

9TH STREET PARTNERS - 223RD ST. SITE

2104 E 223RD STREET
CARSON, CA



EXHIBIT NO. 2

PROJECT
2nd PLANNING SUBMITTAL

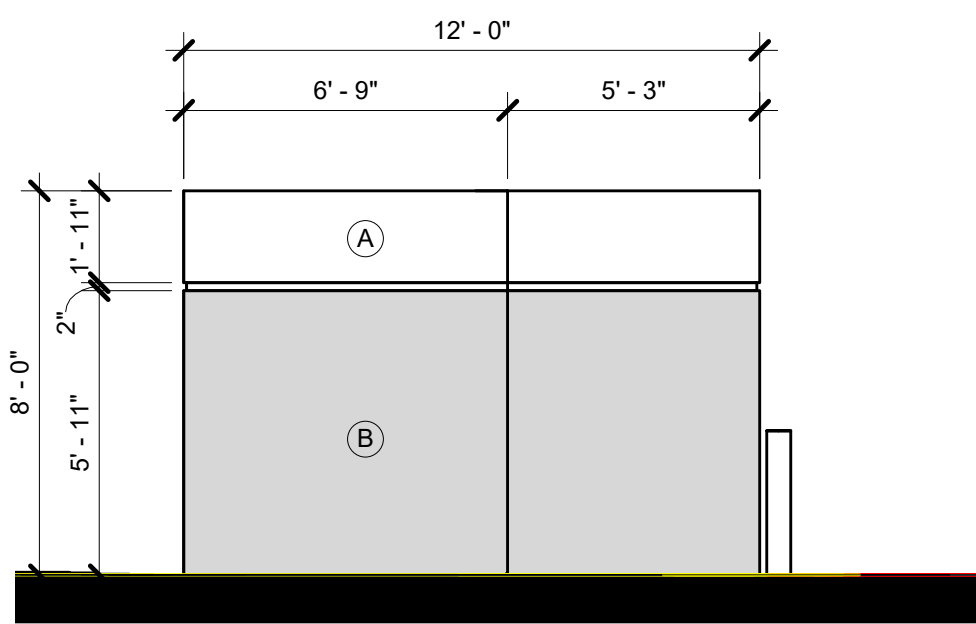
HERDMAN A+D
RESPONSE
MARKUP
11.15.2021



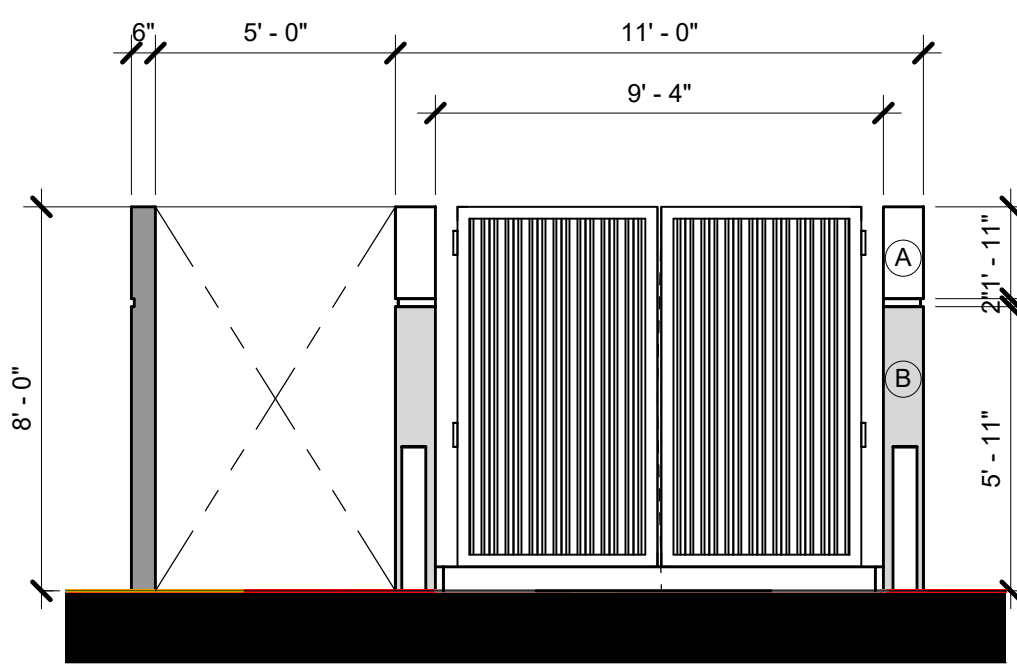
HERDMAN
ARCHITECTURE + DESIGN
A20-2118
09.21.2021

TITLE SHEET

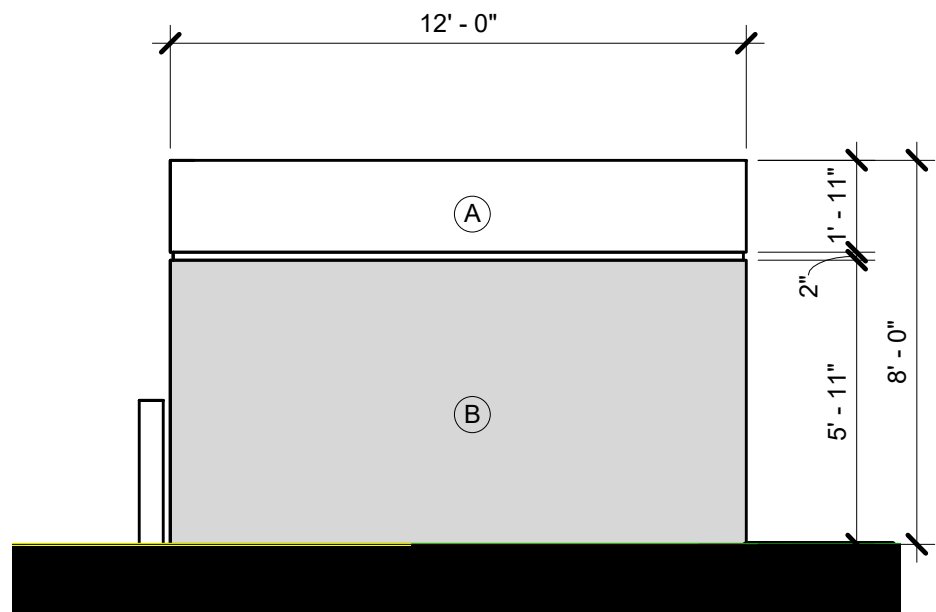
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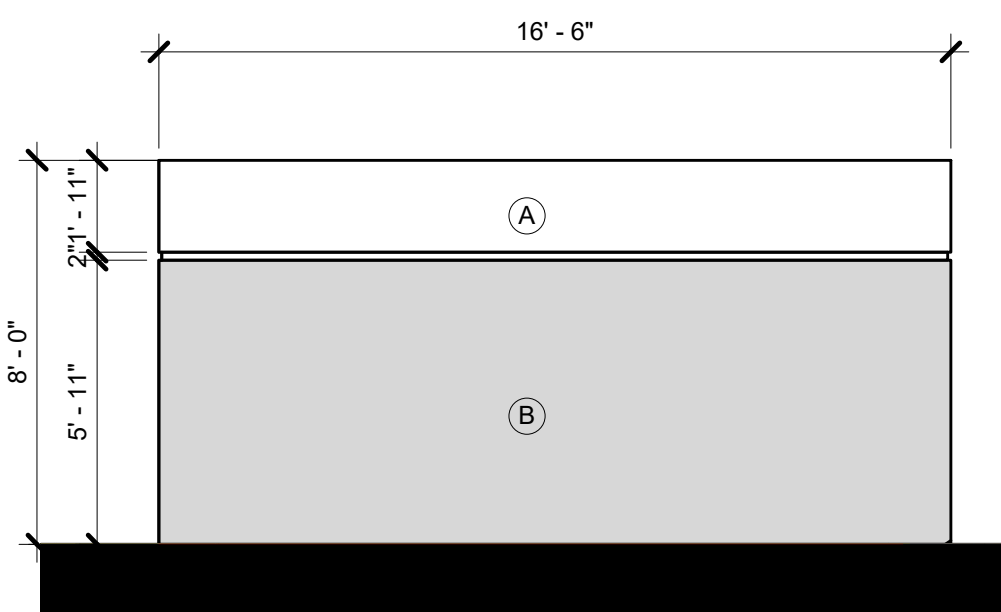
2 TRASH ENCLOSURE - NORTH
1/4" = 1'-0"



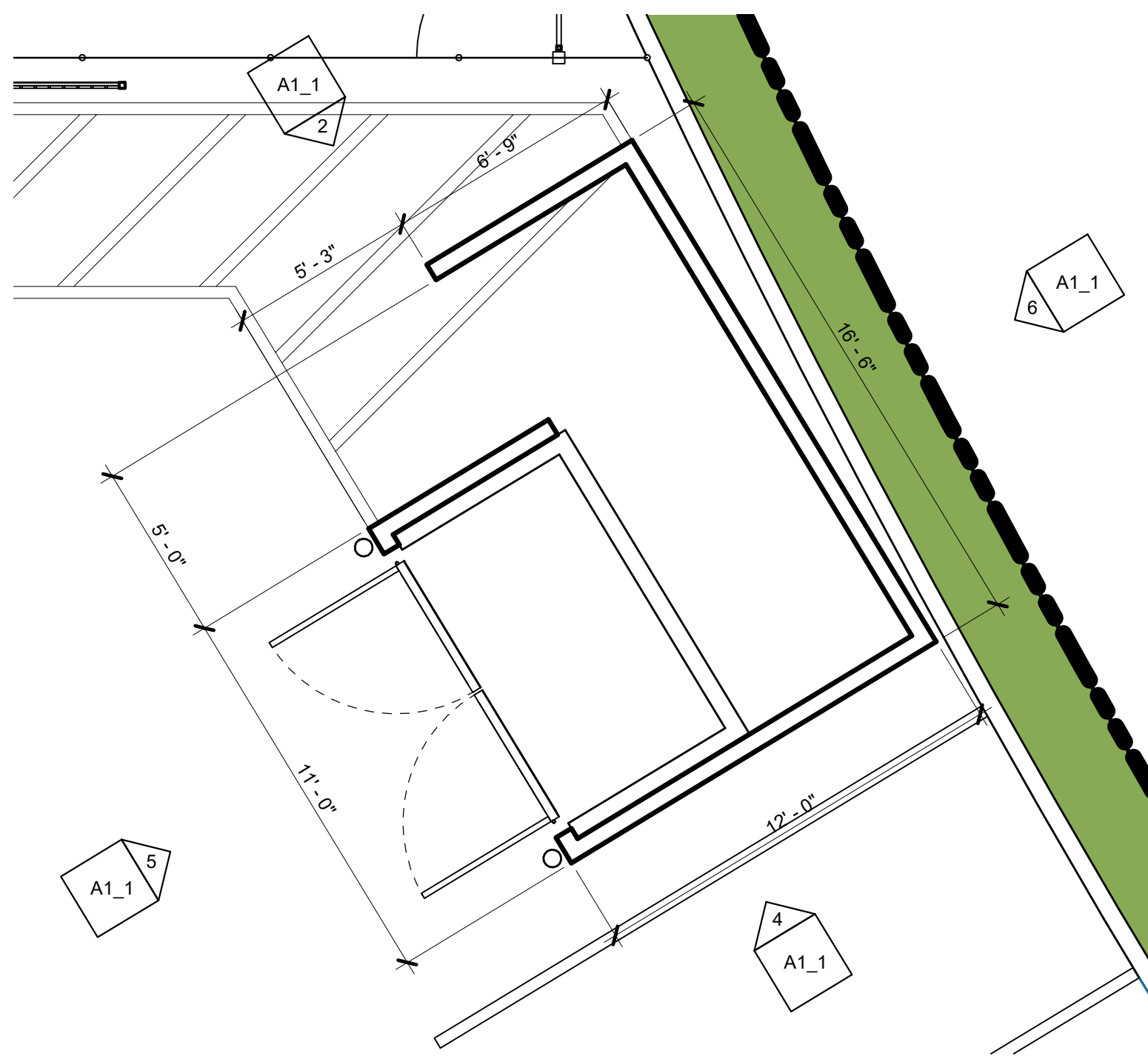
5 TRASH ENCLOSURE - WEST
1/4" = 1'-0"



4 TRASH ENCLOSURE - SOUTH
1/4" = 1'-0"

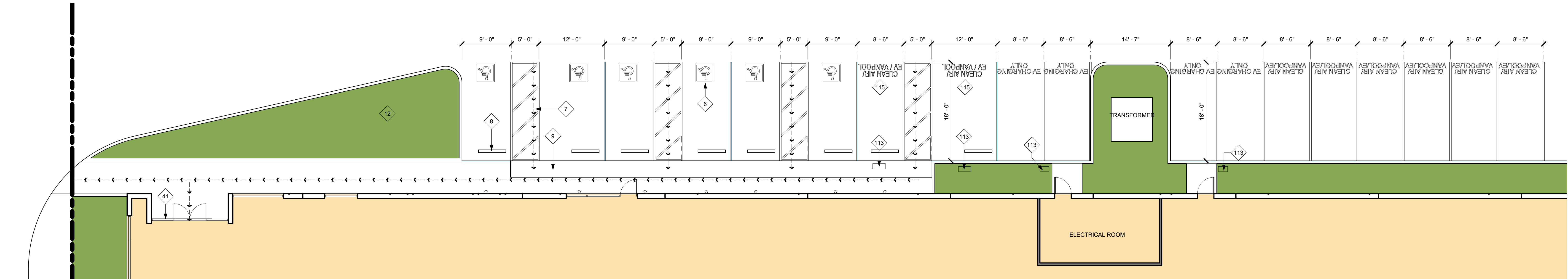


6 TRASH ENCLOSURE ELEVATION - EAST
1/4" = 1'-0"

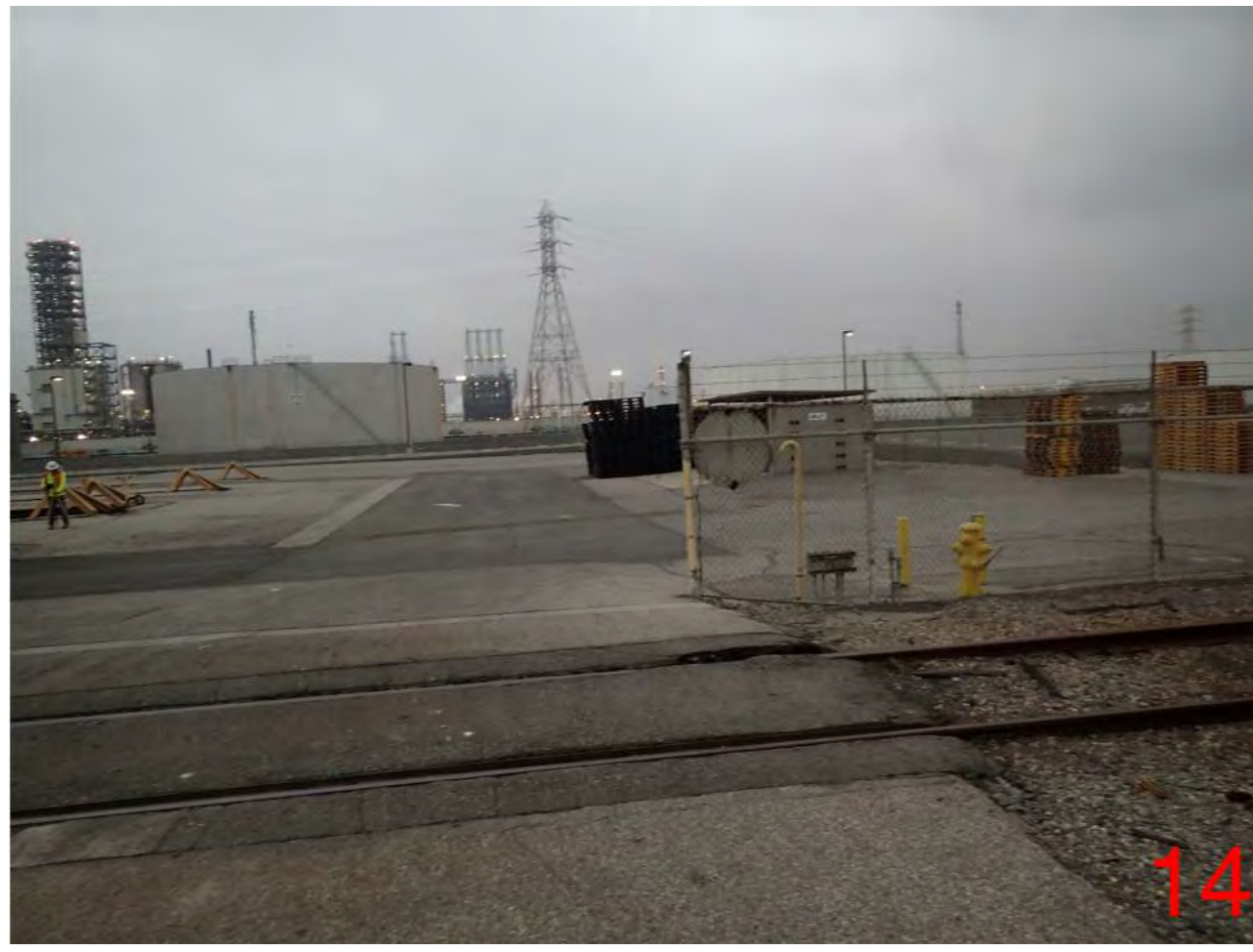
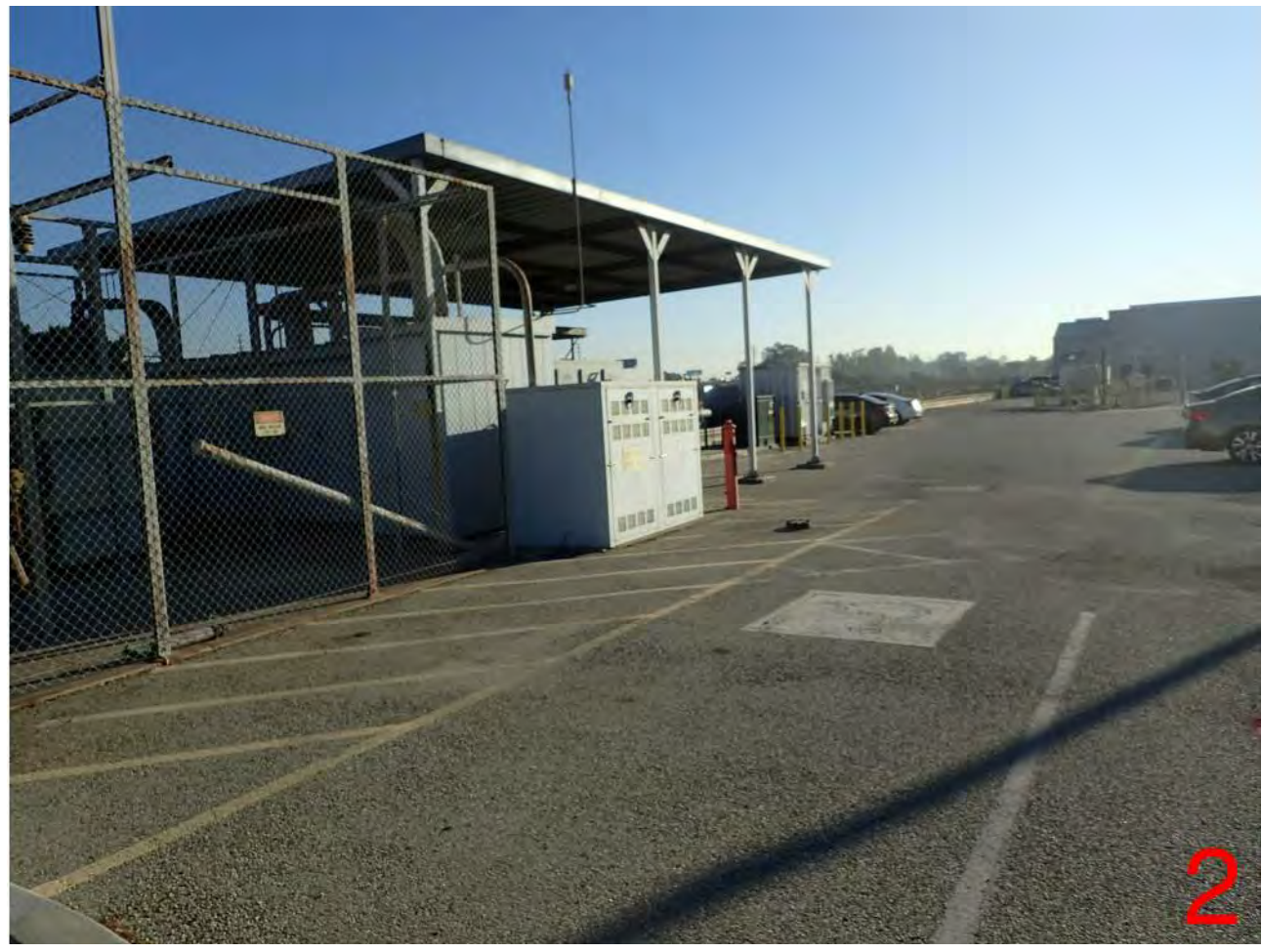
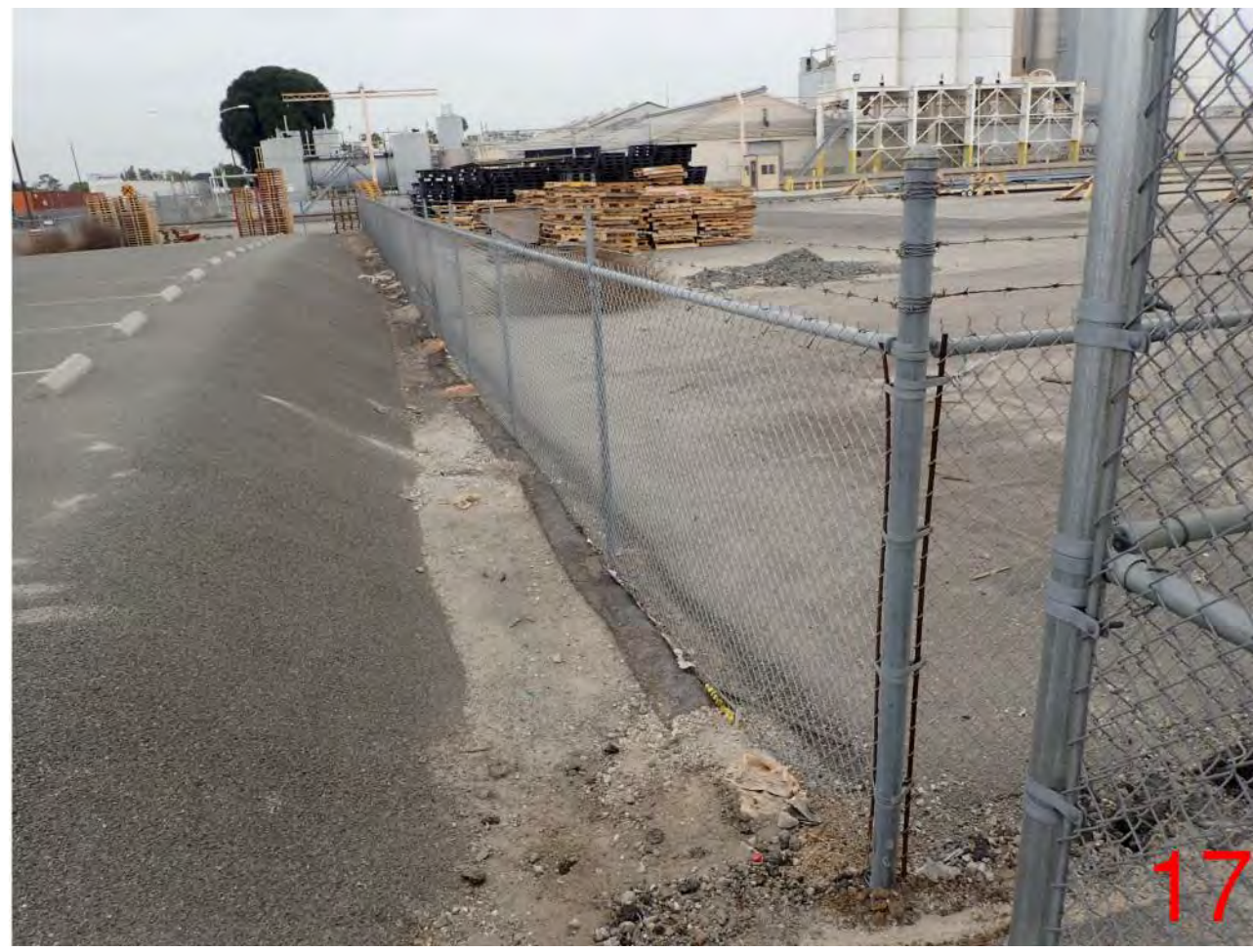
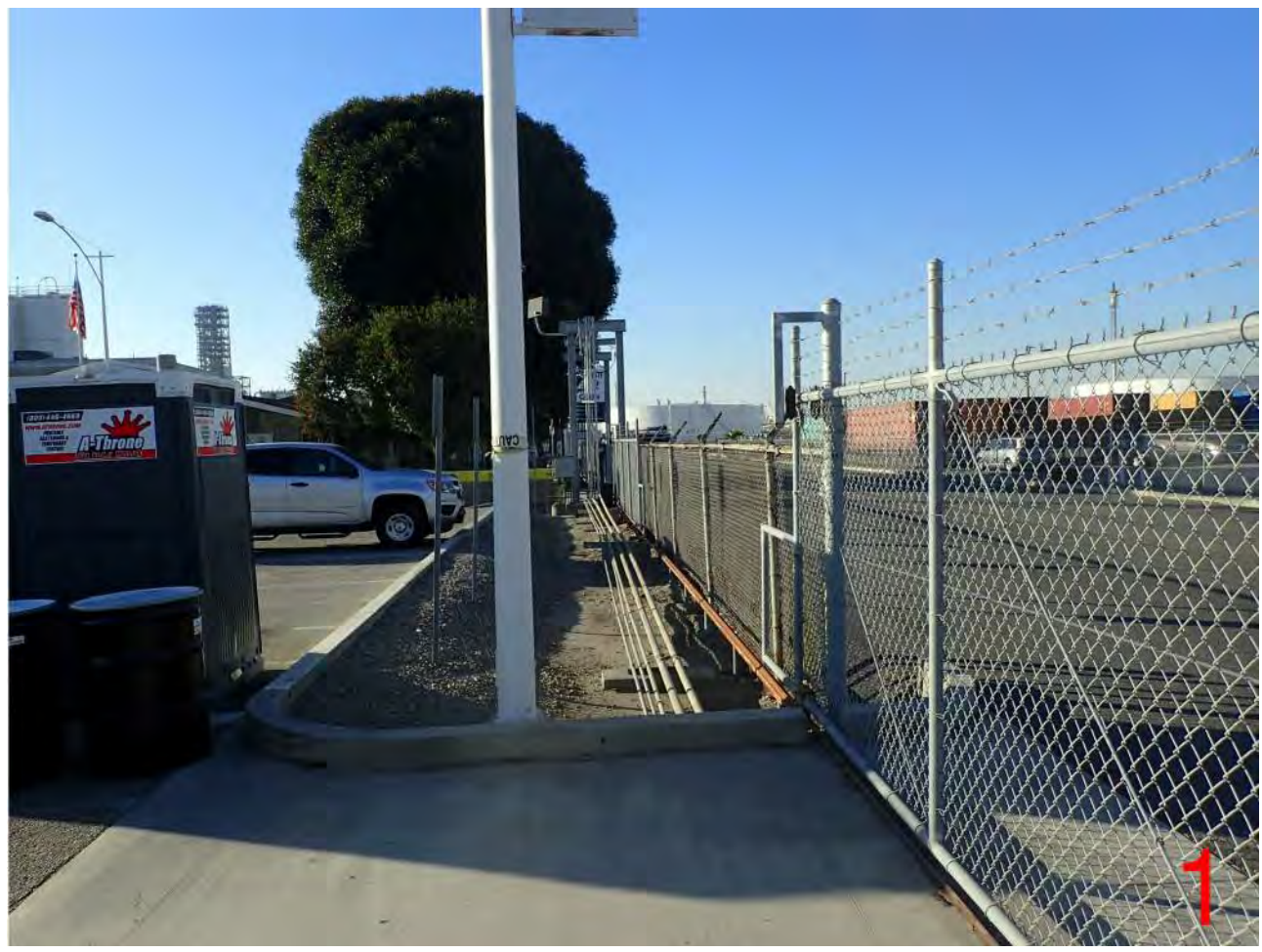


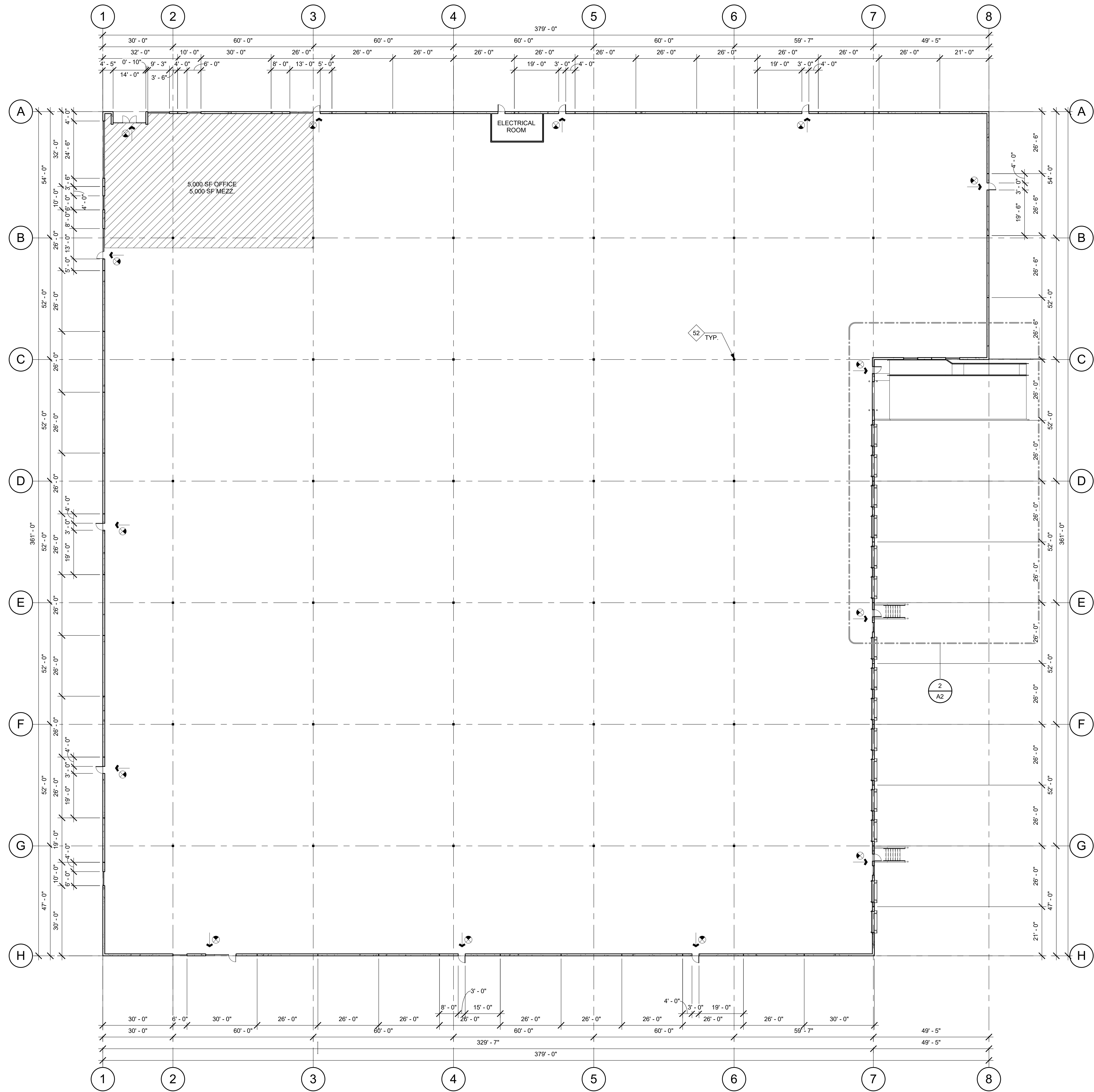
1 ENLARGED FLOOR PLAN - TRASH ENCLOSURE
1/4" = 1'-0"

SITE LEGEND	KEYNOTES
LANDSCAPE AREA CONCRETE PAVING BUILDING AREA STANDARD PARKING STALL PER CITY REQUIREMENT TYP. ACCESSIBLE PARKING STALL WITH 5' ACCESS AISLE PER CBC 2019 11B 502.2 TYP. VAN ACCESSIBLE PARKING STALL WITH 8' ACCESS AISLE PER CBC 2019 11B 502.2 CLEAN AIR PARKING STALL: PAINT, IN THE PAINT USED FOR STALL STRIPING, THE FOLLOWING CHARACTERS SUCH THAT THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE: CLEAN AIR/ VANPOOL/ EV PER CALGREEN 5.106.5.2.1 ELECTRIC VEHICLE CHARGING STATION: EVCS STALL SHALL PROVIDE SURFACE MARKING STATING "EV CHARGING ONLY" IN LEFTTER 12" HIGH MINIMUM THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE PER CBC 2019 11B-812.9 NOTE: FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2 SHALL PROVIDE SURFACE MARKING STATING "CLEAN AIR/VANPOOL/ EV" PATH OF TRAVEL PROPERTY LINE DOCK HIGH DOOR DRIVE THRU DOOR	6 ACCESSIBLE PARKING STALL SIGN PER CODE, TYP. PROVIDE AT ALL ADA STALLS. 7 ACCESSIBLE PATH OF TRAVEL 8 PRECAST CONCRETE WHEEL STOP 9 ZERO CURB FACE 12 LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION 41 AFFIX THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES 113 EV CHARGERS - CONDUIT FOR FUTURE ONLY 115 ACCESSIBLE EV CHARGING STALL
SITE PLAN GENERAL NOTES	
1. SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW SOILS REPORT PREPARED BY _____ DATED _____ AND ANY SUBSEQUENT AMENDMENTS. G.C. TO CONFIRM COMPLIANCE. 3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION INCLUDING POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION. 4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. & FP DRAWINGS. 5. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. 6. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERCENTAGE SLOPES. 7. GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED. 8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN. CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE. 9. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO ABRUPT CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER. IF A WALK CROSSES OR ADJOINS A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A 4" DEEP DETECTABLE WARNING WHICH IS 36" WIDE COMPLYING WITH CBC SECTION 11B-705.1.2.5 10. ALL SPECIFICATIONS ON DRAWINGS ARE MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND SPECIFICATIONS VIA "RFI". 11. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL MINIMUM SITE IMPROVEMENT STANDARDS. 12. CONCRETE MOW STRIP PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL GLAZING/STOREFRONT LOCATIONS WHERE ADJACENT TO LANDSCAPING. 13. CONCRETE SPLASH BLOCK PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAIN/DOWN SPOUT TERMINATIONS AT NON-CONCRETE AREAS. 14. BRASS LAMB'S TONGUE TO BE PROVIDED AT ALL ROOF DRAIN OVERFLOWS THAT DAYLIGHT AT FACE OF BUILDING WALL. 15. GATES, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED SUBMITTAL REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM WITH CITY AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.	

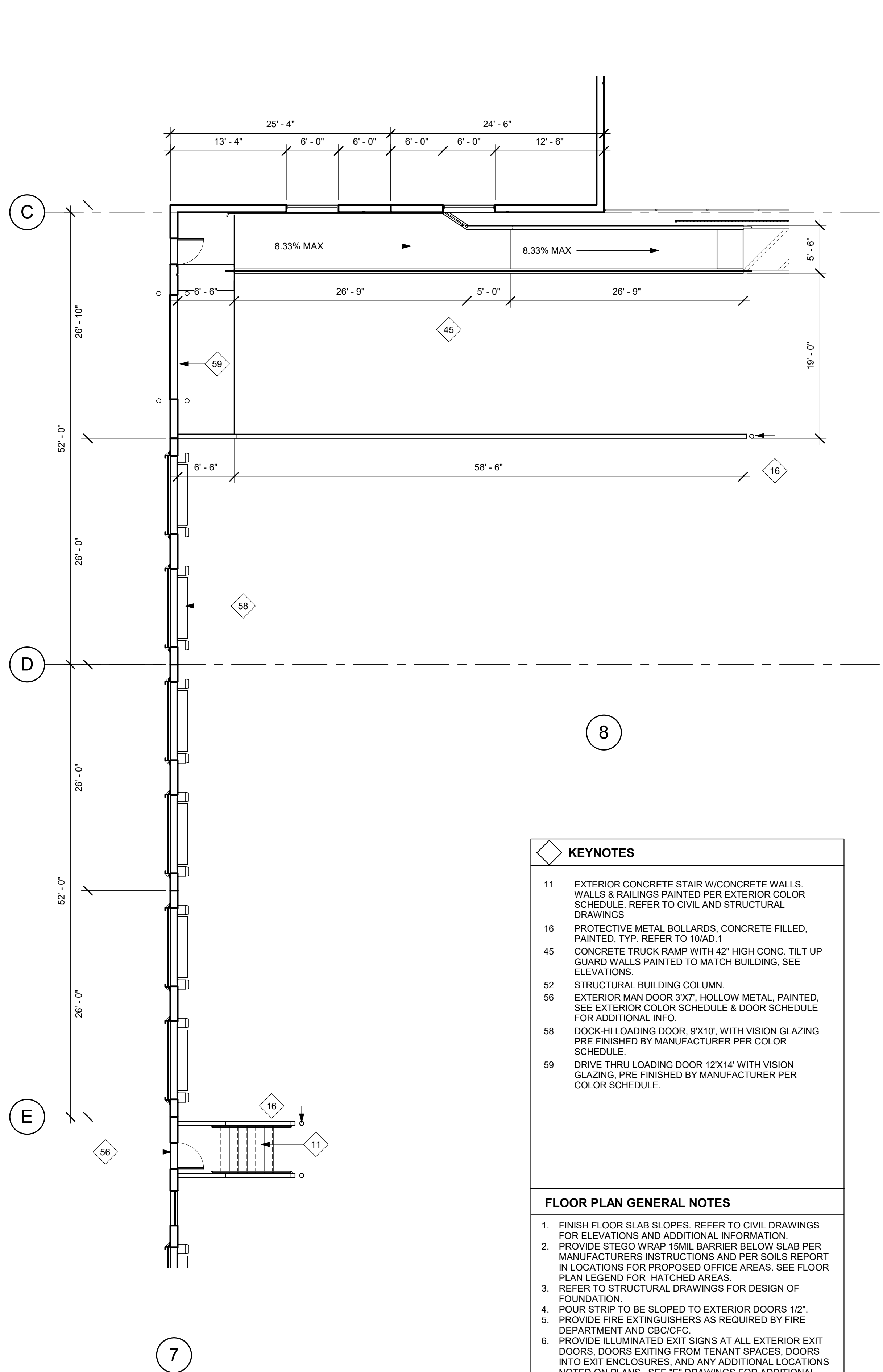


3 ENLARGED PLAN - SOUTH ENTRANCE
1/8" = 1'-0"





1 PROPOSED BUILDING FLOOR PLAN
1" = 20'-0"



2 ENLARGED FLOOR PLAN - LOADING DOCKS
1/8" = 1'-0"

KEYNOTES	
11	EXTERIOR CONCRETE STAIR W/CONCRETE WALLS, WALLS & RAILINGS PAINTED PER EXTERIOR COLOR SCHEDULE. REFER TO CIVIL AND STRUCTURAL DRAWINGS
16	PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP. REFER TO 10/A0.1
45	CONCRETE TRUCK RAMP WITH 12" HIGH CONC. TILT UP GUARD WALLS PAINTED TO MATCH BUILDING, SEE ELEVATIONS.
52	STRUCTURAL BUILDING COLUMN
56	EXTERIOR MAIN DOOR 3'X7', HOLLOW METAL, PAINTED, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
58	DOCK-HI LOADING DOOR, 8'X10', WITH VISION GLAZING PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
59	DRIVE THRU LOADING DOOR 12'X14' WITH VISION GLAZING, PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
FLOOR PLAN GENERAL NOTES	
1.	FINISH FLOOR SLAB SLOPES. REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION.
2.	PROVIDE STEGO WRAP 15MIL BARRIER BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS.
3.	REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION.
4.	POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2".
5.	PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/CFC.
6.	PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS, DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE "E" DRAWINGS FOR ADDITIONAL REQUIREMENTS SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS.
7.	ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED.
8.	DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB.
9.	CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB.
10.	FLY-ASH PROHIBITED IN CONCRETE SLAB MIX.
11.	FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89
12.	FLOOR COMPACTION TO BE 95% MIN
13.	TRENCH COMPACTION TO BE 90% MIN
14.	SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH
15.	DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE.
16.	PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN REQUIRED BY SECTION 101.1 OF 2013 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS.
17.	ALL MAIN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION
18.	ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION STOREFRONT SYSTEMS TO BE DESIGN BUILD G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW
19.	REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES CONTRACTOR TO VERIFY LOCATIONS.
20.	PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PIVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED.
21.	CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB, ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.
22.	NO ACCESS HARDWARE ON THE EXTERIOR SIDE OF THE NON-ENTRY DOORS
23.	FOR TYPICAL DOOR LANDING CLEARANCES, REFER 2/A0.2.2 FOR MORE INFORMATION
24.	NO SMOKING WITHIN 25' OF BUILDING ENTRIES, ACCORDING TO GREEN BUILDING STANDARD CODE DIVISION 5.504.7

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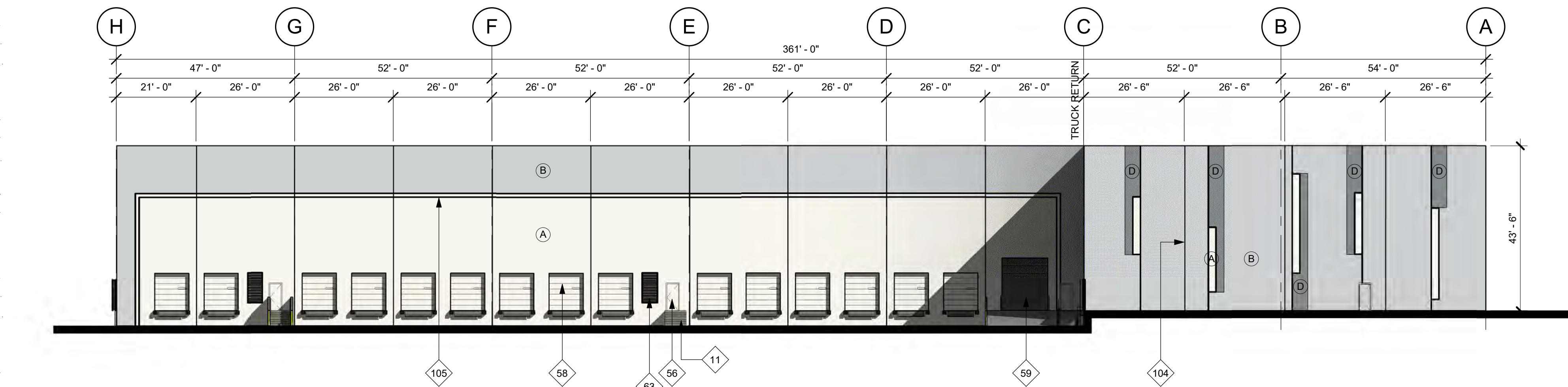


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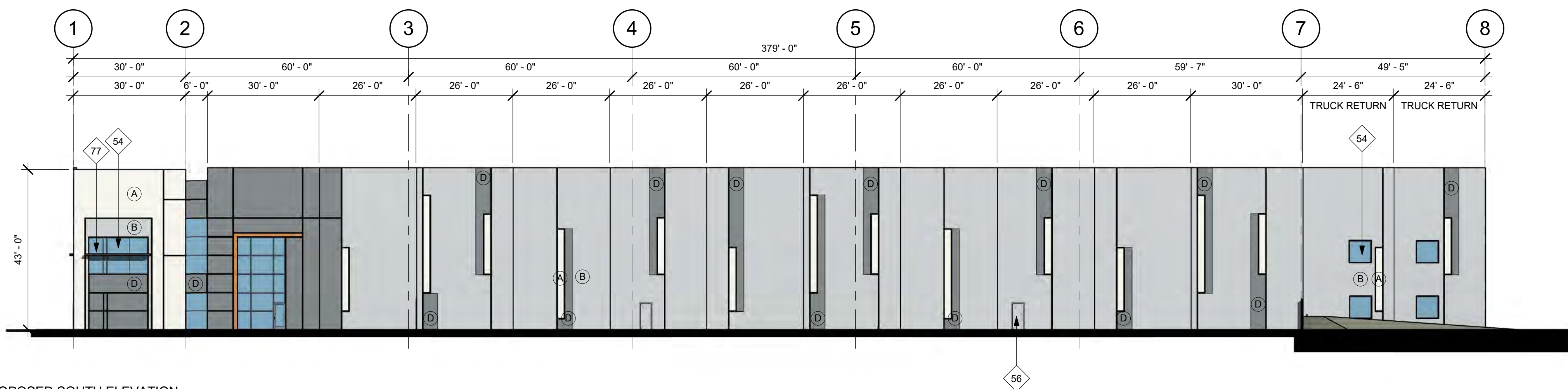
FLOOR PLAN

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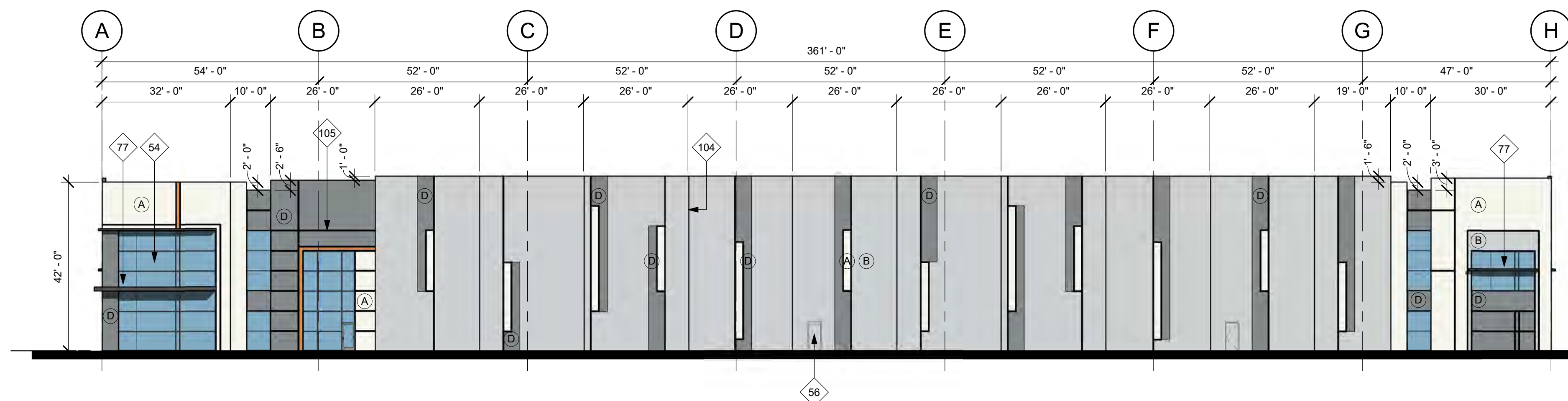
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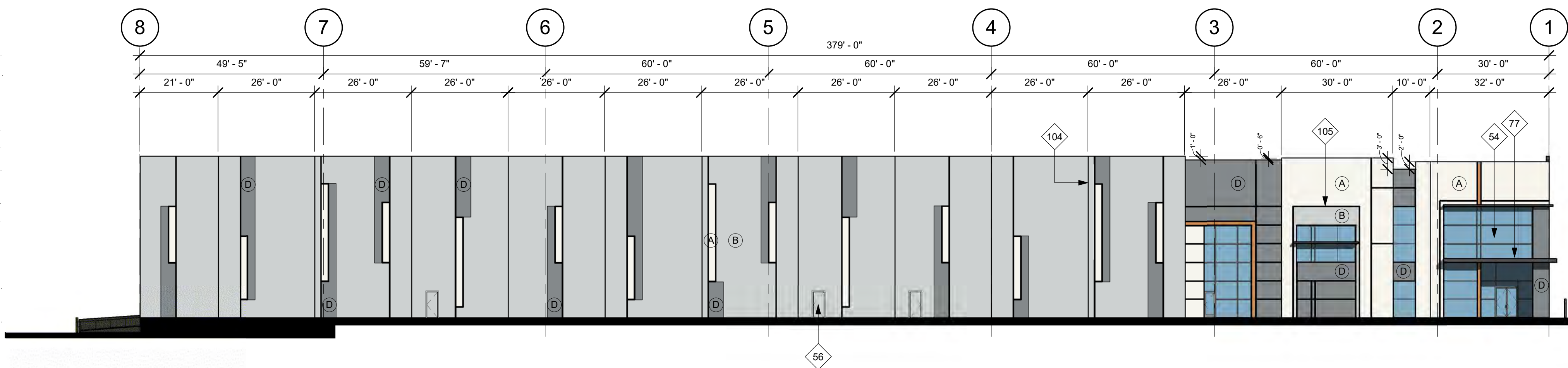
1 PROPOSED EAST ELEVATION
1" = 20'-0"



2 PROPOSED SOUTH ELEVATION
1" = 20'-0"



3 PROPOSED WEST ELEVATION
1" = 20'-0"



4 PROPOSED NORTH ELEVATION
1" = 20'-0"

KEYNOTES
11 EXTERIOR CONCRETE STAIR W/CONCRETE WALLS. WALLS & RAILINGS PAINTED PER EXTERIOR COLOR SCHEDULE. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
54 STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STORE FRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION. DESIGN OF STOREFRONT FRAMING SYSTEM AND STRUCTURAL CALCULATIONS TO BE DESIGN BUILD BY G.C. AND UNDER DEFERRED SUBMITTAL.
56 EXTERIOR MAN DOOR 3'X7'. HOLLOW METAL. PAINTED. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
58 DOCK-HI LOADING DOOR. 9'X10'. WITH VISION GLAZING. PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
59 DRIVE THRU LOADING DOOR 12'X14'. WITH VISION GLAZING. PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
63 AIR INTAKE LOUVER. PAINT TO MATCH BUILDING WALL. TYP. SIZE VERTICAL 4'X 8'. PROVIDE BIRD SCREEN, FILTER AND BURGLAR BARS.
77 CANOPY. REFER TO ELEVATIONS - STRUCTURAL DETAILS.
104 PANEL JOINT. TYP.
105 2" DECORATIVE CONCRETE REVEAL WITH CHAMFERED EDGES. TYP.

GLAZING LEGEND
VISION GLAZING:
NON VISION GLAZING:
TEMPERED:
NOTE: REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS.
NON VISION GLAZING NOTES: 1. SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK. NO COATING REQUIRED. 2. PROVIDE BREATHABLE MULLION SYSTEM @ NON-VISION GLAZING SECTIONS. NO HOLES REQUIRED IN CONCRETE. 3. PROVIDE SHADE CLOTH BEHIND GLASS IN AREAS INTENDED TO BE NON-VISION WHEN THERE IS NO SPANDREL CONCRETE. TENCATE MIRAFI 140N 12.5' X 360' FILTER FABRIC.
TEMPERED GLAZING NOTES: 1. IN OPERABLE DOORS, WINDOWS AND WITHIN 18" OF WALKING SURFACE TO BE TEMPERED.

EXTERIOR COLOR SCHEDULE
(A) WHITE EXTERIOR PAINT COLOR: SW7005 - PURE WHITE
(B) LIGHT GRAY EXTERIOR PAINT COLOR: SW7071 - GRAY SCREEN
(C) CLARION EXTERIOR PAINT COLOR: PANTONE 7626C - CLARION RED
(D) DARK GREY EXTERIOR PAINT COLOR: SW7074 SOFTWARE
(D) WHITE/CHARCOAL DECORATIVE BROW
(E) STOREFRONT MEDIUM PERFORMANCE BLUE REFLECTIVE GLAZING & CLEAR ANODIZED MULLIONS
TYP PAINT NOTES: PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS, AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.N.O.
TRUCK DOORS TO BE PRE-FINISHED BY MANUFACTURER IN WHITE FINISH

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EXTERIOR
ELEVATIONS

A4