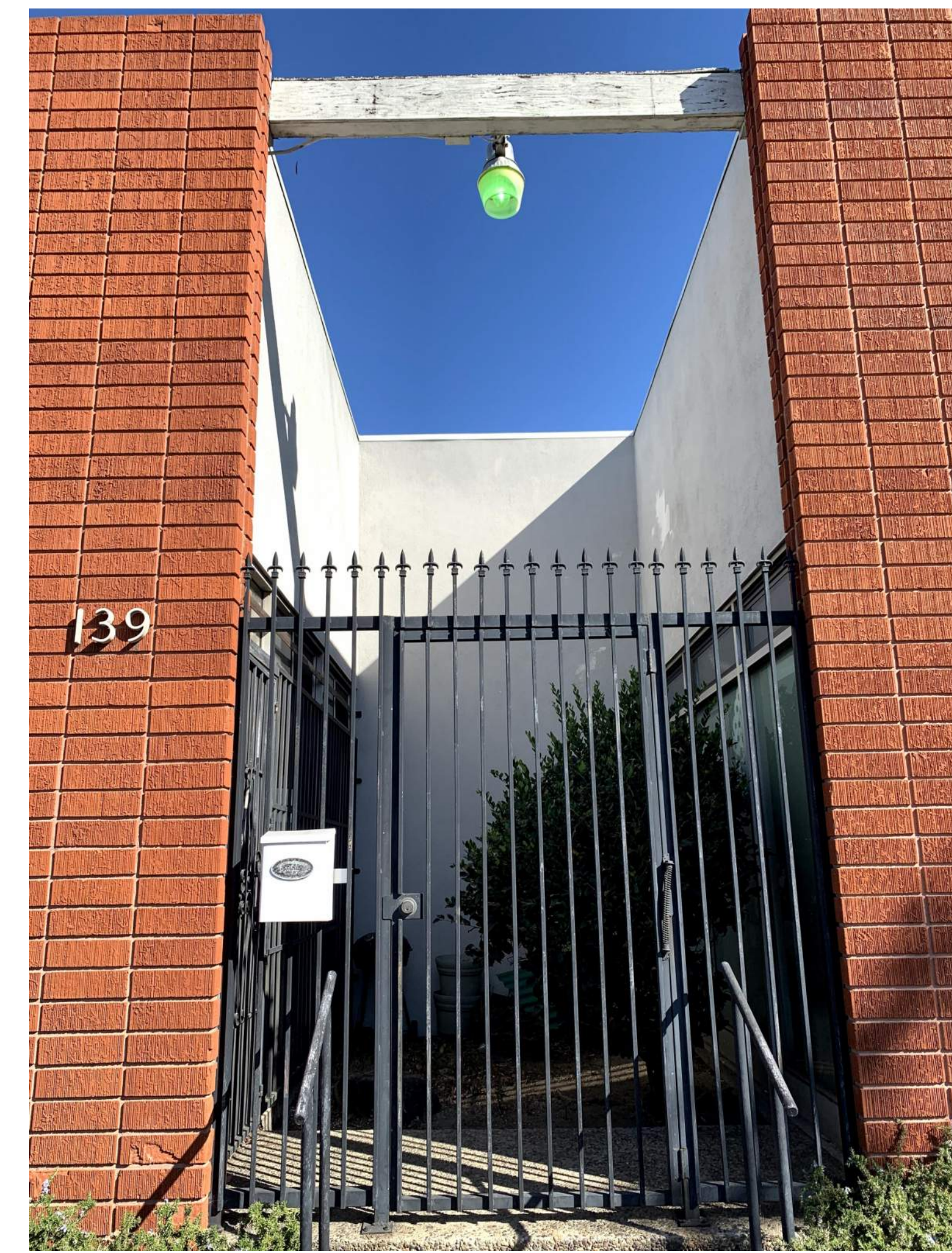
DRAWING EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"

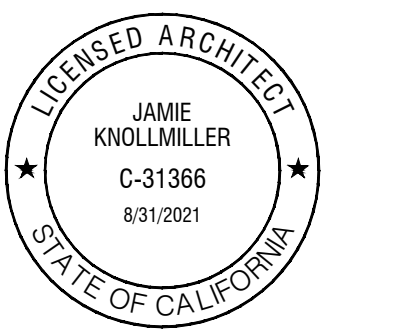
DRAWN BY JLK

DATE 06/29/2021

A3.0



KNOLL MILLER
ARCHITECTS



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DRAWING	EXISTING SITE PHOTOS
SCALE	$\frac{1}{4}'' = 1'-0''$
DRAWN BY	JLK
DATE	06/29/2021

A4.0