

**CITY OF CARSON  
CONDITIONAL USE  
PERMIT**

SOUTH BAY FLEET SPECIALIST  
17126 S BROADWAY ST.  
CARSON, CA 90248  
APN: 6126-005-008

**VICINITY MAP**



**PROJECT INFO.**

SOUTH BAY FLEET SPECIALIST  
17126 S BROADWAY ST.  
CARSON, CA 90248

LEGAL DESCRIPTION:  
APN: 6126-005-008  
TRACT # 9925 S 10 FT OF LOT 25 AND  
ALL OF LOT 24

UTILITIES:  
SEWER: PUBLIC  
WATER: PUBLIC  
GAS: PUBLIC  
ELECTRICITY: OVERHEAD PUBLIC

**SCOPE**

OBTAIN PLANNING APPROVAL OF A CONDITIONAL USE PERMIT  
TO OPERATE AN AUTO BODY & PAINT SHOP (WITH AUTOMOTIVE  
PAINT SPRAY BOOTH ADDITION) WITHIN THE MH-D ZONE.

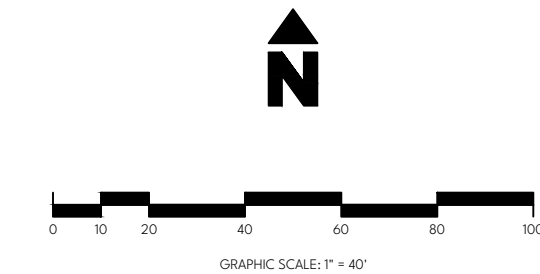
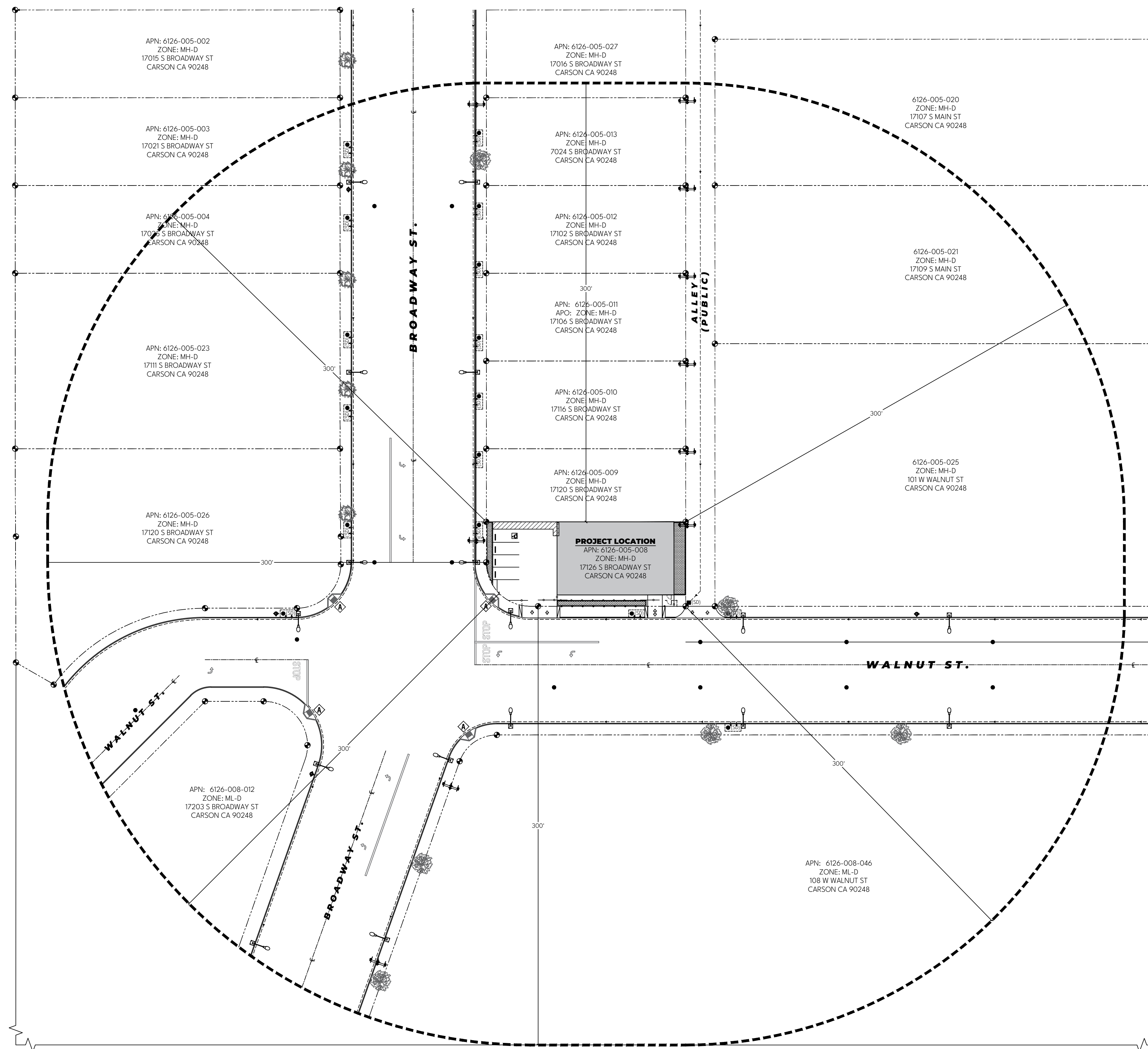
**CODES**

CITY OF CARSON MUNICIPAL CODE,  
ARTICLE IX PLANNING AND ZONING

**PLAN INDEX**

- A 1.0 COVER SHEET
- A 2.0 SITE UTILIZATION PLAN
- A 3.0 SITE PLAN & FLOOR PLAN
- A 3.0 BUILDING ELEVATIONS

NOTE:  
NO SIGNS PROPOSED FOR THIS PROJECT.



**PROPERTY DATA:**  
GENERAL PLAN: LIGHT INDUSTRIAL  
ZONING: MH-D  
LOT COVERAGE: 7,870.60 S.F.  
TOTAL BUILDING AREA: 3,920 S.F.  
BUILDING AREA COVERAGE: 49.80%  
IMPERVIOUS AREA RATIO: 10.34%

**SITE UTILITIES DATA & LEGEND:**  
NOTE:  
ALL SITE UTILITIES ARE EXISTING AND NO CHANGES OR  
ADDITIONS ARE PROPOSED AS PART OF THIS PROJECT.  
--- (E) OVERHEAD POWER SUPPLY POLE (PUBLIC)  
--- (E) OVERHEAD STREET LIGHT (PUBLIC)  
● SEWER (SS) AND STORM DRAIN (SD) UTILITY MAN-HOLE  
(PUBLIC)  
--- STORM WATER SURFACE DRAIN & DIRECTION  
[ ] CURB INLET CATCH BASIN W/ MANHOLE (PUBLIC)  
◆ FIRE HYDRANT (PUBLIC)

**LANDSCAPE DATA & LEGEND:**  
NOTE:  
NO CHANGES TO LANDSCAPE PROPOSED.  
TOTAL LANDSCAPE AREA: 814 S.F.  
LANDSCAPE AREA COVERAGE: 10.34%

(E) TREES HAVING A TRUNK W/ DIAMETER  
LARGER THAN 4" (PUBLIC)

**PEDESTRIAN ACCESS DATA & LEGEND:**  
◆ (E) ACCESSIBILITY CURB RAMPS W/ DETECTABLE  
WARNING SURFACES (PUBLIC)

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APN: 6126-005-008

CONSULTANT:  
**DesignOps**  
DESIGN, PERMITS, OPERATIONS.

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**REVISIONS:**


**CONTENTS:**  
**COVER SHEET  
&  
SITE UTILIZATION PLAN**

DATE: 03/28/24 PROJECT NO.:  
SO.030224

SCALE: 1" = 10'-0" NORTH:

DESIGNER: L.T.

SHEET:

**A 1.0**

PROJECT:  
**CITY OF CARSON**  
**CONDITIONAL USE**  
**PERMIT**

APPLICANT:  
 SOUTH BAY FLEET SPECIALIST  
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 DESIGN, PERMITS, OPERATIONS.

**SITE & FLOOR PLAN LEGEND:**

- 1 PROPOSED AUTOMOTIVE PAINT SPRAY BOOTH (O.D.: 30'-4"X15'-0"X13'-6"X)
- 2 EXISTING ELECTRICAL SERVICE PANELS (120/240V, 3PH, 4W, 200A) - TYP. OF 2
- 3 EXISTING GAS METER SERVICE - NO CHANGE (5 PSIG-250 / 195 CFH @ 1/ 2" W.C.)
- 4 VISIBILITY TRIANGLE (12'X12') NOTE: PROPOSED FENCING SHALL NOT ENCR OACH INTO REQUIRED DRIVEWAY VISIBILITY TRIANGLE.

**SITE & FLOOR PLAN SYMBOL LEGEND:**

- (E) 2-HR. FIRE RATED EXTERIOR WALLS
- (E) NON FIRE RATED INTERIOR WALLS
- (E) FIRE EXTINGUISHER LOCATION
- EXIT (E) EMERGENCY FIRE EXIT LOCATION

**LANDSCAPE LEGEND & NOTES:**

(N) LANDSCAPE AREAS (814 S.F. TOTAL)

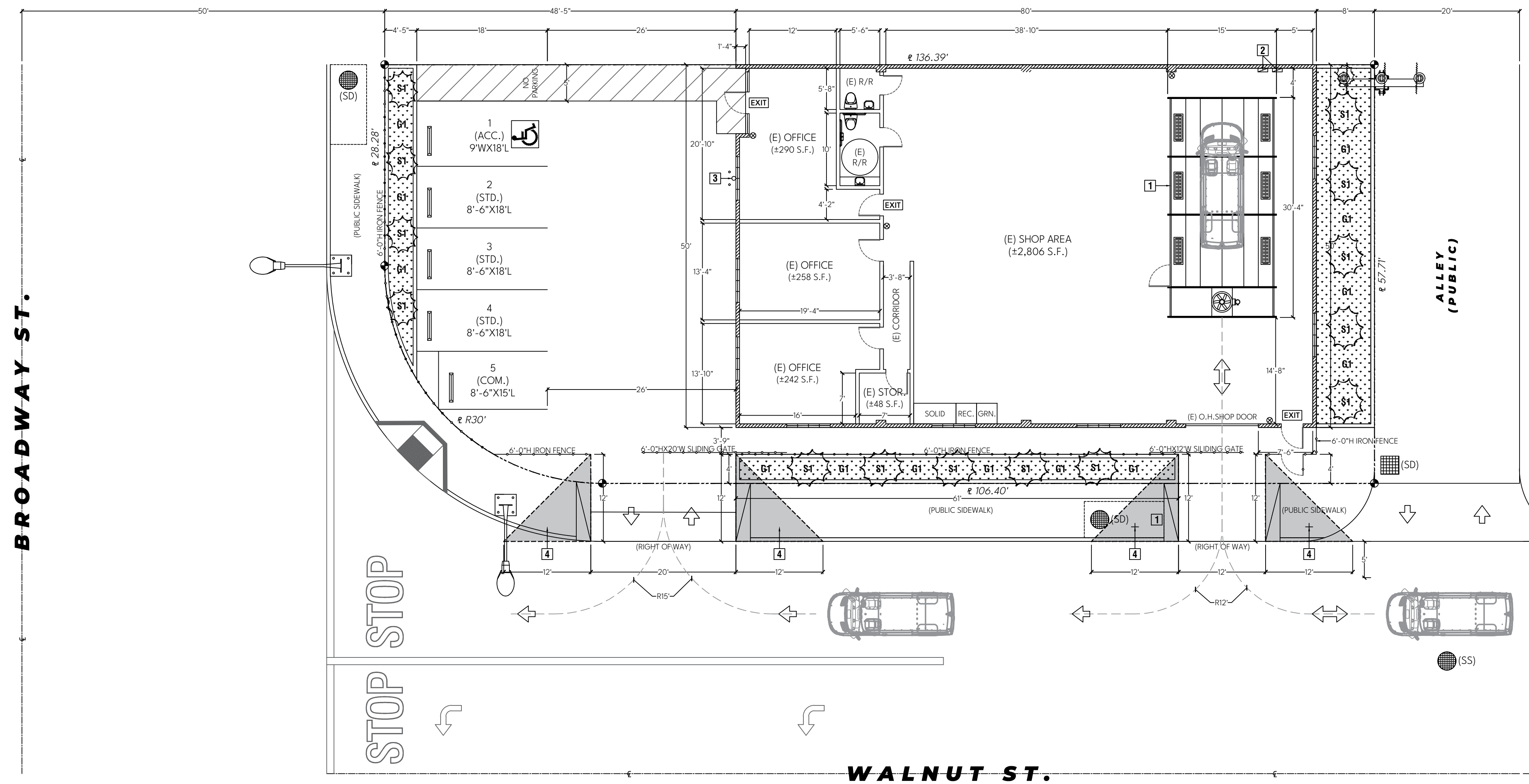
**PLANT LEGEND**

SYM./ABBR.	SCIENTIFIC NAME	COMMON NAME	WN	SIZE	QTY.	PLANT SIZES AND SPACING	SPECIAL CHARACTERISTICS
Shrubs S1	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	M	15.0 GA.	14	10'H/6'W @ 8'-0" O.C.	Barrier Plant/Low Maintenance
Ground Cover G1	Elymus condensatus 'Canyon Prince'	Canyon Prince Giant Rye Grass	L	1.0 GA.	--	3'H/3'W @ 3' O.C.	Drought Tolerant/Low Maintenance

NOTE: SEE 'CONDITION OF APPROVAL' NOTES #10-14 (THIS SHEET) FOR LANDSCAPE REQUIREMENTS AND COMPLIANCE.

**CONDITIONS OF APPROVAL NOTES:**

1. PROPOSED FENCING SHALL NOT ENCR OACH INTO REQUIRED DRIVEWAY VISIBILITY TRIANGLE (SEE BELOW).
2. SOLID WASTE, RECYCLING, AND GREEN WASTE STORAGE AREAS PROVIDED. SEE PLANS FOR LOCATIONS.
3. ALL WORK SHALL BE CONDUCTED WITHIN AN ENCLOSED BUILDING.
4. THE PREMISES SHALL BE KEPT IN AN ORDERLY CONDITION AT ALL TIMES. NO USED OR DISCARDED AUTOMOTIVE PARTS OR EQUIPMENT OR PERMANENTLY DISABLED, JUNKED, OR WRECKED VEHICLES MAY BE STORED OUTSIDE A BUILDING.
5. VEHICLES BEING WORKED ON OR AWAITING SERVICE OR PICK-UP SHALL BE STORED WITHIN AN ENCLOSED BUILDING. UNATTENDED VEHICLES MAY NOT BE PARKED OR STORED ON THE SIDEWALK ADJOINING THE PROPERTY, IN THE STREET, OR IN ANY PORTION OF THE PUBLIC RIGHT-OF-WAY WITHIN THE CITY.
6. THERE SHALL BE NO DEVIATION OF ARCHITECTURAL DESIGN OR DETAILS FROM THE APPROVED SET OF PLANS. ANY ALTERATION SHALL BE FIRST APPROVED BY THE PLANNING DIVISION.
7. ANY ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED TO THE SATISFACTION OF THE PLANNING DIVISION.
8. GRAFFITI SHALL BE REMOVED FROM ALL AREAS WITHIN TWENTY-FOUR (24) HOURS OF WRITTEN NOTIFICATION BY THE CITY OF CARSON, INCLUDING GRAFFITI FOUND ON PERIMETER WALLS AND FENCES. SHOULD THE GRAFFITI PROBLEM PERSIST MORE THAN TWICE IN ANY CALENDAR YEAR, THE MATTER MAY BE BROUGHT BEFORE THE PLANNING COMMISSION FOR REVIEW AND FURTHER CONSIDERATION OF SITE MODIFICATION (I.E. FENCING, LANDSCAPING, CHEMICAL TREATMENT, ETC.).
9. THE NEW 6' HIGH WROUGHT IRON FENCE WITH SLIDING ACCESS GATES ALONG BROADWAY AND WALNUT SHALL BE MAINTAINED FREE FROM GRAFFITI AND PAINTED WHEN NECESSARY.
10. COMPLIANCE WITH THE PROVISIONS OF SECTION 9168.1 OF THE ZONING ORDINANCE, "WATER EFFICIENT LANDSCAPING ORDINANCE" (MWELO) LANDSCAPING SHALL BE PROVIDED WITH A PERMANENTLY INSTALLED, AUTOMATIC IRRIGATION SYSTEM AND OPERATED BY AN ELECTRICALLY TIMED CONTROLLER STATION SET FOR EARLY MORNING OR LATE EVENING IRRIGATION.
11. INSTALLATION OF 6" X 6" CONCRETE CURBS ARE REQUIRED AROUND ALL LANDSCAPED PLANTER AREAS, EXCEPT FOR AREAS DETERMINED BY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR OTHER APPLICABLE CONDITION OF APPROVAL THAT REQUIRES CERTAIN LANDSCAPED AREAS TO REMAIN CLEAR OF CONCRETE CURBS FOR MORE EFFICIENT STORM WATER RUNOFF FLOW AND PERCOLATION. REVISED LANDSCAPING AND IRRIGATION PLANS SHALL BE REVIEWED AND APPROVED BY THE PLANNING DIVISION SHOULD SUBSEQUENT MODIFICATIONS BE REQUIRED BY OTHER CONCERNED AGENCIES REGARDING THE REMOVAL OF CONCRETE CURBS.
12. THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE BEST WATER CONSERVATION PRACTICES.
13. INSTALLATION, MAINTENANCE, AND REPAIR OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
14. PRIOR TO ISSUANCE OF BUILDING PERMIT, THE APPLICANT SHALL SUBMIT TWO SETS OF LANDSCAPE AND IRRIGATION PLANS DRAWN, STAMPED, AND SIGNED BY A LICENSED LANDSCAPE ARCHITECT. SUCH PLANS ARE TO BE APPROVED BY THE PLANNING DIVISION.
15. ADEQUATE LIGHTING SHALL BE PROVIDED FOR THE PARKING AREAS.
16. ALL EXTERIOR LIGHTING SHALL BE PROVIDED IN COMPLIANCE WITH THE STANDARDS PURSUANT TO SECTION 9147.1 OF THE ZONING ORDINANCE.
17. SUCH LIGHTS ARE TO BE DIRECTED ON-SITE IN SUCH A MANNER AS TO NOT CREATE A NUISANCE OR HAZARD TO ADJACENT STREET AND PROPERTIES, SUBJECT TO THE APPROVAL OF THE PLANNING DIVISION.
18. ALL DRIVEWAYS SHALL REMAIN CLEAR. NO ENCR OACHMENT INTO DRIVEWAYS SHALL BE PERMITTED.
19. THE PARKING AREAS WILL BE RE-SLURRY SEALED AND RE-STRIPED WITH A NEW PARKING CONFIGURATION THAT COMPLIES WITH ADA, FIRE, AND TRAFFIC ENGINEERING STANDARDS.
20. ALL AREAS USED FOR MOVEMENT, PARKING, LOADING, OR STORAGE OF VEHICLES SHALL BE PAVED, STRIPED AND PROVIDED WITH WHEEL STOPS IN ACCORDANCE WITH SECTION 9162.0 OF THE ZONING ORDINANCE.
21. ALL PARTIES INVOLVED IN THE SUBJECT PROJECT INCLUDING BUT NOT LIMITED TO CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO OBTAIN A CITY BUSINESS LICENSE PER SECTION 6310 OF THE CARSON MUNICIPAL CODE.



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REVISIONS:


CONTENTS:  
**SITE PLAN**  
**FLOOR PLAN**

DATE: 03/28/24 PROJECT NO.: SO.030224  
 SCALE: 1" = 10'-0" NORTH:  
 DESIGNER: L.T.

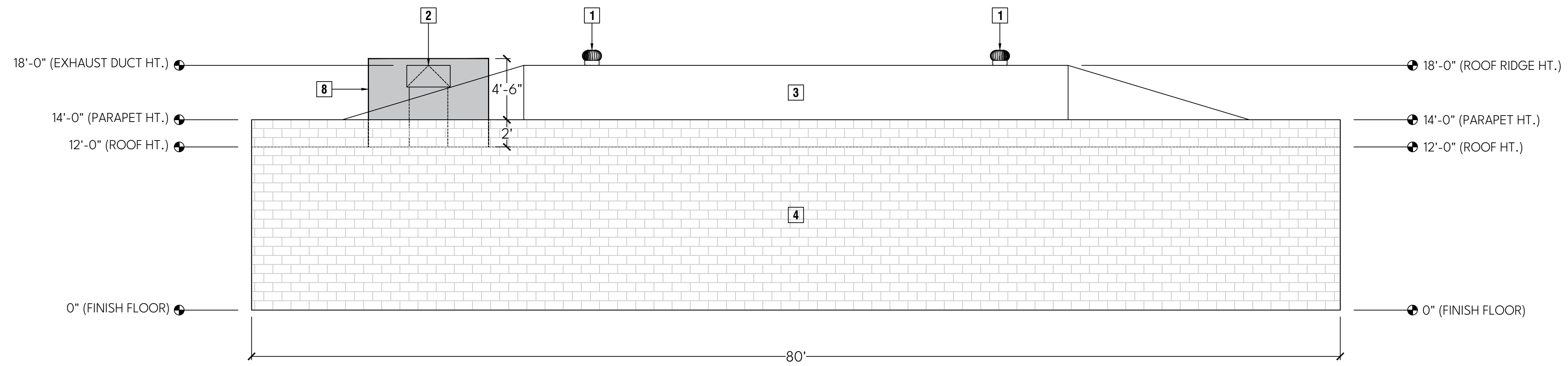
SHEET:

**A 2.0**

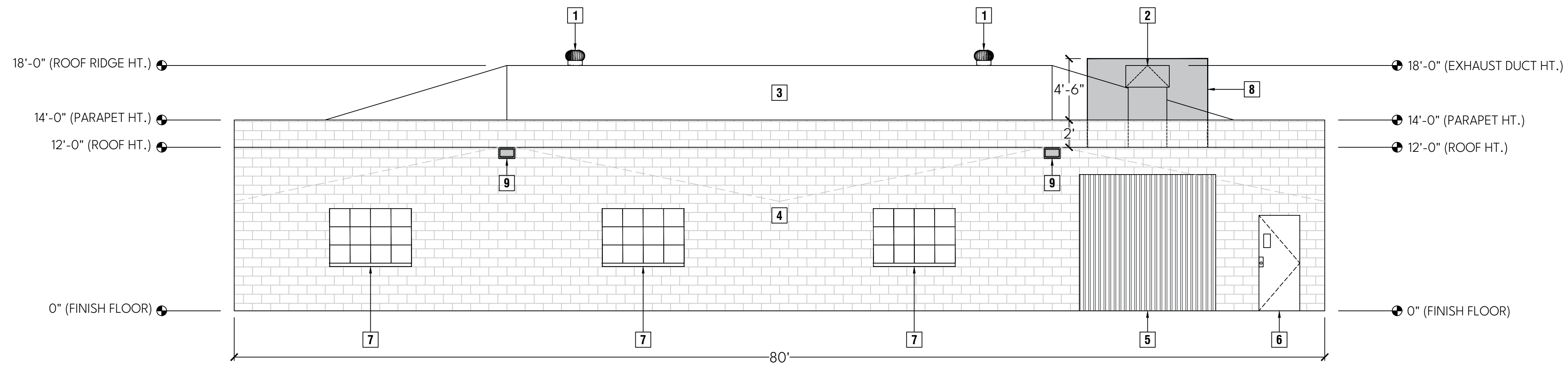
**BUILDING ELEVATION LEGEND:**

- 1 EXISTING WHILYBIRD EXHAUST RIDGE VENT (NO CHANGE - TYP. OF 2)
- 2 NEW Ø34" PAINT BOOTH EXHAUST DUCT (TYP. OF 1)
- 3 EXISTING BUILDING ROOF (NO CHANGE - TYP.)
- 4 EXISTING BUILDING EXTERIOR CMU WALLS (NO CHANGE - TYP.)
- 5 EXISTING O.H. 10'WX10'H SHOP DOOR (NO CHANGE - TYP. OF 1)
- 6 EXISTING 3068 BUILDING EXIT DOORS (NO CHANGE - TYP. OF 2)
- 7 EXISTING 4860 BUILDING WINDOWS (NO CHANGE - TYP. OF 8)
- 8 NEW ROOFTOP DUCT SCREENING (9'LX9'WX6'-6"H) (COLOR TO MATCH THAT OF THE BUILDING)
- 9 NEW AREA LIGHTING PER SECTION 9147.1 (KONLITE WPO5 SERIES LED WALL PACK) (TYP. OF 4)

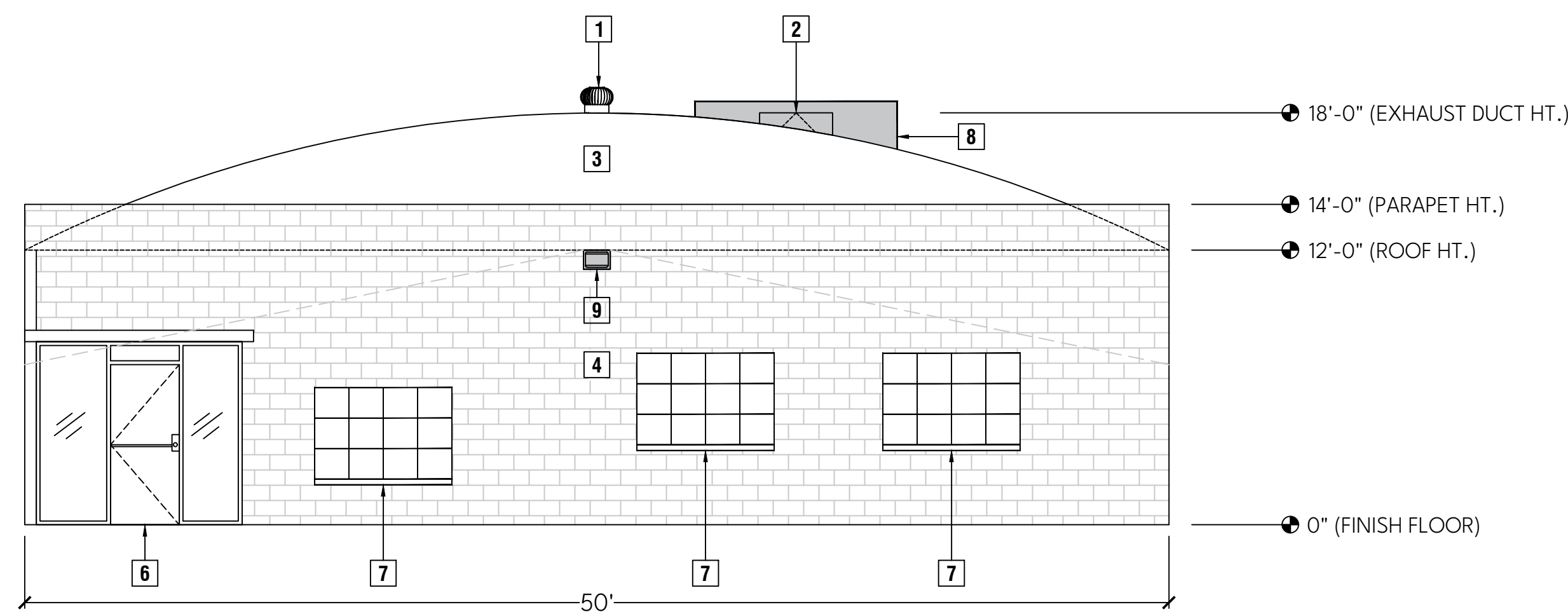
NOTE: ONLY ADDITION/ALTERATION TO BUILDING EXTERIOR IS ADDITION IS PAINT SPRAY BOOTH EXHAUST DUCTS (1). COLOR OF DUCT SCREEN TO MATCH COLOR OF BUILDING.



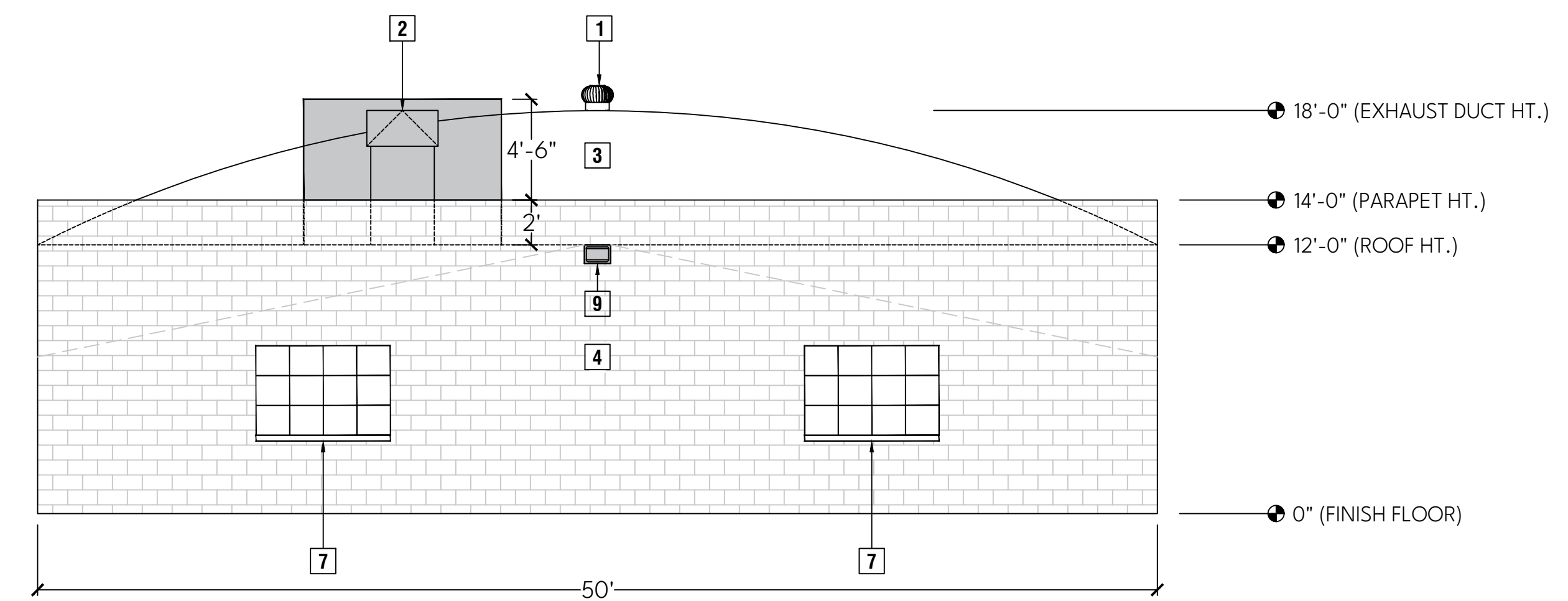
**NORTH BUILDING ELEVATION**



**SOUTH BUILDING ELEVATION**



**WEST BUILDING ELEVATION**



**EAST BUILDING ELEVATION**

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**REVISIONS:**

NO.	DESCRIPTION	DATE

**CONTENTS:**

**EXTERIOR**  
**BUILDING ELEVATIONS**

DATE: 03/28/24 PROJECT NO.: SO.030224

SCALE: 3/16" = 1'-0" NORTH:

DESIGNER: L.T.

SHEET: