



# CARSON TOWNHOMES

## PROJECT SUMMARY

PROPOSED: 35 - 3 STORY SINGLE FAMILY TOWNHOUSES  
 GENERAL PLAN: MIXED USE - RESIDENTIAL  
 ZONE: MU-C5 (MIXED USE - CARSON STREET)  
 NET LOT AREA: 63,696 SF ( 1.46 ACRES)  
 NET LOT WIDTH: 82.30'  
 NET LOT DEPTH: 372.79'  
 ALLOWED DENSITY: MAX. 35 DU/AC = 51 UNITS  
 PROPOSED DENSITY: 34 DWELLING UNITS  
 SETBACKS:  
 FRONT: 10'-0" (REQUIRED MIN. 10'-0")  
 SIDE YARD: 10'-0" (REQUIRED MIN. 10'-0")  
 REAR YARD: 22'-4" (REQUIRED 15'-0")  
 REAR YARD @ 3RD FLOOR: 30'-0" (REQUIRED 30'-0")  
 BUILDING HEIGHT ALLOWED: 45'-0"  
 BUILDING HEIGHT PROPOSED: MAX 30'-0"  
 FLOOR AREA (RESIDENTIAL NET): TOTAL: 64,046 SF (1.01/1 FAR)  
 FLOOR AREA (GROSS): TOTAL 81,282 SF (1.01/1 FAR)  
 USABLE OPEN SPACE: 150 SF/UNIT REQUIRED  
 PROPOSED OPEN SPACE: 151 SF MIN. PER UNIT  
 PARKING:  
 PARKING REQUIRED: 34 UNITS @ 2/UNIT =  
 68 SPACES + GUESTS @ 1/4 UNITS = 77 SPACES  
 TOTAL REQUIRED = 77 SPACES  
 PARKING PROVIDED: 2 CAR GARAGES: 68 SPACES  
 + 1 HANDICAP VAN SPACE + 9 STD. SGL. SPACES  
 TOTAL PROVIDED = 78 SPACES  
 LEGAL DESCRIPTION:  
 ASSESSORS PARCEL NUMBERS: 7343-011-013, 018, 019, & 020  
 LEGAL: PORTION OF LOT 36, TRACT 5477

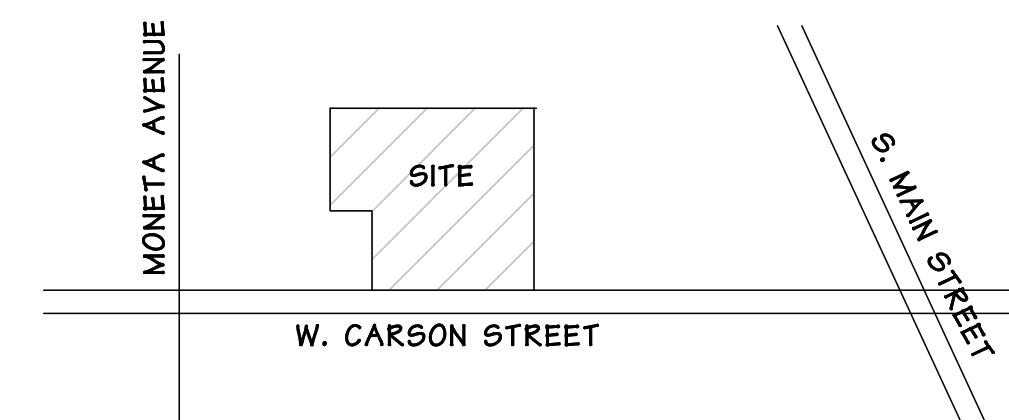
## CODE ANALYSIS:

OCCUPANCY TYPE: R-2  
 CONSTRUCTION TYPE:  
 TYPE V-A (13D SPRINKLERED)  
 ALLOWABLE HEIGHT: 3 STORY, 40'-0" ABOVE FINISH GRADE  
 BUILDING:  
 BASIC ALLOWABLE AREA (ONE STORY): 21,000 SF  
 INCREASE FOR 2 STORIES: +21,000 SF  
 TOTAL BUILDING AREA ALLOWED = 42,000 SF  
 PROPOSED BUILDING AREA:  
 BUILDING 1: 4,417 SF  
 BUILDING 2: 11,803 SF  
 BUILDING 3: 4,417 SF  
 BUILDING 4: 11,803 SF  
 BUILDING 5: 11,803 SF  
 BUILDING 6: 11,803 SF  
 BUILDING 7: 13,448 SF  
 BUILDING 8: 11,560 SF  
 NOTE:  
 FIRE SPRINKLER PLANS ARE TO BE PREPARED, SUBMITTED &  
 APPROVED BY COUNTY OF LOS ANGELES FIRE PRIOR TO  
 CERTIFICATE OF OCCUPANCY. RESIDENTIAL OR QUICK-  
 RESPONSE HEADS SHALL BE USED IN THE DWELLING UNITS.

ATTACHMENT NO. 1

215 W. CARSON STREET  
 CARSON, CA 90745

## VICINITY MAP



  
 RANDY MORRIS ARCHITECT  
 45120 VIA CARINA  
 INDIAN WELLS, CA 92210  
 T. (310) 809-6745  
 E-MAIL [rj.morris3@verizon.net](mailto:rj.morris3@verizon.net)

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- L-1 CONCEPTUAL LANDSCAPE PLAN

## DON WILSON BUILDERS

23705 CRENSHAW BLVD STE 200  
 TORRANCE CA 90510

SCALE: 1/16" = 1'-0"  
 DATE: AUGUST 20, 2024

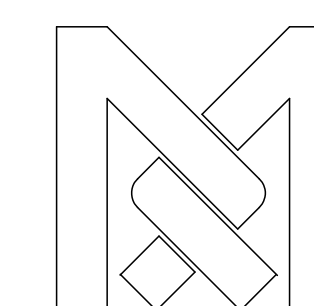
SHEET 1 OF 13



# Site Utilization Map

**CARSON TOWNHOMES**  
215 W. Carson Street, Carson, CA

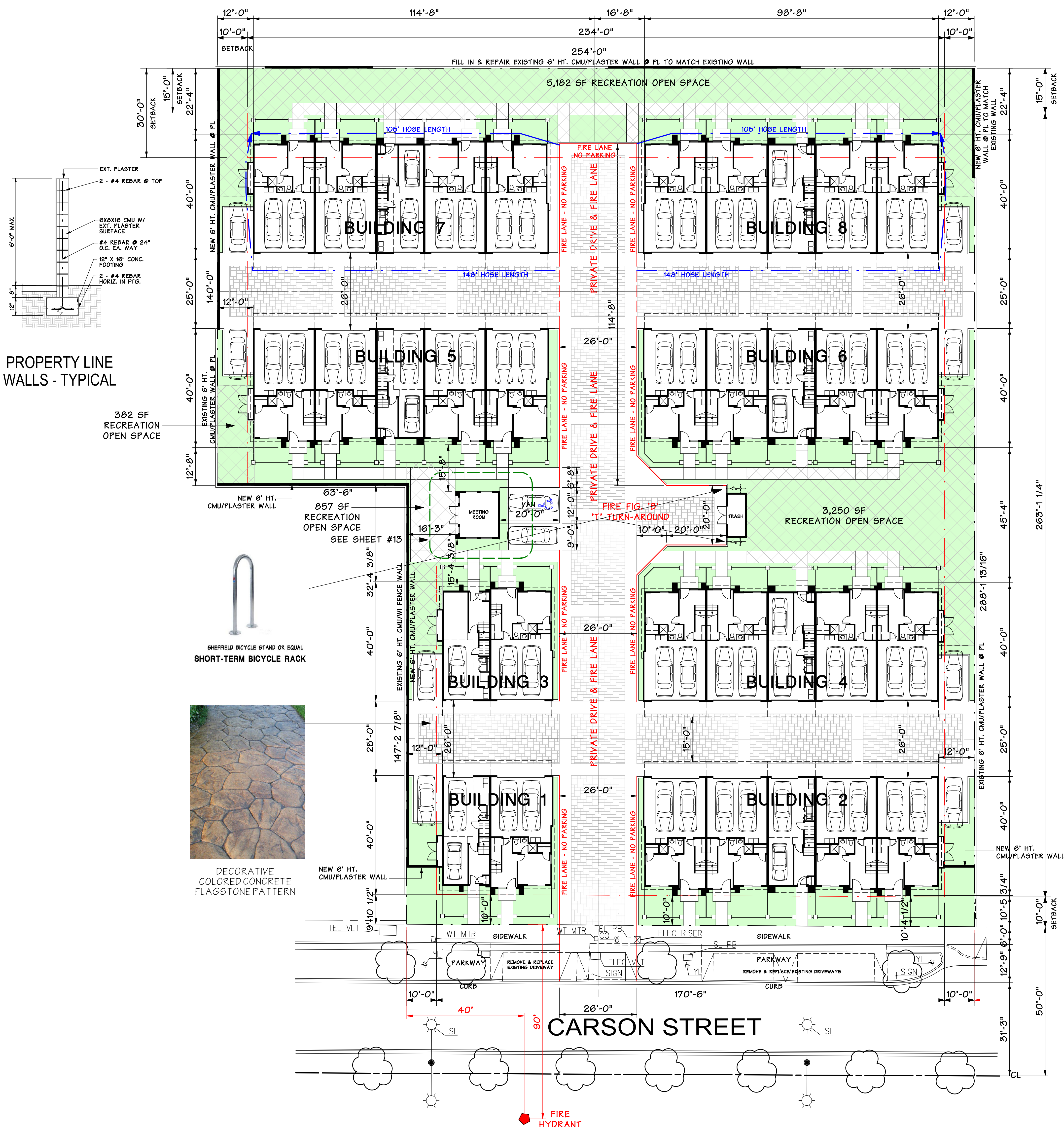
**DON WILSON BUILDERS**  
23705 CRENSHAW BLVD STE 200  
TORRANCE CA 90510



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INDIAN WELLS, CA 92210  
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SCALE: 1/16" = 1'-0"  
DATE: AUGUST 20, 2024

**SHEET 2 OF 13**



**PROJECT SUMMARY:**

APN: 7343-011-013, 018, 019, & 020  
 site area: 63,696 SF (1.46 AC)  
 zone: MU-CS mixed use - Carson Street  
 - allows a variety of stand-alone commercial uses including offices, restaurants etc. by right. It also allows a mix of commercial and residential uses/live-work units and multi-family residential development with a Conditional Use Permit.

**Required/Allowed:**  
 35 units/acre = 51 units max.  
 10' front yard  
 10' side yard  
 15' rear yard  
 30' rear yard @ 3rd floor  
 max FAR 1.5 = 95,544 sf  
 allowed min. commercial FAR 0.15 = 9,555 sf  
 open space required - 15% of residential area = 9,603 sf min.  
 (60% of required open space to be open to sky = 5,761 sf)  
 150 sf private open space min. per unit  
 Parking: 2 covered/unit  
 + 1/4 units guest  
 78 spaces required  
 Height allowed: 3 stories, maximum 45'

**Provided:**  
 34 units (3-bdrm) = 23.29 u/a  
 10' front yard  
 22'-4" rear yard  
 30' rear yard @ 3rd floor  
 FAR 1.01 = 64,046 sf  
 0 commercial space  
 Open Space:  
 5,194 sf private open space = avg. 152.8 sf/unit  
 9,675 sf open recreation space (36% open to sky)  
 includes min. 4,480 sf playground area  
 Building coverage - 25,361 sf (39.8%)  
 Landscape area - 14,248 sf (22.4%)  
 Paved area - 24,087 sf (37.8%)  
 Driveway area - 18,910 sf  
 30.5% total open space (19,425 sf)  
 Parking: 2 covered/unit  
 10 spaces guest  
 78 spaces total  
 Bicycle parking: 2 spaces  
 Height proposed: 3 stories, 30'-0"

| BUILDING NUMBER | NO. UNITS | SITE COVERAGE | LIVING AREA | GARAGE AREA | GROSS AREA |
|-----------------|-----------|---------------|-------------|-------------|------------|
| 1               | 2         | 1,377 SF      | 3,493 SF    | 924 SF      | 4,417 SF   |
| 2               | 5         | 3,714 SF      | 9,553 SF    | 2,250 SF    | 11,803 SF  |
| 3               | 2         | 1,377 SF      | 3,493 SF    | 924 SF      | 4,417 SF   |
| 4               | 5         | 3,714 SF      | 9,553 SF    | 2,250 SF    | 11,803 SF  |
| 5               | 5         | 3,714 SF      | 9,553 SF    | 2,250 SF    | 11,803 SF  |
| 6               | 5         | 3,714 SF      | 9,553 SF    | 2,250 SF    | 11,803 SF  |
| 7               | 5         | 3,714 SF      | 9,310 SF    | 2,250 SF    | 11,560 SF  |
| 8               | 5         | 3,714 SF      | 9,310 SF    | 2,250 SF    | 11,560 SF  |
| 34              |           | 25,038 SF     | 64,046 SF   | 15,348 SF   | 79,394 SF  |

| UNIT TYPE | NO. | NO. OF BDRMS | LIVING AREA | LIVING TOTAL | GARAGE AREA | GARAGE TOTAL | GROSS AREA |
|-----------|-----|--------------|-------------|--------------|-------------|--------------|------------|
| A         | 10  | 3            | 2,064 SF    | 20,640 SF    | 448 SF      | 4,480 SF     | 25,120 SF  |
| B         | 2   | 2            | 1,431 SF    | 2,862 SF     | 476 SF      | 952 SF       | 3,814 SF   |
| C         | 8   | 3            | 1,997 SF    | 15,976 SF    | 439 SF      | 3,512 SF     | 19,488 SF  |
| D         | 4   | 2            | 1,487 SF    | 5,948 SF     | 476 SF      | 1,904 SF     | 7,852 SF   |
| E         | 4   | 3            | 2,000 SF    | 8,000 SF     | 448 SF      | 1,792 SF     | 9,792 SF   |
| F         | 4   | 3            | 1,949 SF    | 7,796 SF     | 439 SF      | 1,756 SF     | 9,552 SF   |
| G         | 2   | 3            | 1,412 SF    | 2,824 SF     | 476 SF      | 952 SF       | 3,776 SF   |
| 34        |     |              | 64,046 SF   |              | 15,348 SF   | 79,394 SF    |            |

**Site Plan**

SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.

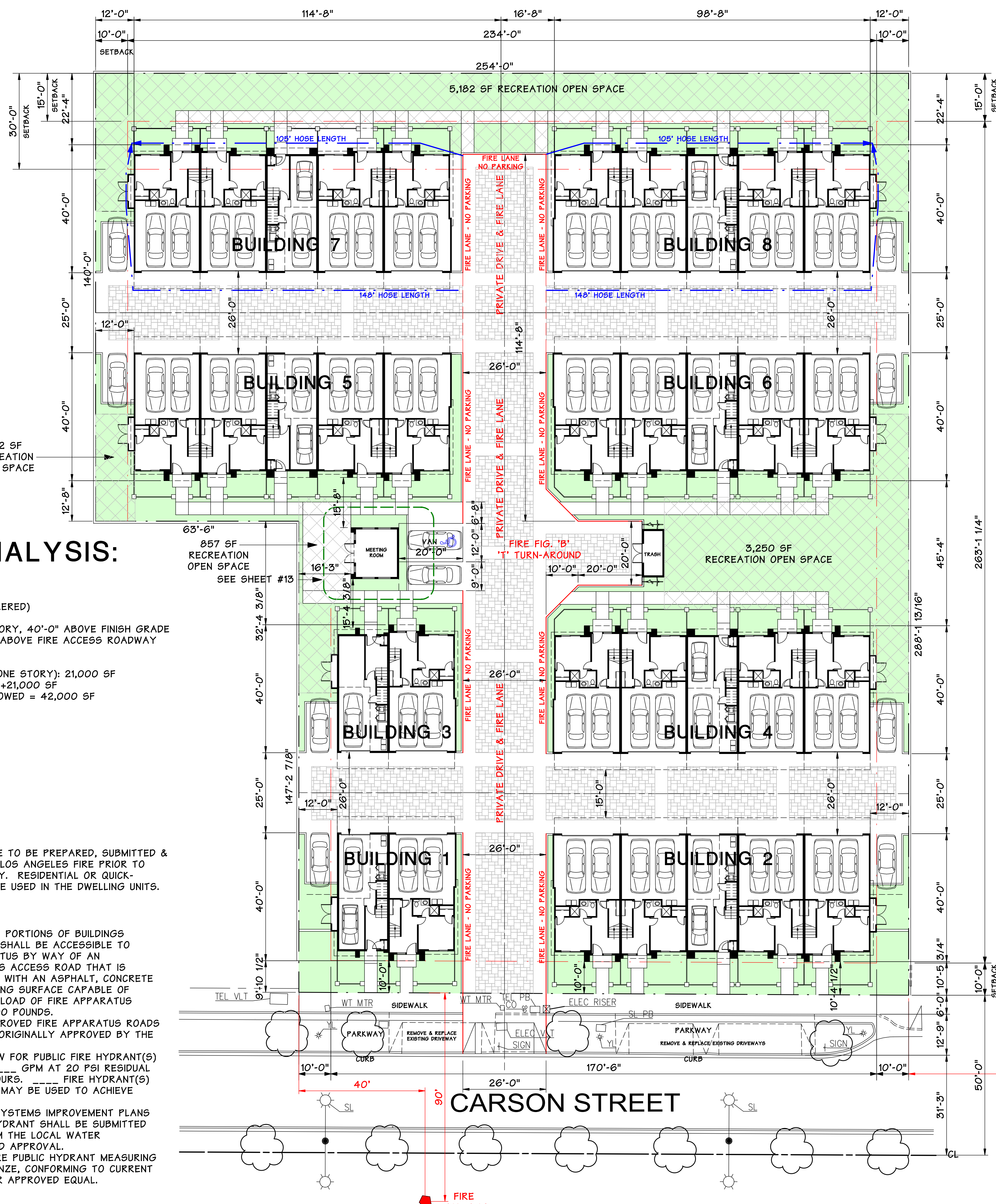
**CARSON TOWNHOMES**  
 215 W. Carson Street, Carson, CA

**DON WILSON BUILDERS**  
 23705 CRENSHAW BLVD STE 200  
 TORRANCE CA 90510

SCALE: 1/16" = 1'-0"  
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**SHEET 3 OF 13**

RANDY MORRIS ARCHITECT  
 45120 VIA CARINA  
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### CODE ANALYSIS:

OCCUPANCY TYPE: R-2  
 CONSTRUCTION TYPE: TYPE V-A (13D SPRINKLERED)  
 ALLOWABLE HEIGHT: 3 STORY, 40'-0" ABOVE FINISH GRADE  
 PROPOSED HEIGHT: 30'-0" ABOVE FIRE ACCESS ROADWAY  
 BUILDING: BASIC ALLOWABLE AREA (ONE STORY): 21,000 SF  
 INCREASE FOR 2 STORIES: +21,000 SF  
 TOTAL BUILDING AREA ALLOWED = 42,000 SF  
 PROPOSED BUILDING AREA:  
 BUILDING 1: 4,417 SF  
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 BUILDING 6: 11,803 SF  
 BUILDING 7: 11,560 SF  
 BUILDING 8: 11,560 SF  
 CLUB ROOM: 323 SF  
 NOTE: FIRE SPRINKLER PLANS ARE TO BE PREPARED, SUBMITTED & APPROVED BY COUNTY OF LOS ANGELES FIRE PRIOR TO CERTIFICATE OF OCCUPANCY. RESIDENTIAL OR QUICK-RESPONSE HEADS SHALL BE USED IN THE DWELLING UNITS.

FIRE PREVENTION NOTES:  
 1. FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS HEREAFTER CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF AN APPROVED FIRE APPARATUS ACCESS ROAD THAT IS DESIGNED AND MAINTAINED WITH AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.  
 2. THE DIMENSIONS OF APPROVED FIRE APPARATUS ROADS SHALL BE MAINTAINED AS ORIGINALLY APPROVED BY THE FIRE CODE OFFICIAL.  
 3. THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANT(S) FOR THIS PROJECT IS \_\_\_\_\_ GPM AT 20 PSI RESIDUAL PRESSURE FOR \_\_\_\_\_ HOURS. \_\_\_\_\_ FIRE HYDRANT(S) FLOWING SIMULTANEOUSLY MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW.  
 4. SUBMITTAL OF WATER SYSTEMS IMPROVEMENT PLANS FOR THE REQUIRED FIRE HYDRANT SHALL BE SUBMITTED THROUGH EPICLA.GOV FROM THE LOCAL WATER PURVEYOR FOR REVIEW AND APPROVAL.  
 5. INSTALL ONE (1) NEW FIRE PUBLIC HYDRANT MEASURING 6"x4"x2.5" BRASS OR BRONZE, CONFORMING TO CURRENT AWWA STANDARD C503 OR APPROVED EQUAL.

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## Fire Access Site Plan

SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.

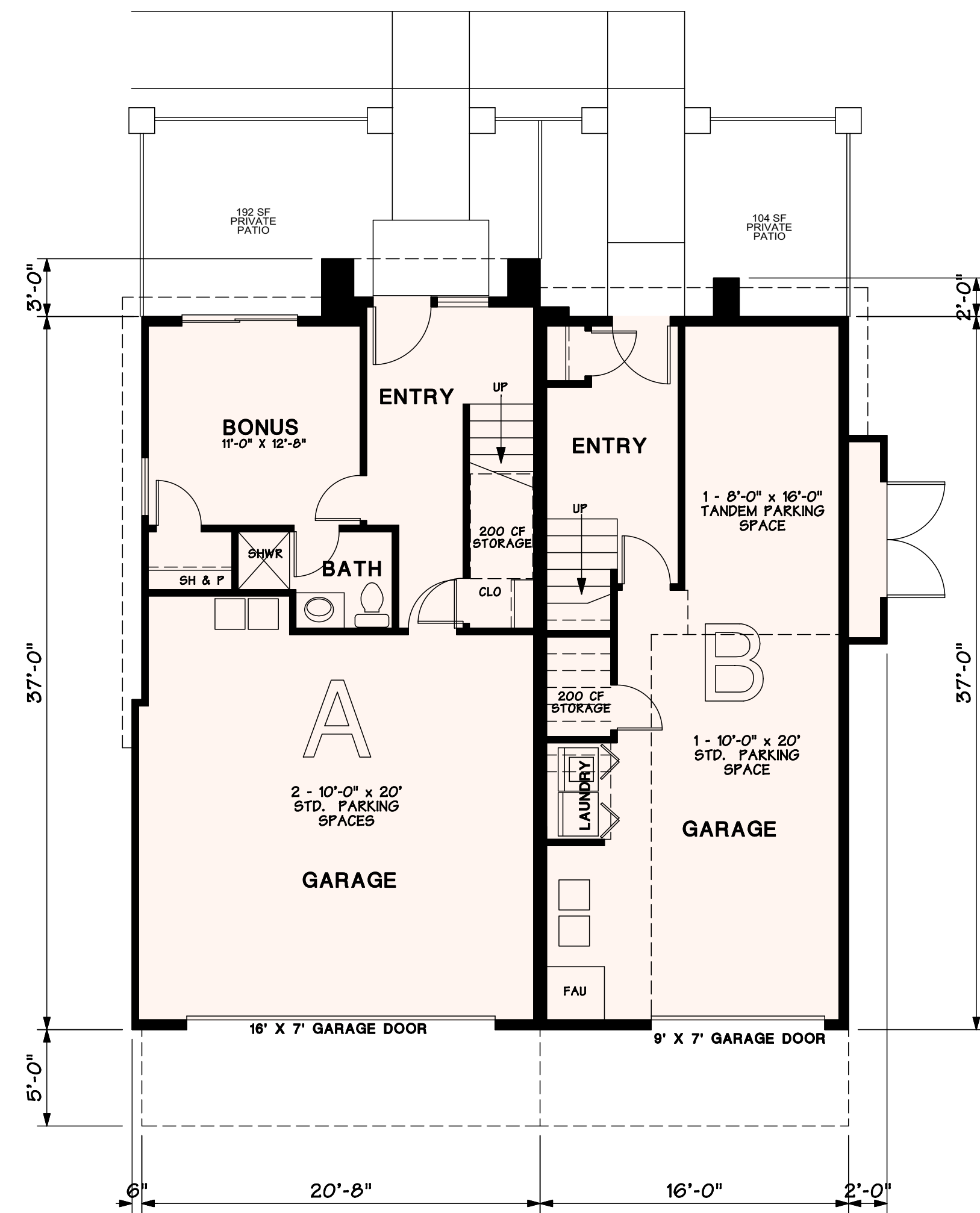
**CARSON TOWNHOMES**  
 215 W. Carson Street, Carson, CA

**DON WILSON BUILDERS**  
 23705 CRENSHAW BLVD STE 200  
 TORRANCE CA 90510

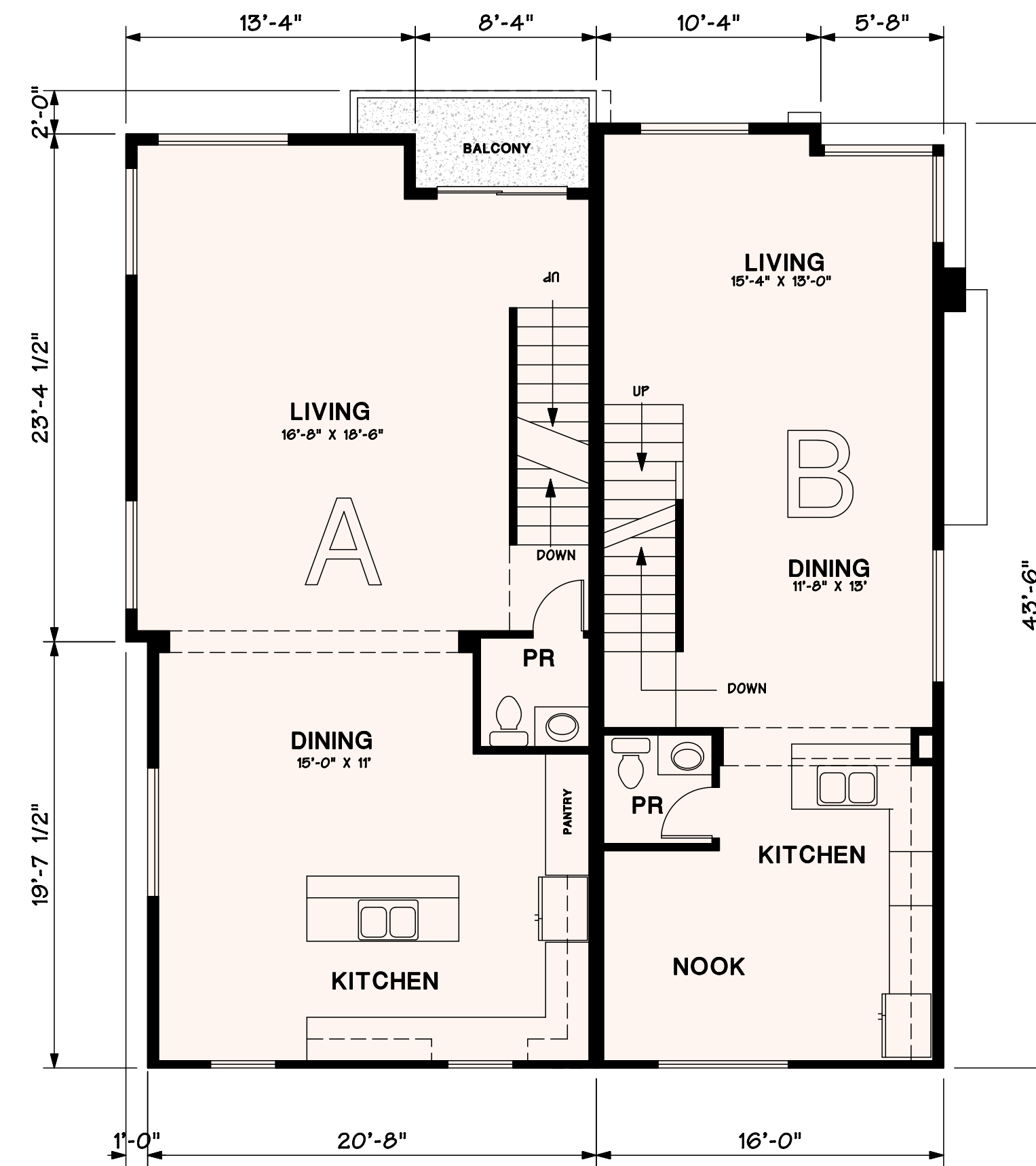
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 DATE: AUGUST 20, 2024

**SHEET 3A OF 13**

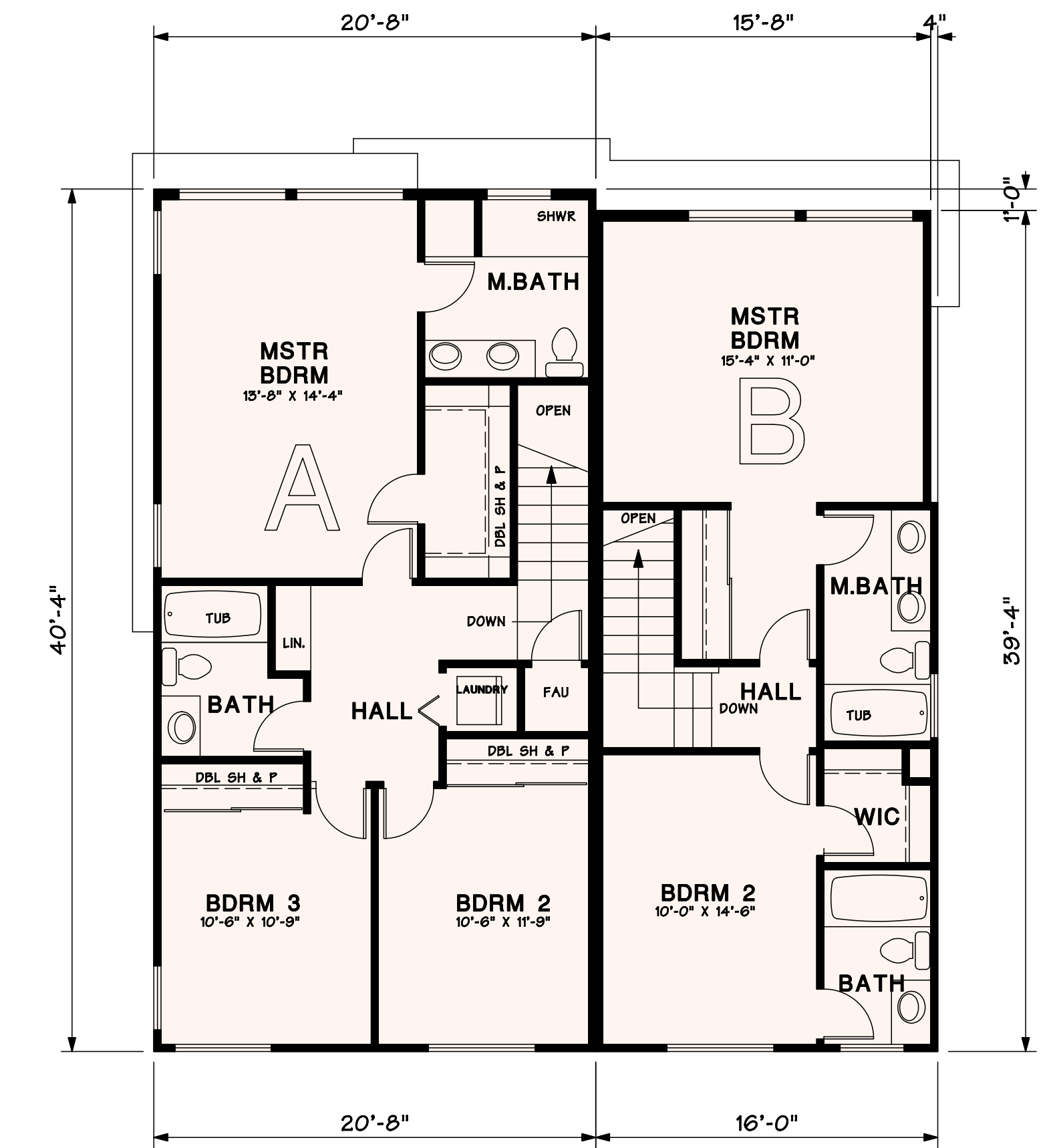
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 INDIAN WELLS, CA 92210  
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 E-MAIL rj.morris3@verizon.net



1ST FLOOR BUILDINGS #1, #3

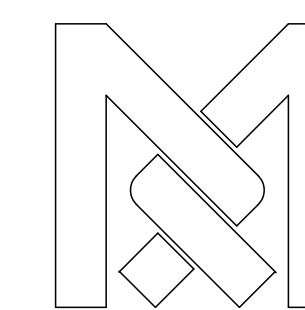


2ND FLOOR BUILDINGS #1, #3



3RD FLOOR BUILDINGS #1, #3

# Building No. 1 & 3 Building Plans



RANDY MORRIS ARCHITECT  
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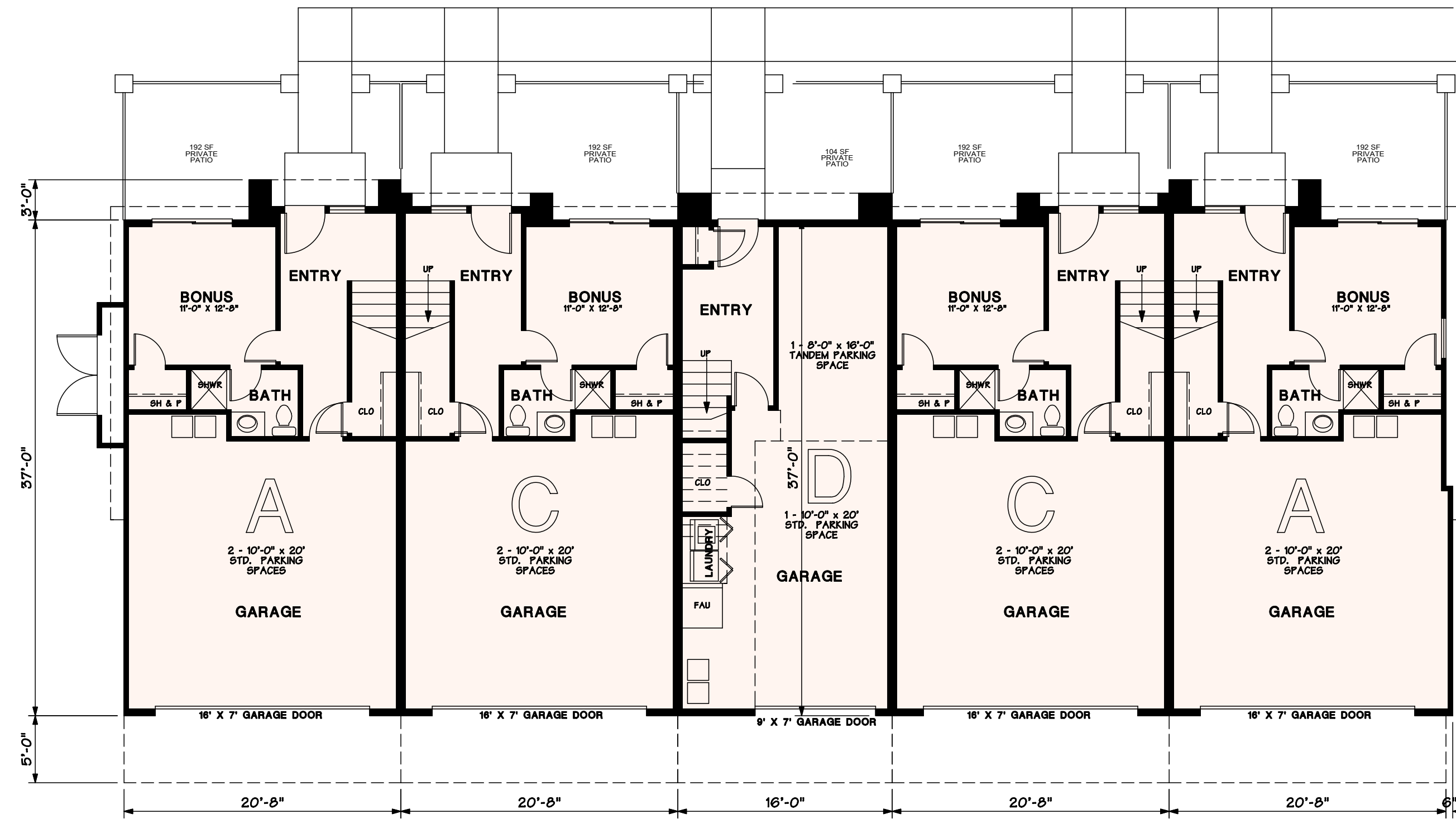
CARSON TOWNHOMES  
215 W. CARSON STREET, CARSON, CA

DON WILSON BUILDERS

23705 CRENSHAW BLVD STE 200  
TORRANCE CA 90510

SCALE: 1/8" = 1'-0"  
DATE: AUGUST 20, 2024

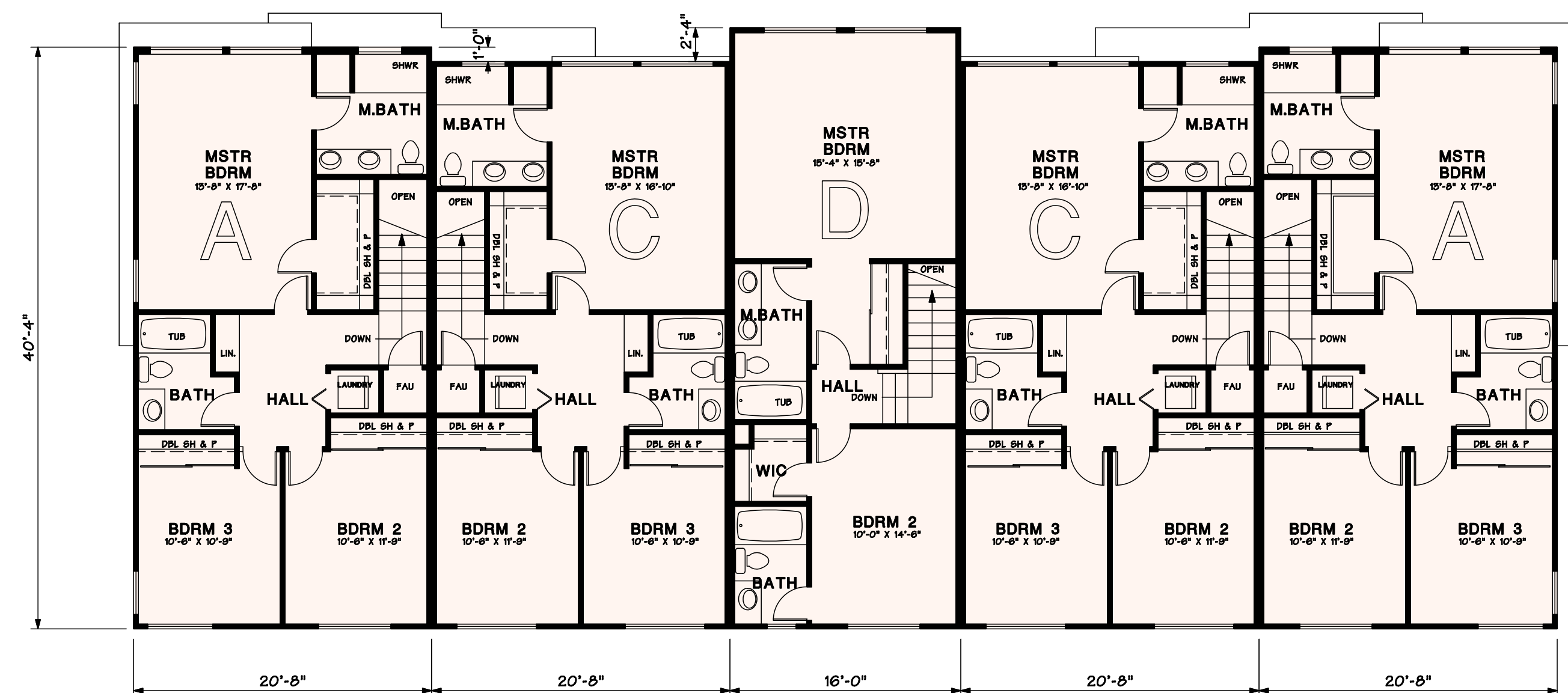
SHEET 4 OF 13



1ST FLOOR PLAN BUILDINGS #2, #4, #5, #6, #8

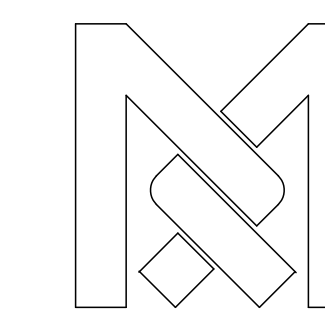


2ND FLOOR PLAN BUILDINGS #2, #4, #5, #6, #8



3RD FLOOR PLAN BUILDINGS #2, #4, #5, #6, #8

# Buildings No. 2, 4, 5, & 6 Building Plans



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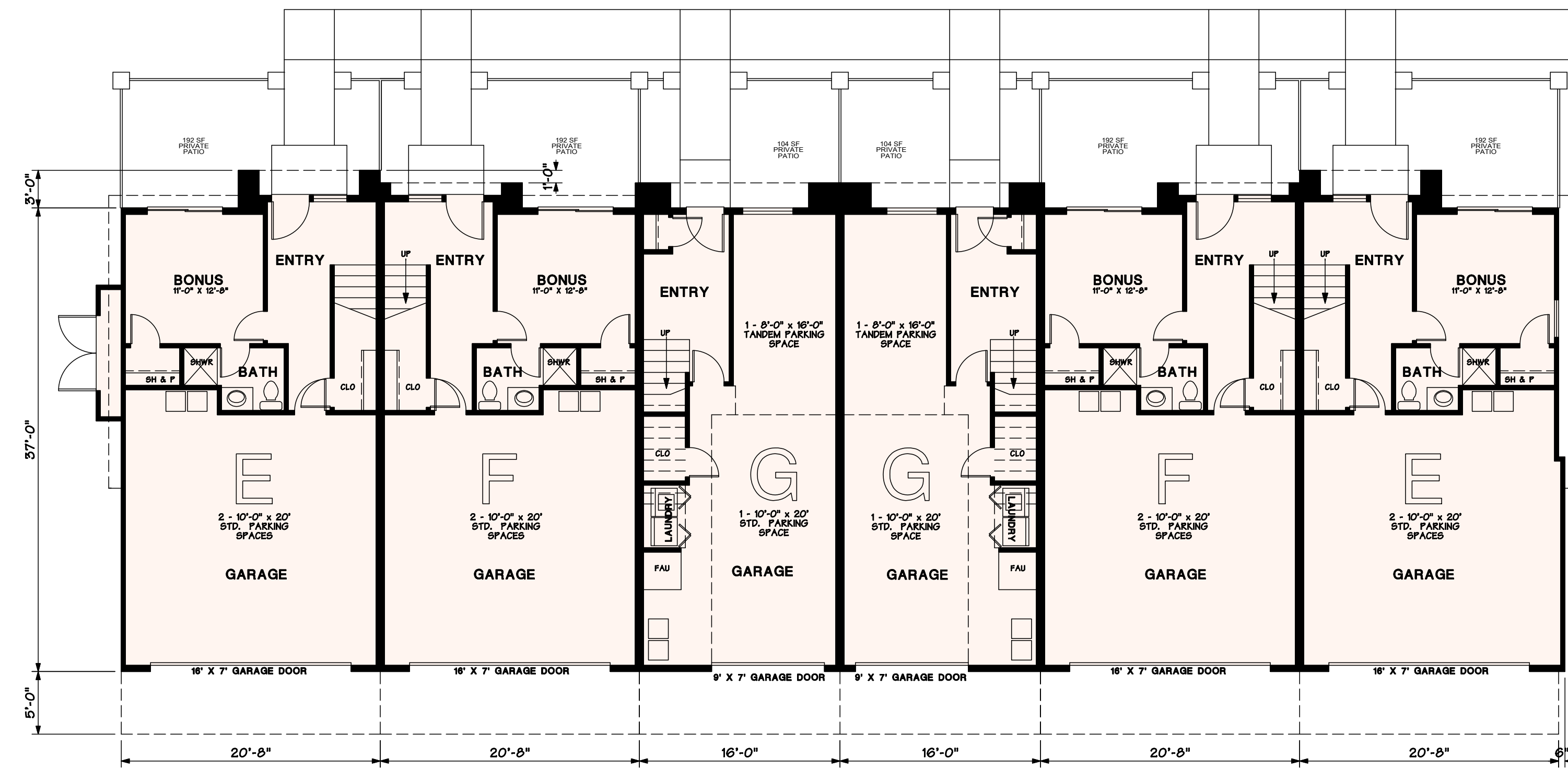
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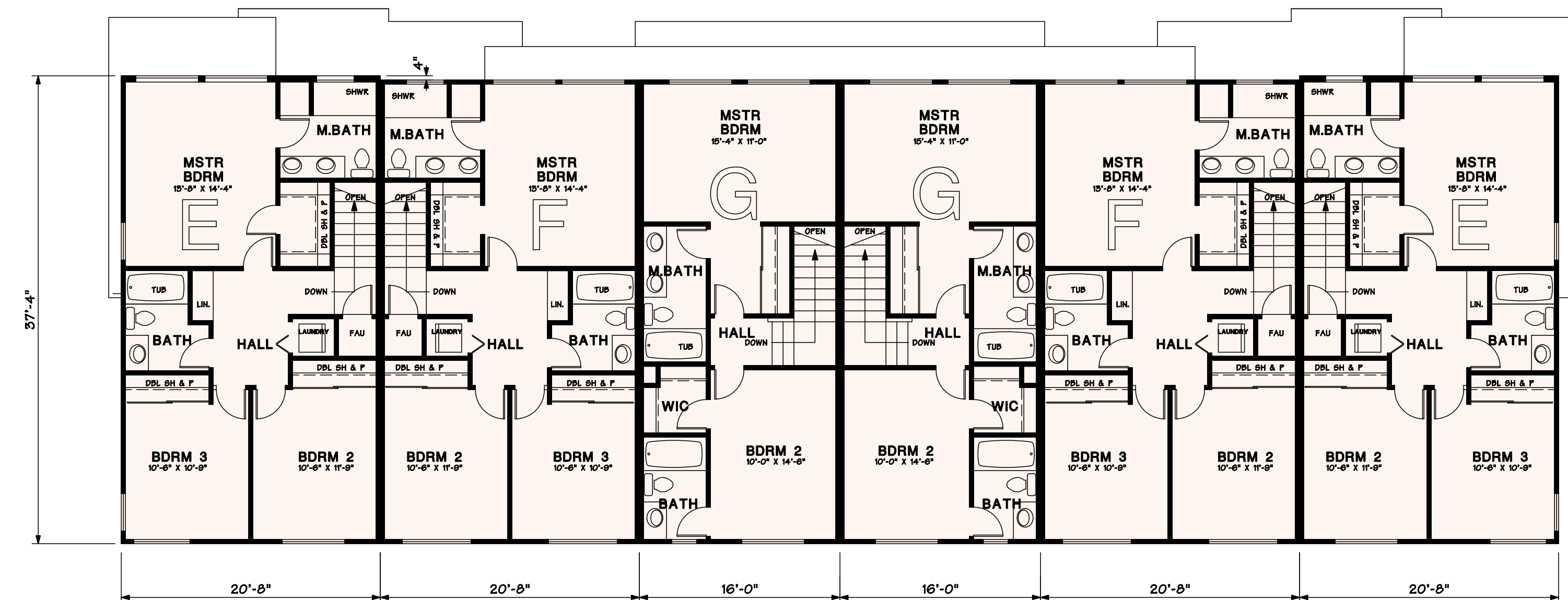
**SHEET 5 OF 13**



1ST FLOOR PLAN

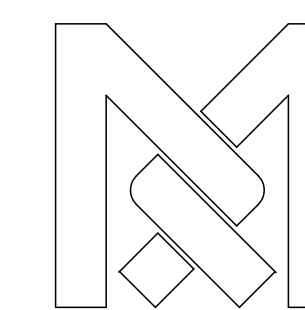


2ND FLOOR PLAN



3RD FLOOR PLAN

# Building No. 7 Building Plans



**CARSON TOWNHOMES**  
215 W. CARSON STREET, CARSON, CA

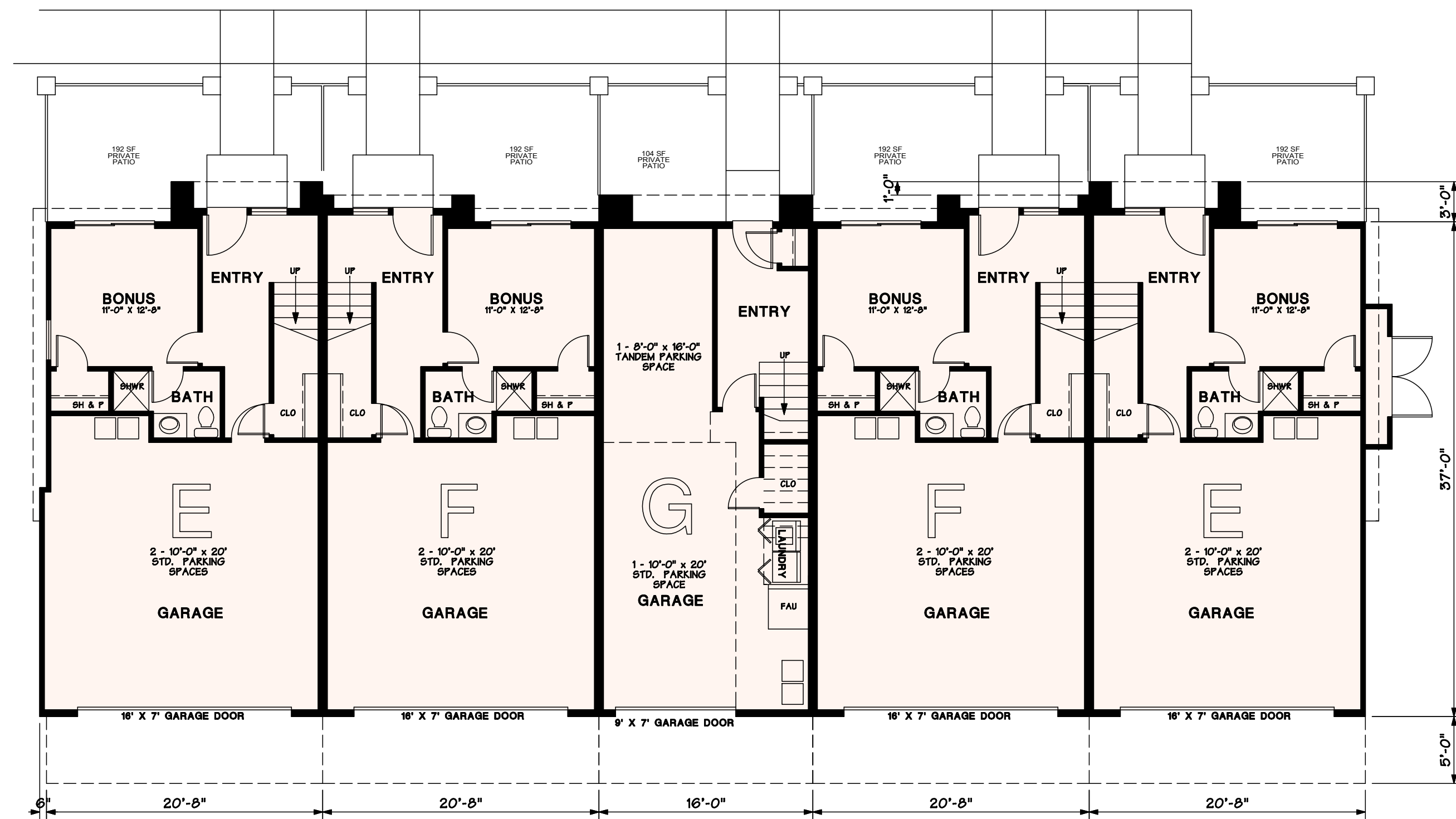
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SCALE: 1/8" = 1'-0"  
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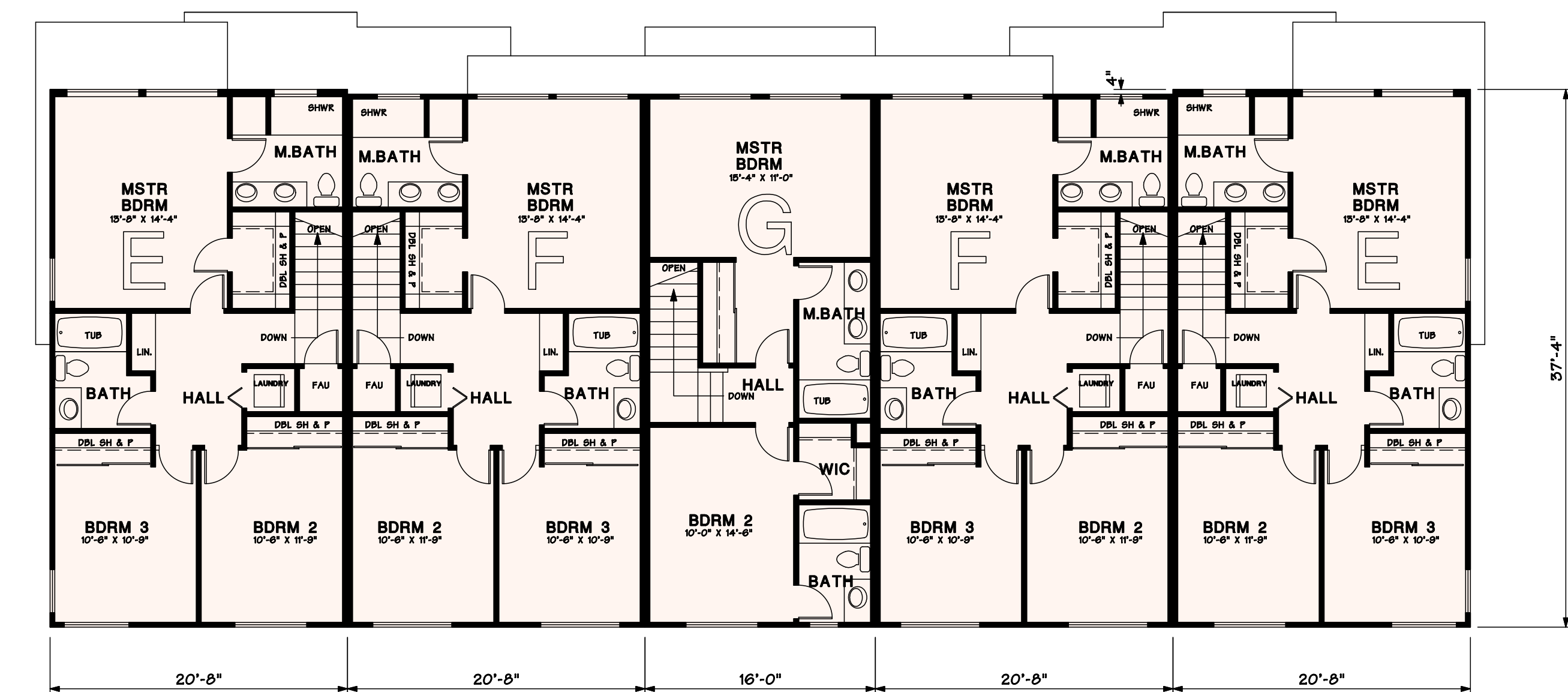
**SHEET 6 OF 13**



1ST FLOOR PLAN



2ND FLOOR PLAN



3RD FLOOR PLAN

# Building No. 8 Building Plans

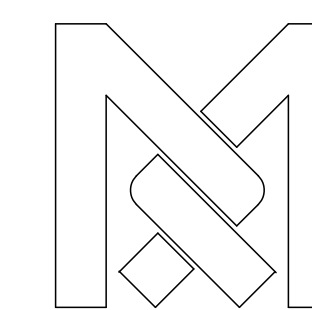
**CARSON TOWNHOMES**  
215 W. CARSON STREET, CARSON, CA

**DON WILSON BUILDERS**

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SCALE: 1/8" = 1'-0"  
DATE: AUGUST 20, 2024

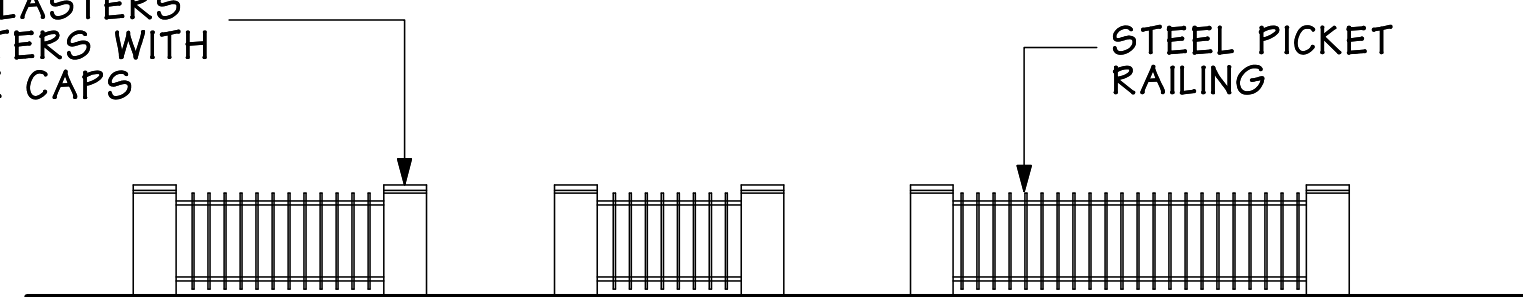
**SHEET 7 OF 13**



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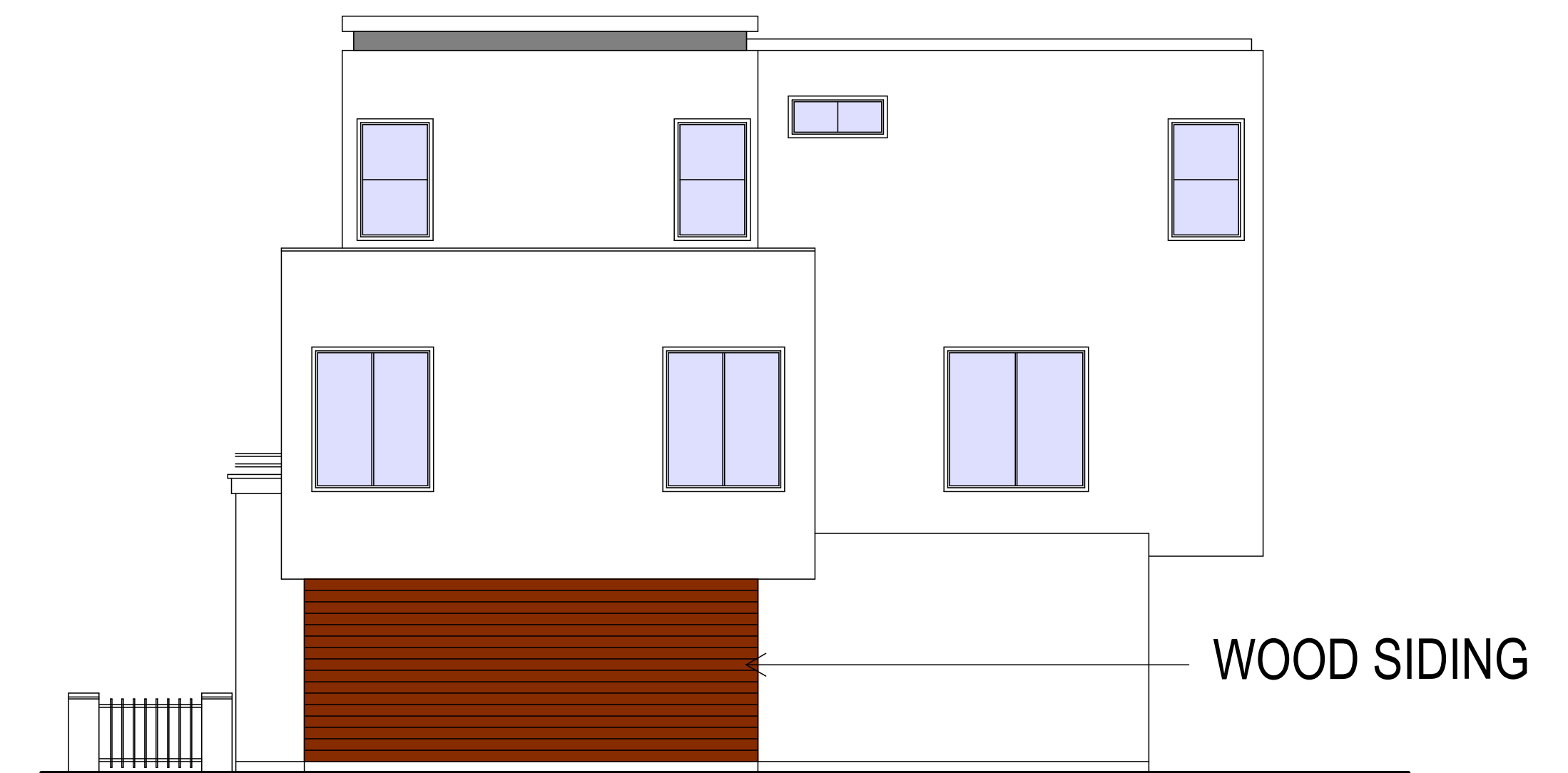
16" SQ. X 42" HT.  
CMU/PLASTERS  
FILASTERS WITH  
STONE CAPS



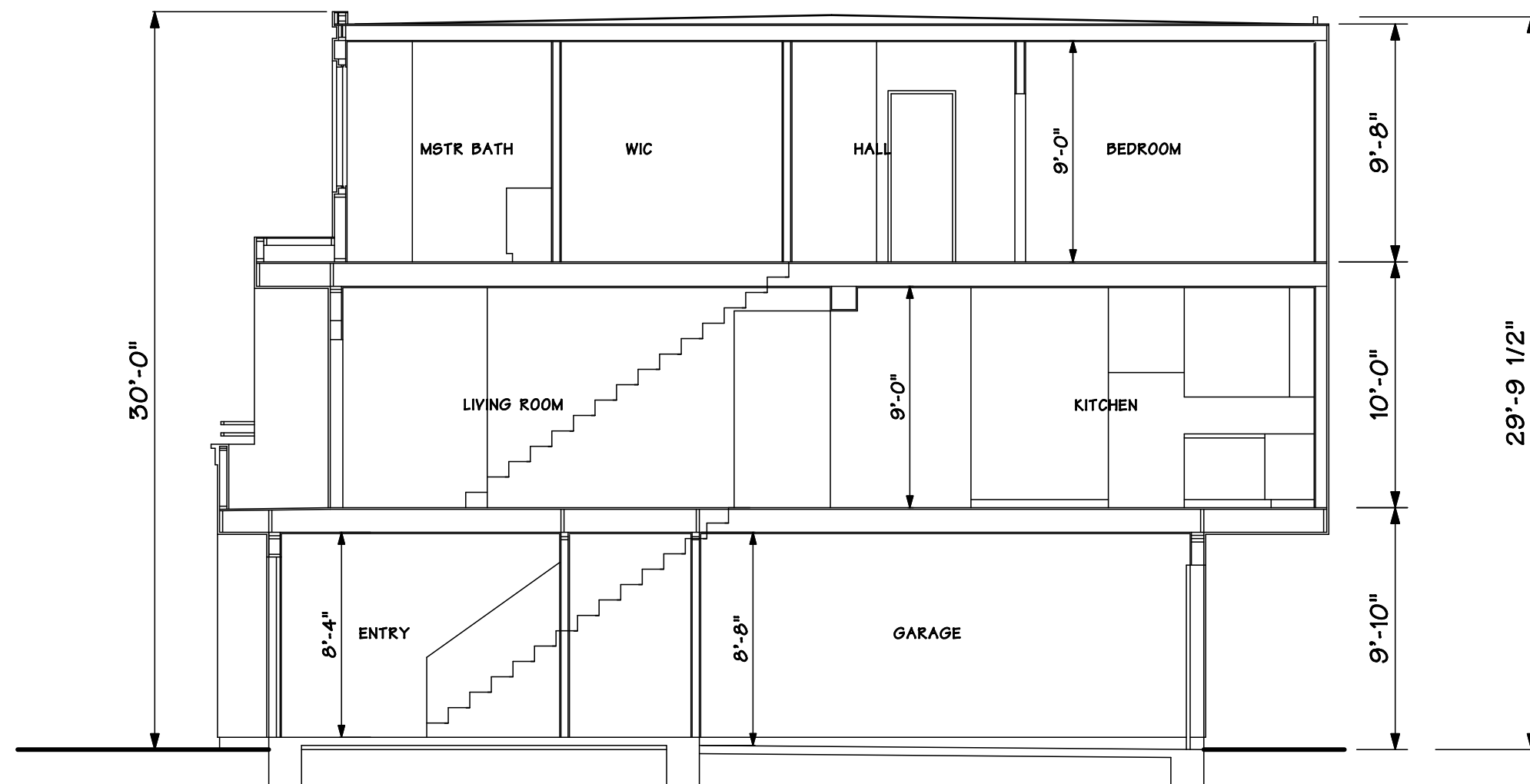
TYPICAL PATIO FENCES



FRONT ELEVATION BUILDINGS #1, #3



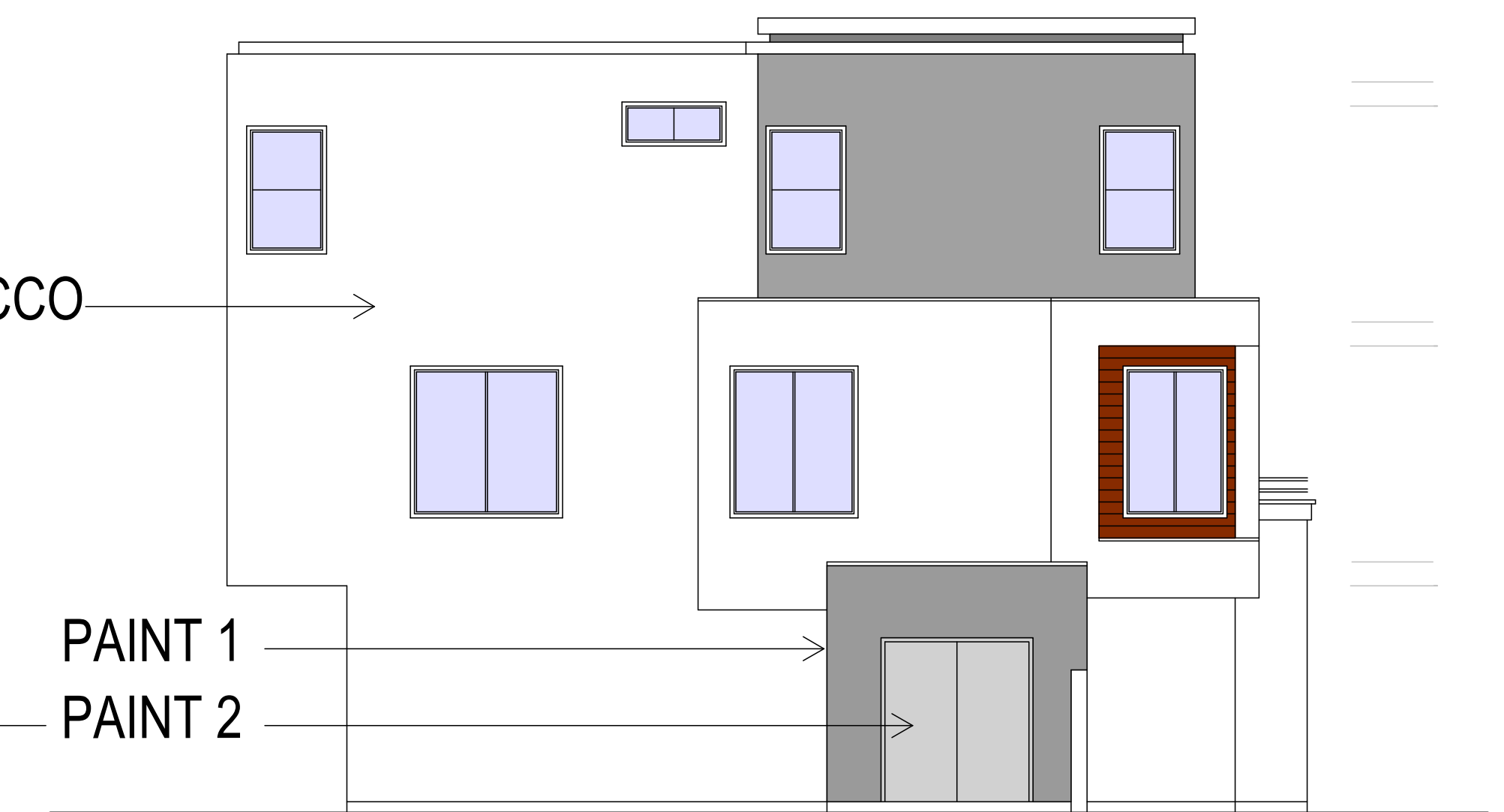
SIDE ELEVATION BUILDINGS #1, #3



TYPICAL SECTION



REAR ELEVATION BUILDINGS #1, #3



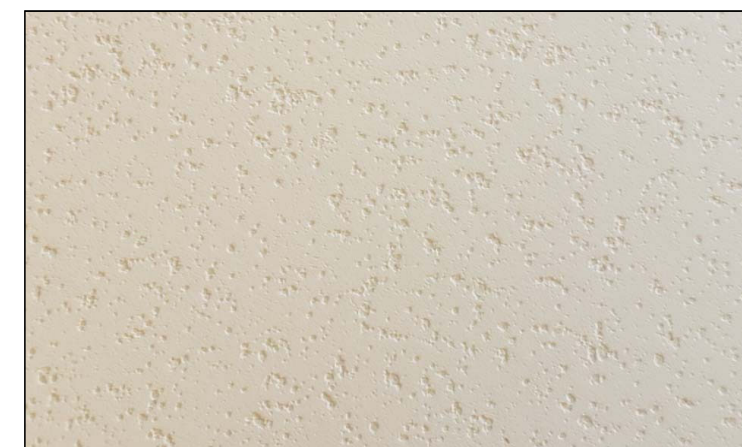
SIDE ELEVATION BUILDINGS #1, #3

WOOD SIDING  
NEW TECHWOOD



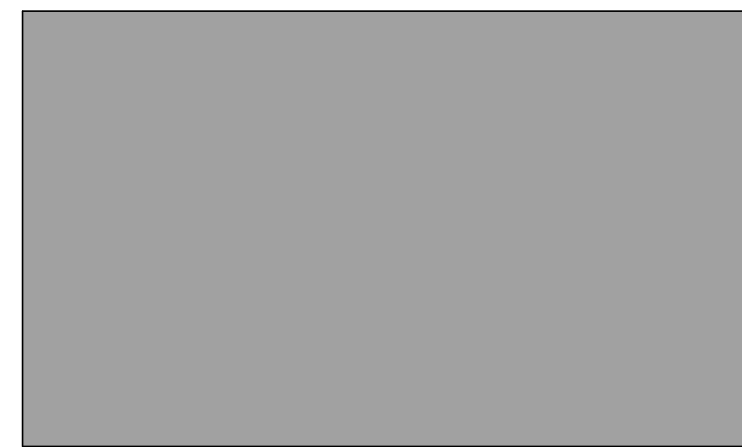
COMPOSITE SIDING  
'PERUVIAN TEAK'  
US09-16-TK-14

STUCCO  
OMEGA STUCCO



#10 WHITE

PAINT 1  
DUNN-EDWARDS PAINT



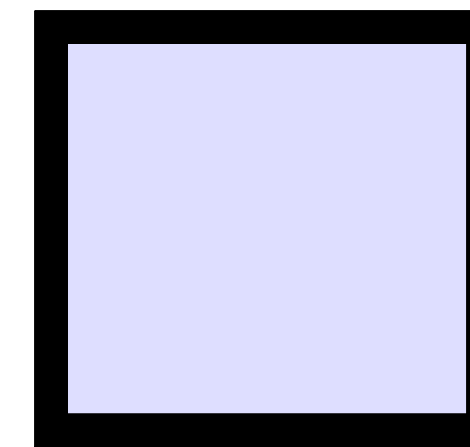
DET 610 WOLVERINE

PAINT 2  
DUNN-EDWARDS PAINT



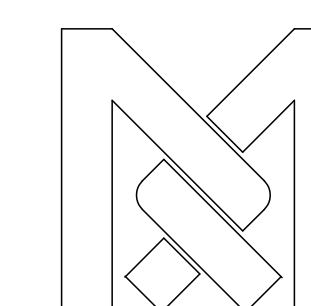
DET 6375 CASTLEROCK

WINDOWS  
MILGARD VINYL



BLACK FRAMES W/  
CLEAR GLASS

# Building No. 1 & 3 Illustrative Building Elevations



RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
T. (310) 809-6745  
E-MAIL rj.morris3@verizon.net

CARSON TOWNHOMES  
215 W. CARSON STREET, CARSON, CA

DON WILSON BUILDERS

23705 CRENSHAW BLVD STE 200

TORRANCE CA 90510

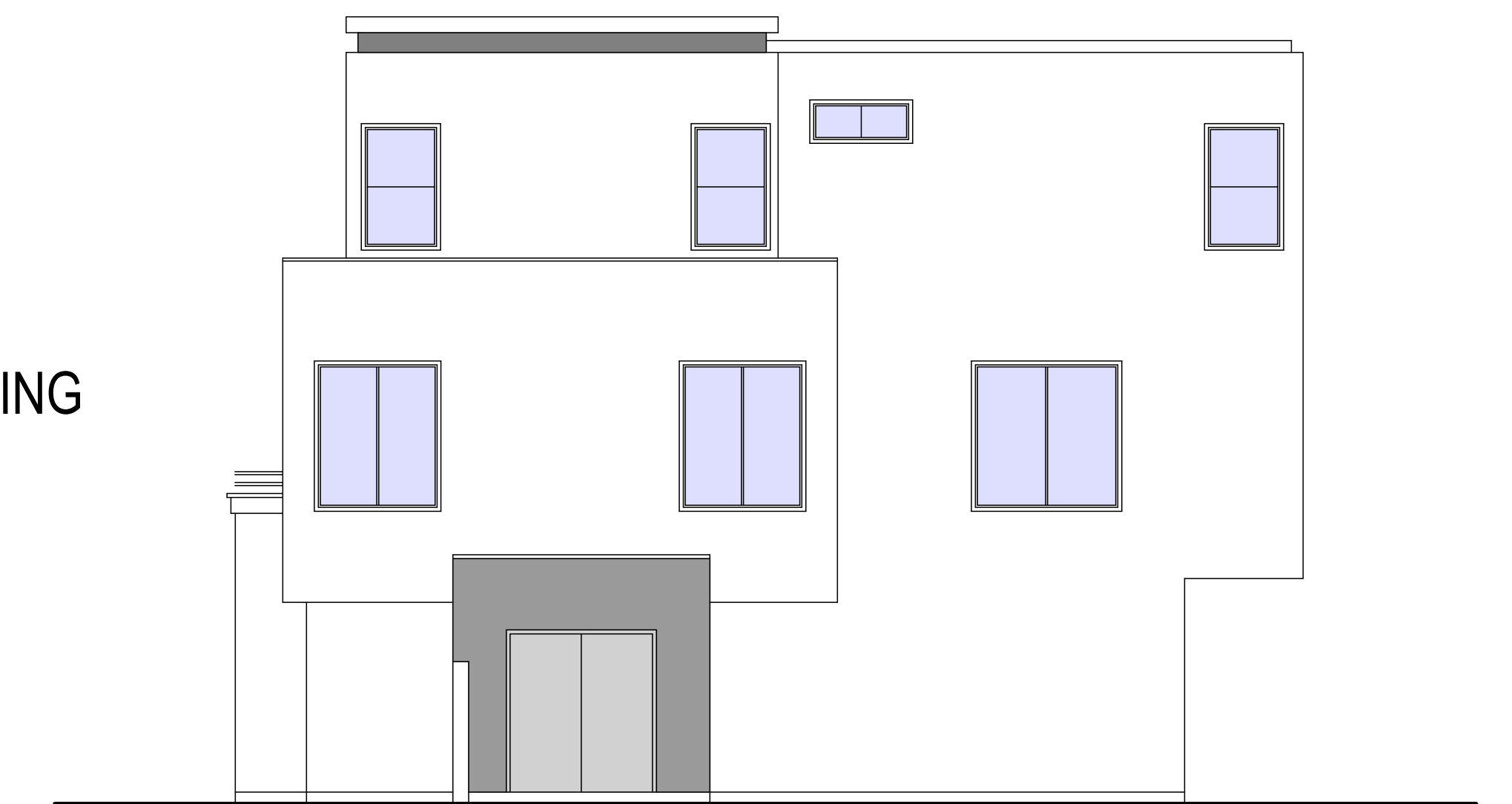
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DATE: AUGUST 20, 2024

SHEET 8 OF 13



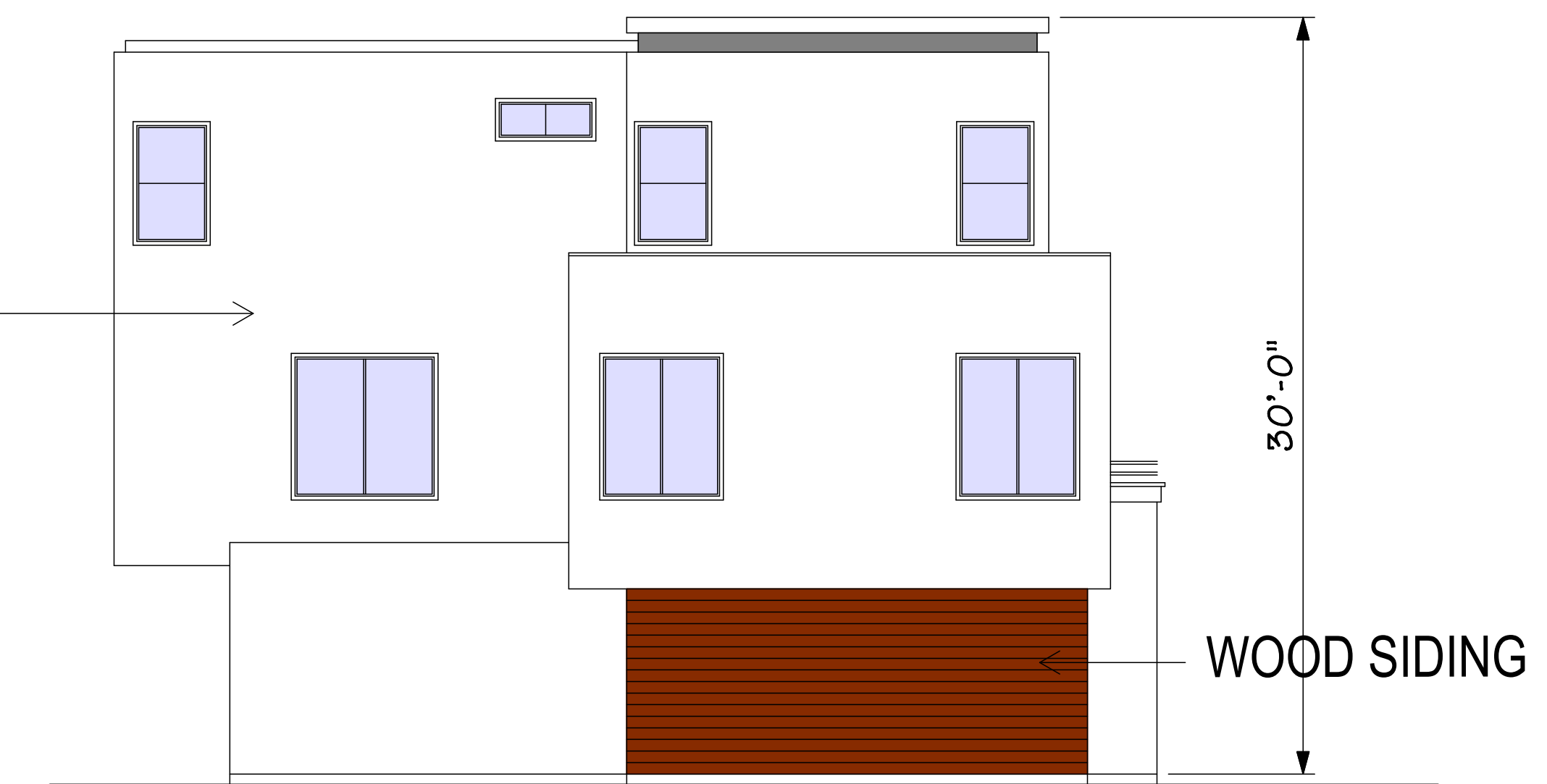
FRONT ELEVATION BUILDINGS #2, #4, #5, #6, #8



SIDE ELEVATION BUILDINGS #1 - #6



REAR ELEVATION BUILDINGS #2, #4, #5, #6, #8



SIDE ELEVATION BUILDINGS #1 - #6

WOOD SIDING  
NEW TECHWOOD



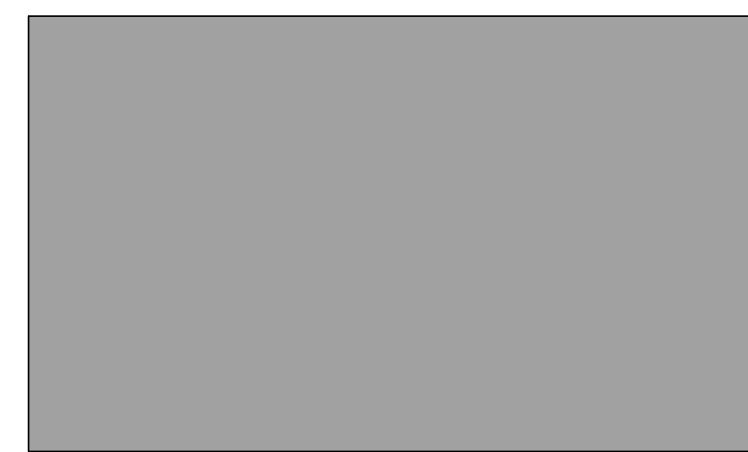
COMPOSITE SIDING  
'PERUVIAN TEAK'  
US09-16-TK-14

STUCCO  
OMEGA STUCCO



#10 WHITE

PAINT 1  
DUNN-EDWARDS PAINT



DET 610 WOLVERINE

PAINT 2  
DUNN-EDWARDS PAINT



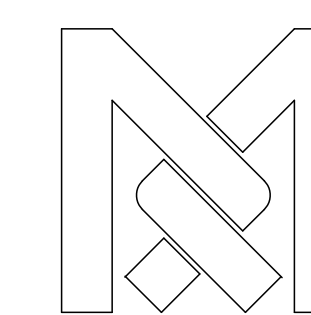
DET 6375 CASTLEROCK

WINDOWS  
MILGARD VINYL



BLACK FRAMES W/  
CLEAR GLASS

## Building No. 2, 4, 5, & 6 Illustrative Building Elevations



RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
T. (310) 809-6745  
E-MAIL rj.morris3@verizon.net

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215 W. CARSON STREET, CARSON, CA

DON WILSON BUILDERS

23705 CRENSHAW BLVD STE 200

TORRANCE CA 90510

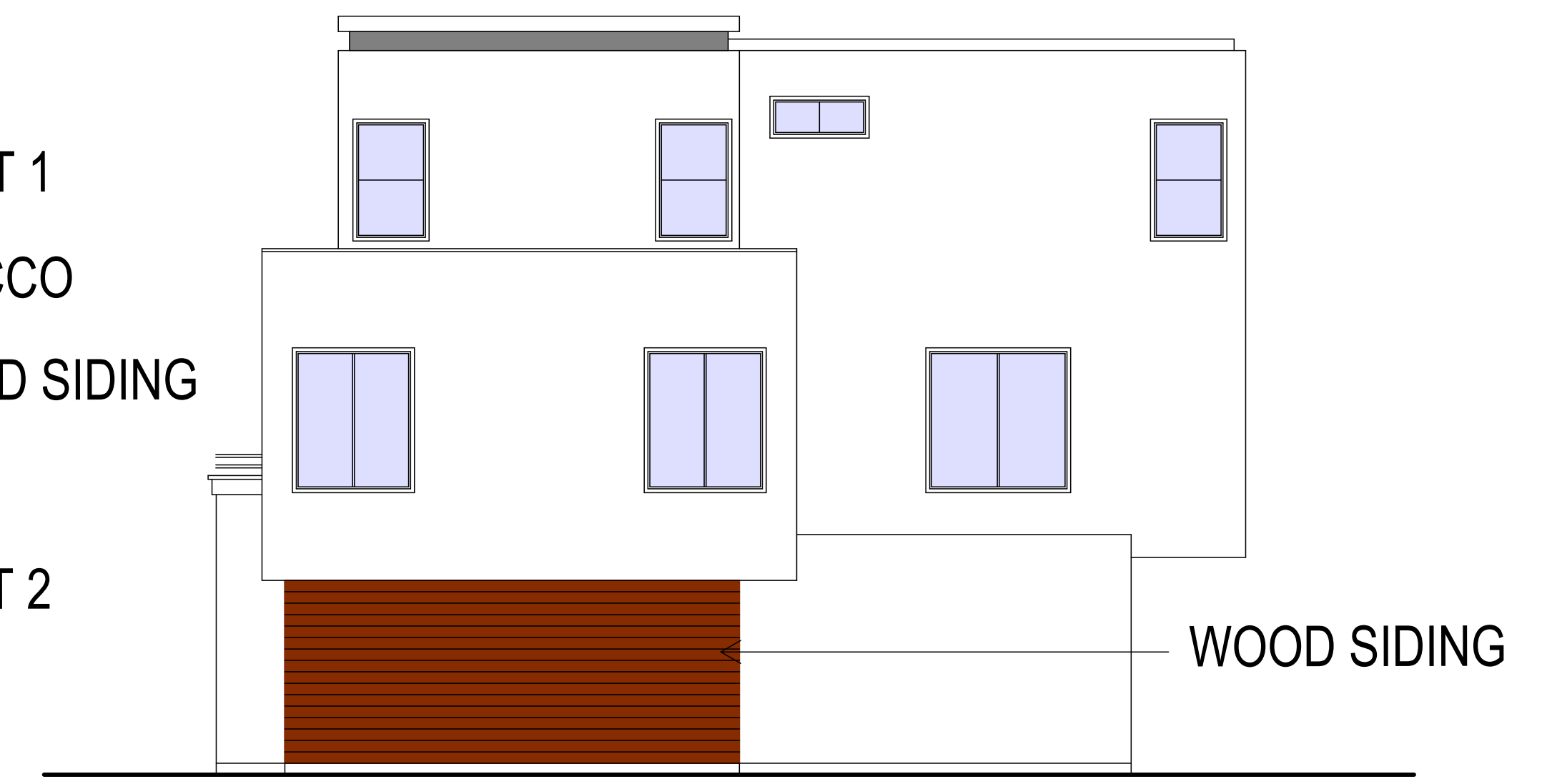
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DATE: AUGUST 20, 2024

SHEET 9 OF 13



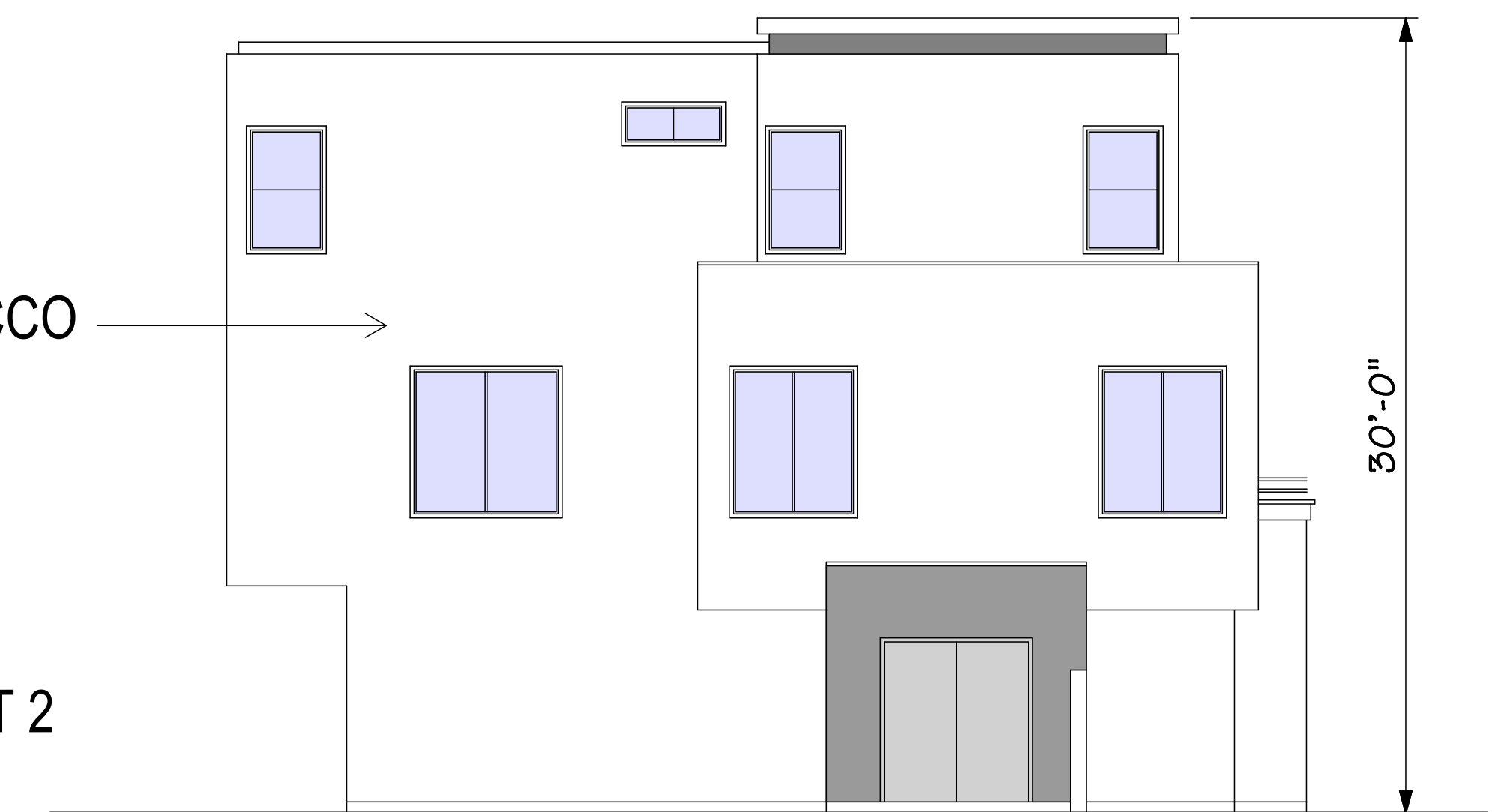
NORTH ELEVATION BUILDING #7



EAST ELEVATION BUILDING #7



SOUTH ELEVATION BUILDING #7



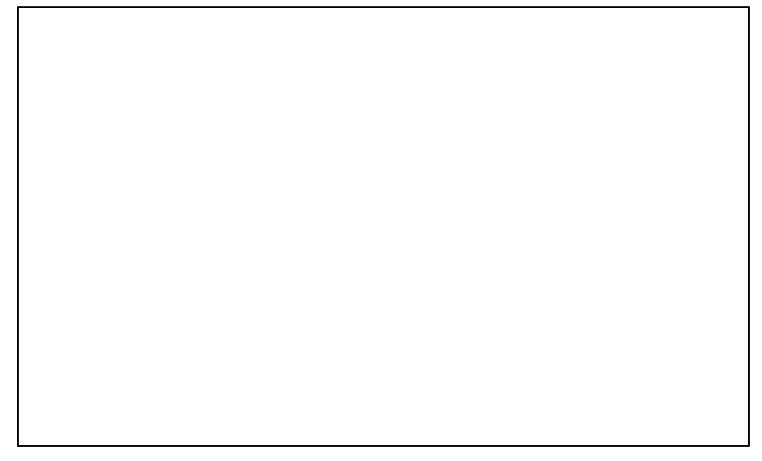
WEST ELEVATION BUILDING #7

WOOD SIDING  
NEW TECHWOOD



COMPOSITE SIDING  
'PERUVIAN TEAK'  
U09-16-TK-14

STUCCO  
OMEGA STUCCO



#10 WHITE

PAINT 1  
DUNN-EDWARDS PAINT



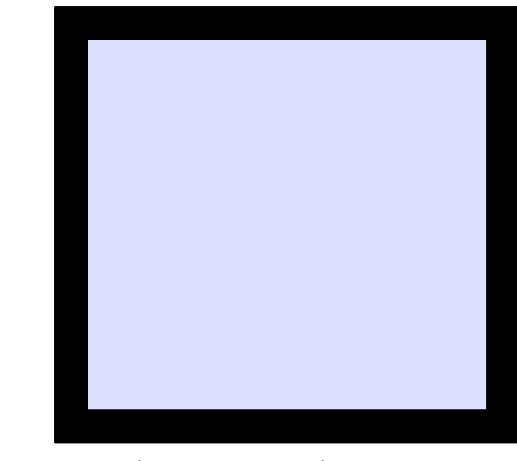
DET 610 WOLVERINE

PAINT 2  
DUNN-EDWARDS PAINT



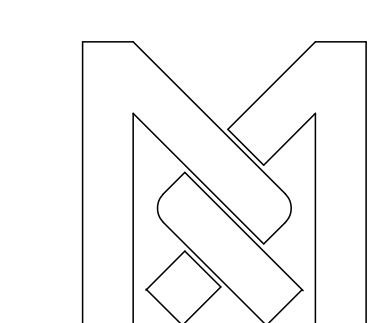
DET 6375 CASTLEROCK

WINDOWS  
MILGARD VINYL



BLACK FRAMES W/  
CLEAR GLASS

# Building No. 7 Illustrative Building Elevations



RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
T. (310) 809-6745  
E-MAIL rj.morris3@verizon.net

CARSON TOWNHOMES  
215 W. CARSON STREET, CARSON, CA

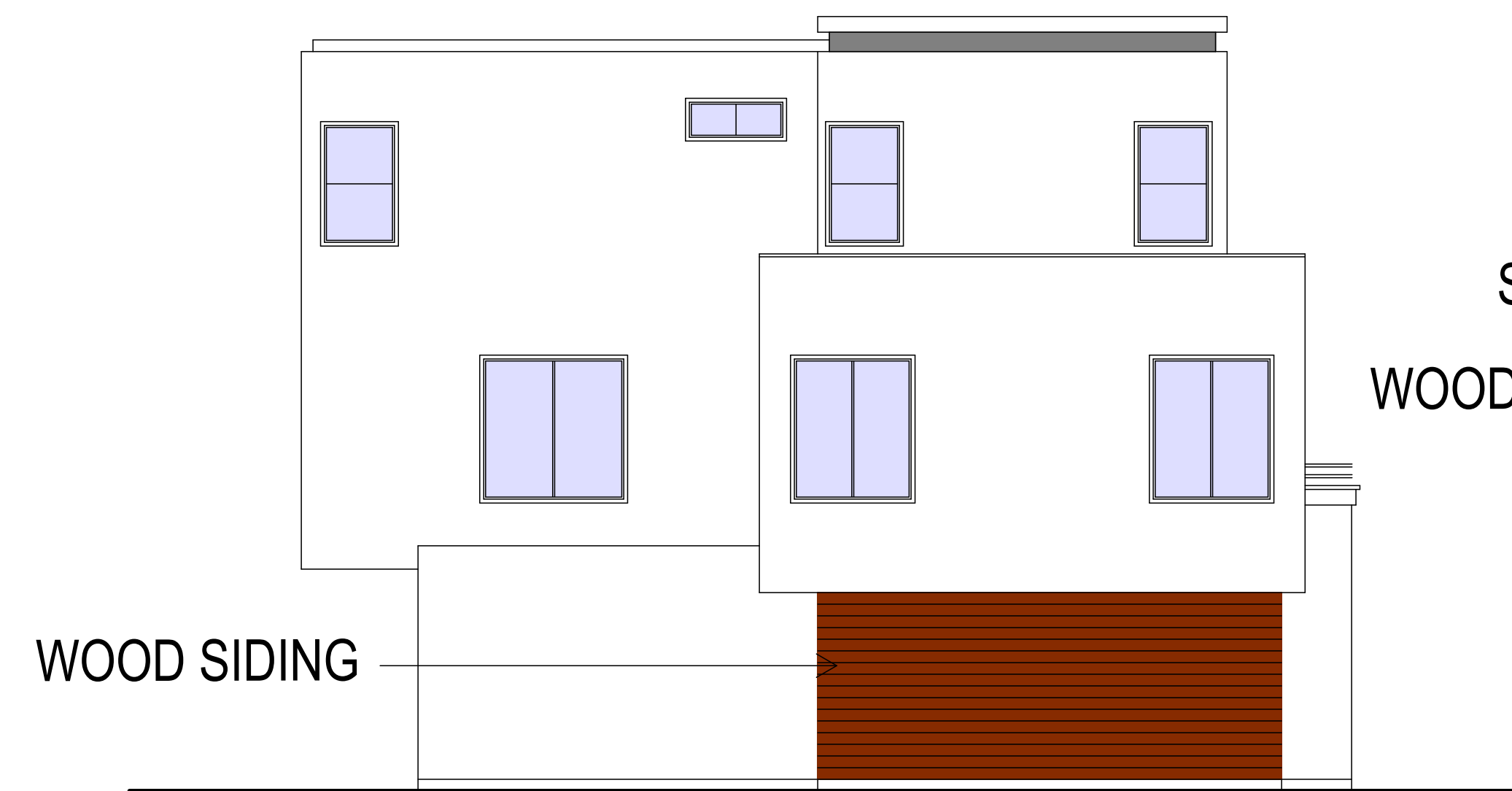
DON WILSON BUILDERS

23705 CRENSHAW BLVD STE 200  
TORRANCE CA 90510

SCALE: 3/16" = 1'-0"

DATE: AUGUST 20, 2024

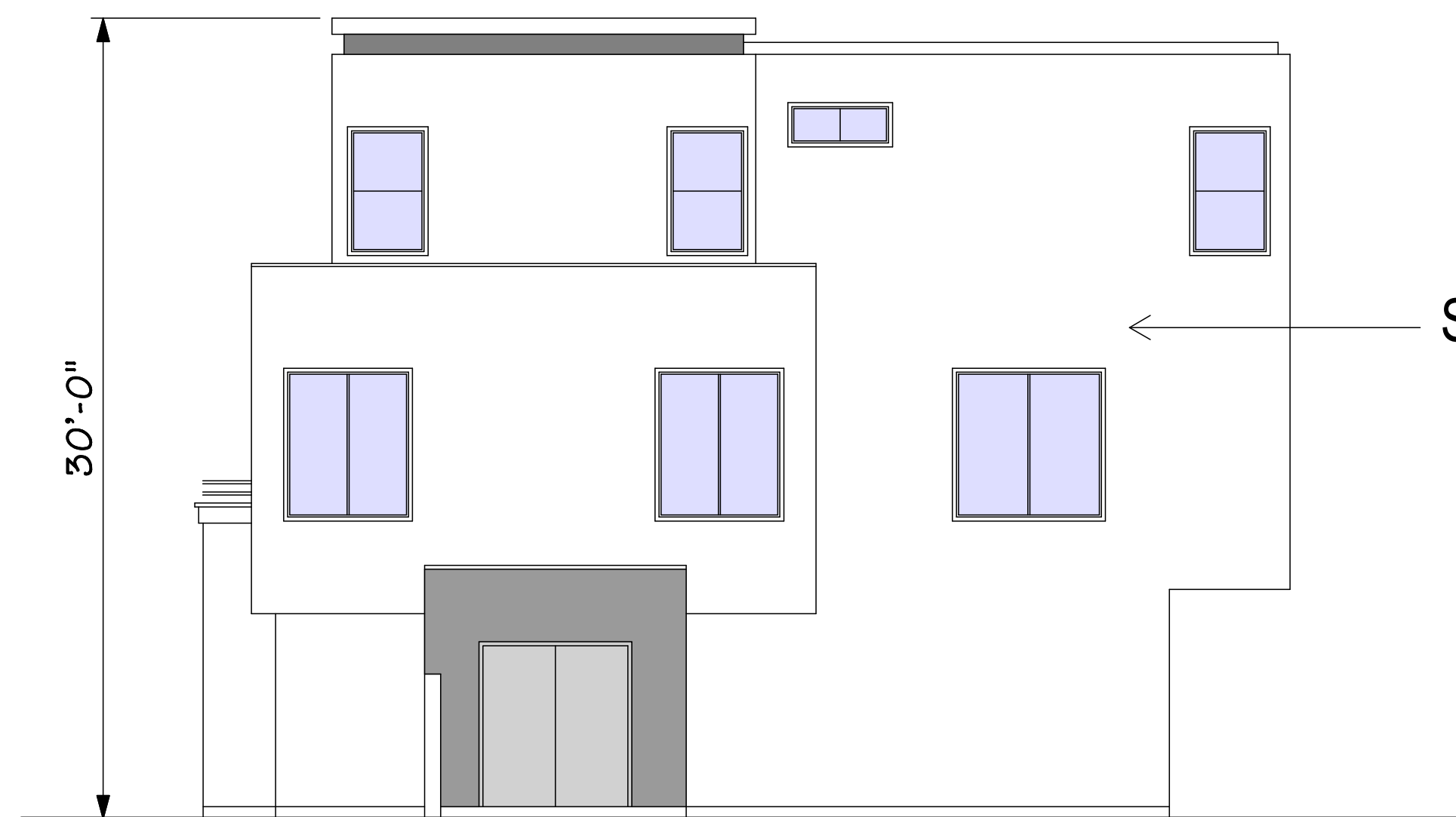
SHEET 10 OF 13



WEST ELEVATION BUILDING #8



NORTH ELEVATION BUILDING #8



EAST ELEVATION BUILDING #8



SOUTH ELEVATION BUILDING #8

WOOD SIDING  
NEW TECHWOOD



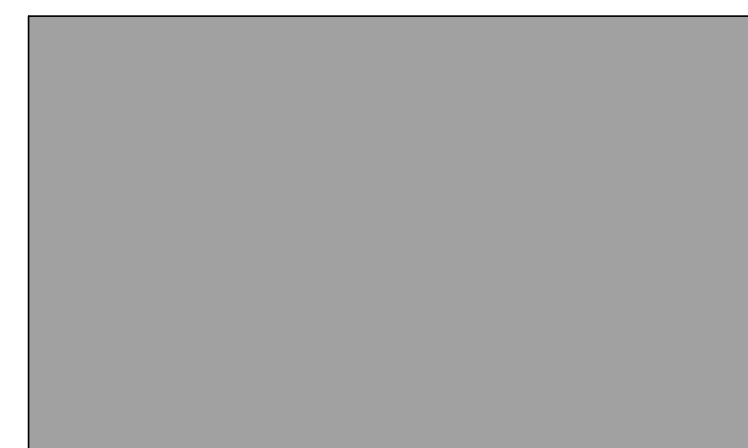
COMPOSITE SIDING  
'PERUVIAN TEAK'  
US09-16-TK-14

STUCCO  
OMEGA STUCCO



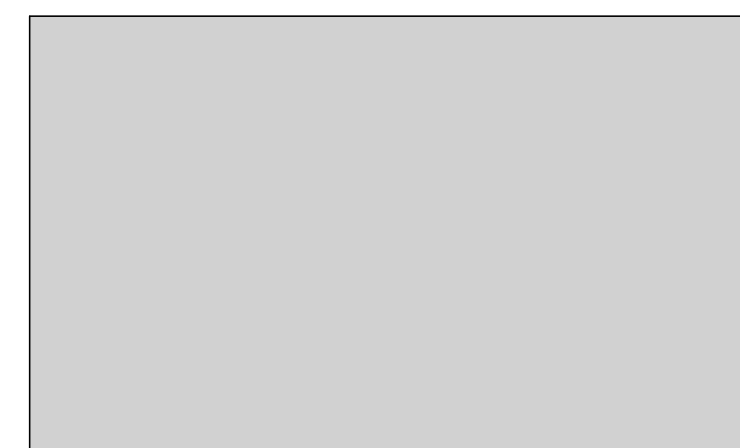
#10 WHITE

PAINT 1  
DUNN-EDWARDS PAINT



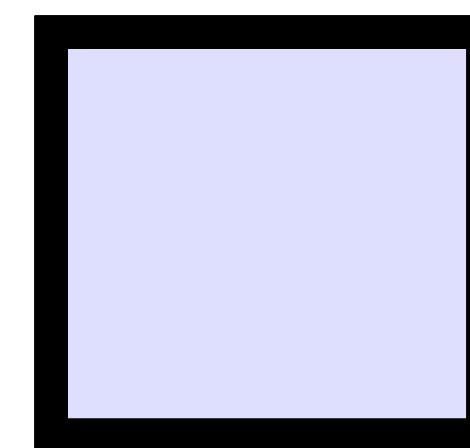
DET 610 WOLVERINE

PAINT 2  
DUNN-EDWARDS PAINT



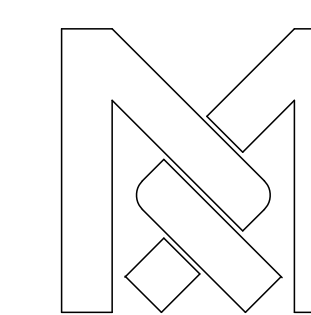
DET 6375 CASTLEROCK

WINDOWS  
MILGARD VINYL



BLACK FRAMES W/  
CLEAR GLASS

# Building No. 8 Illustrative Building Elevations



RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
T. (310) 809-6745  
E-MAIL [rj.morris3@verizon.net](mailto:rj.morris3@verizon.net)

**CARSON TOWNHOMES**  
215 W. CARSON STREET, CARSON, CA

**DON WILSON BUILDERS**

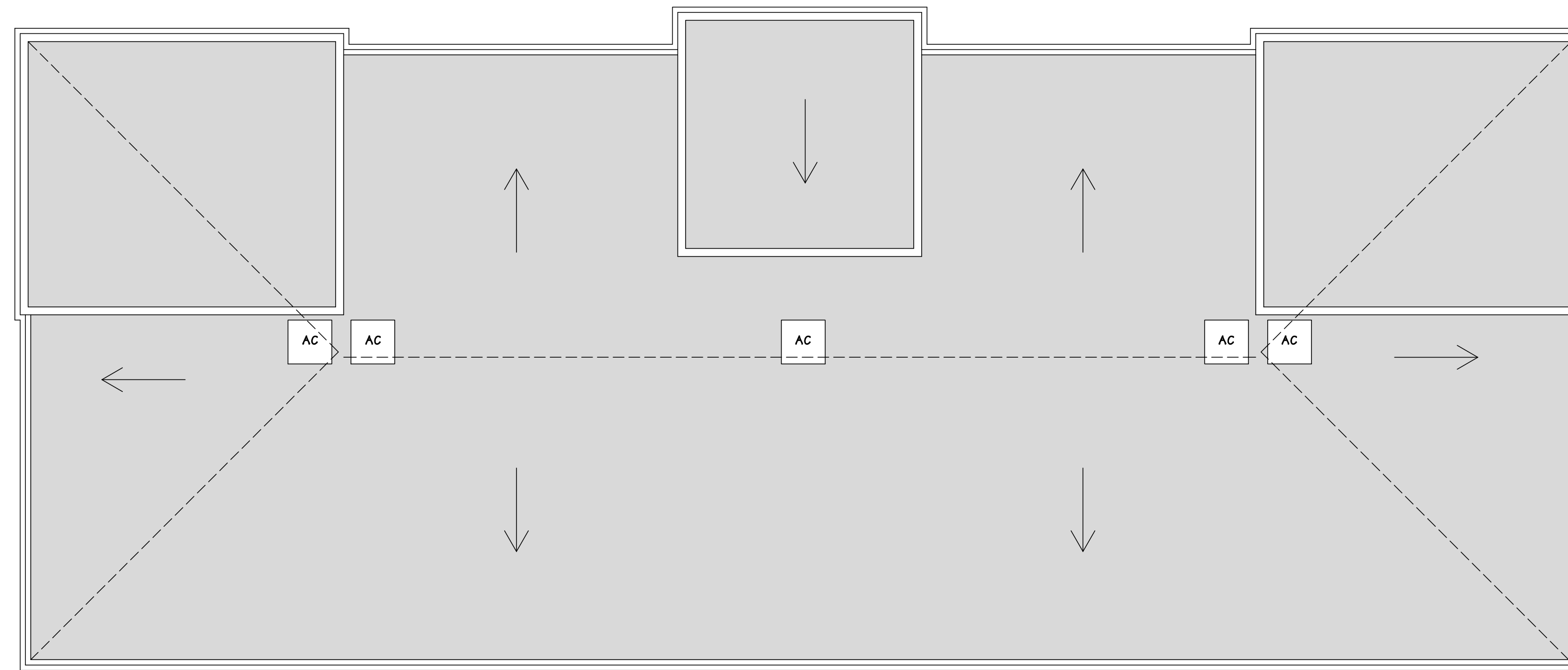
23705 CRENSHAW BLVD STE 200

TORRANCE CA 90510

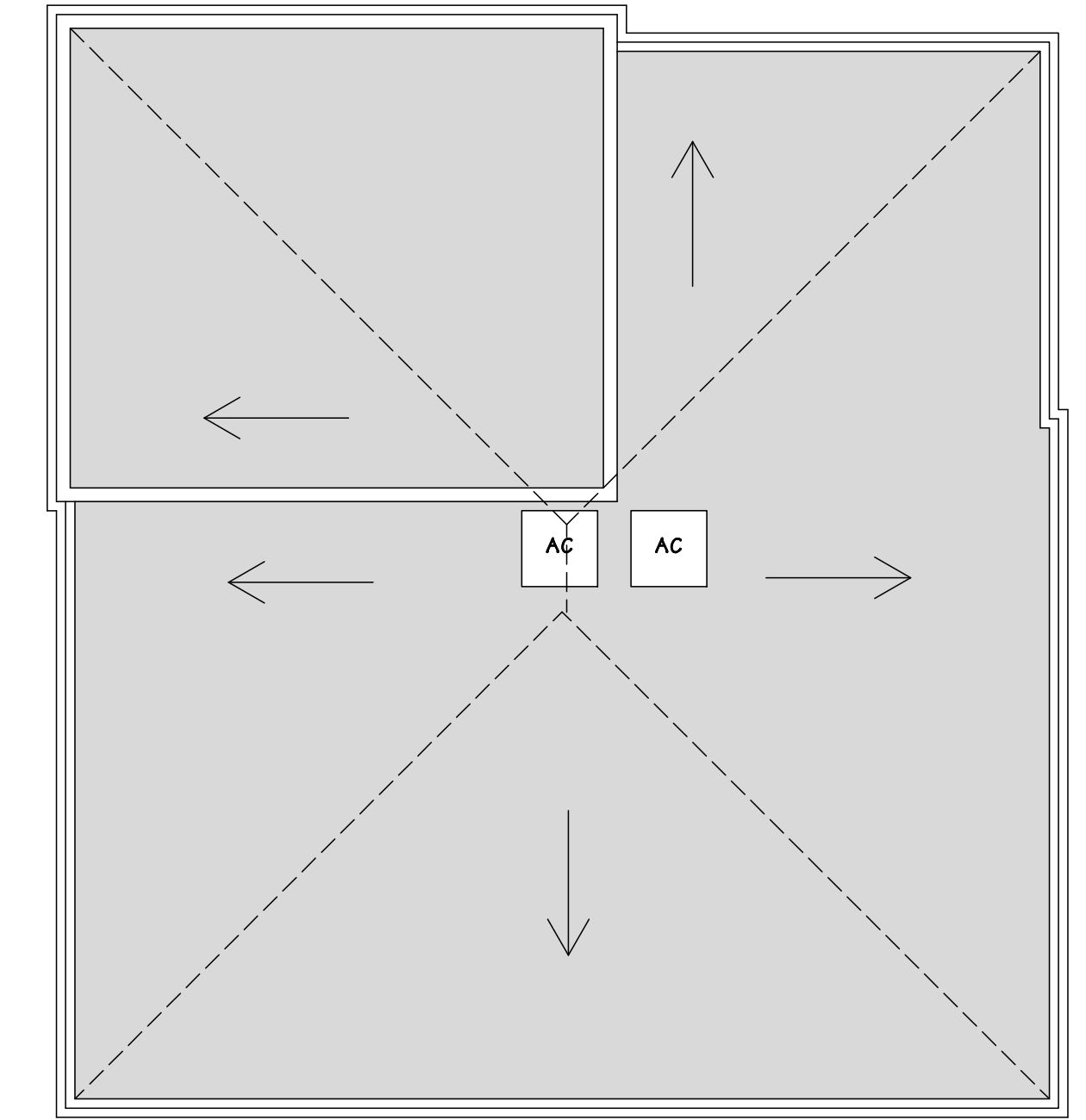
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DATE: AUGUST 20, 2024

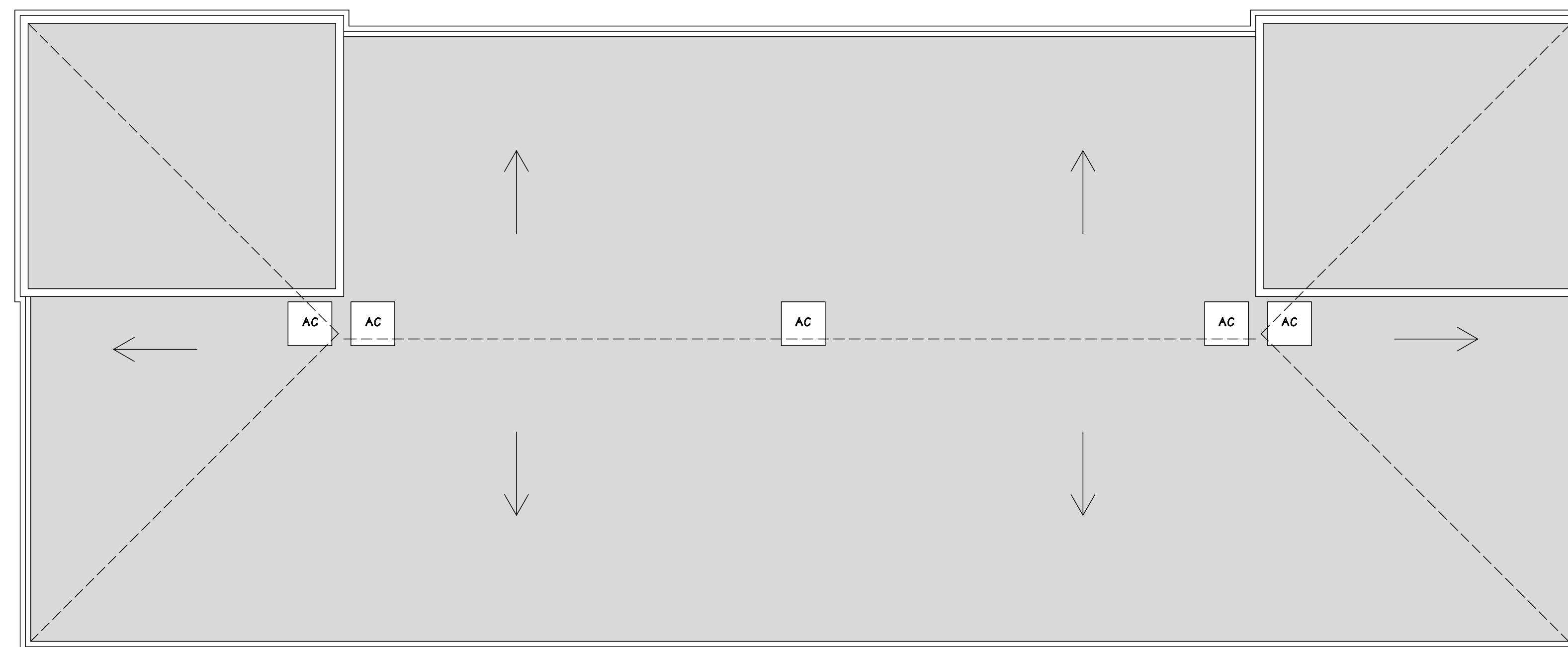
**SHEET 11 OF 13**



BUILDING 2, 3, 4, 5, & 6

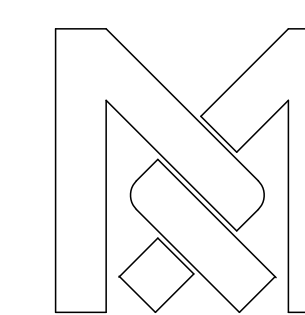


BUILDING 1 & 3



BUILDINGS 7 & 8

## Building Roof Plans



RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
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E-MAIL rj.morris3@verizon.net

**CARSON TOWNHOMES**  
215 W. CARSON STREET, CARSON, CA

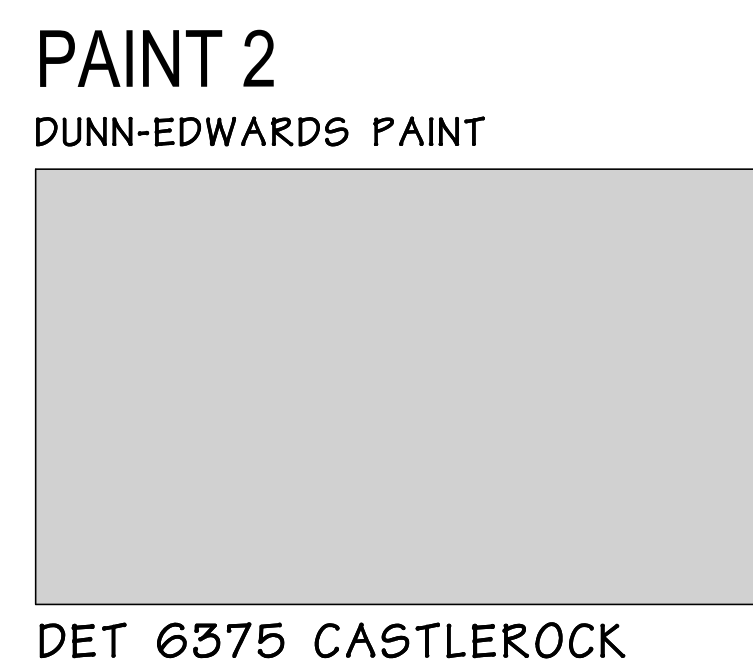
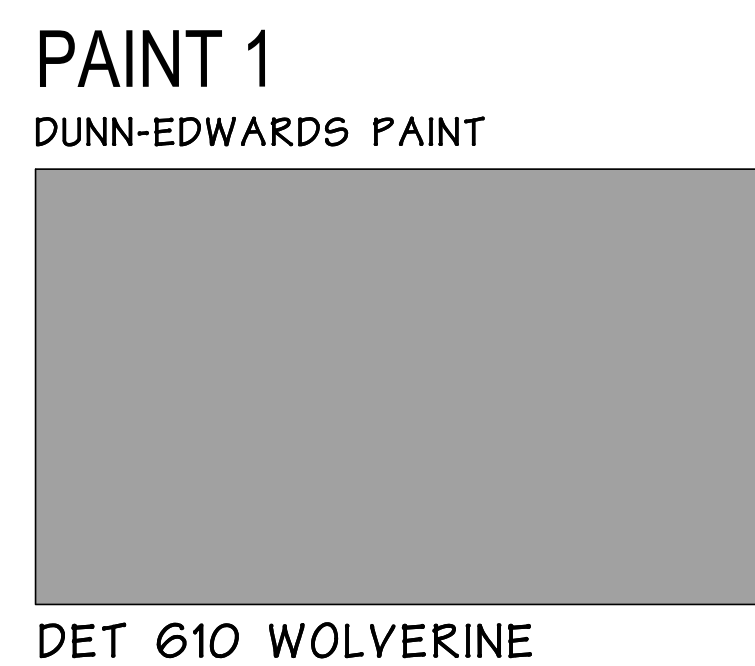
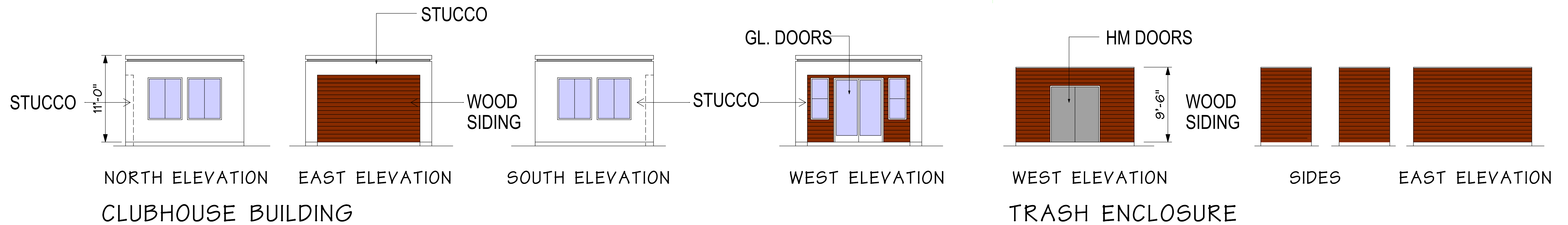
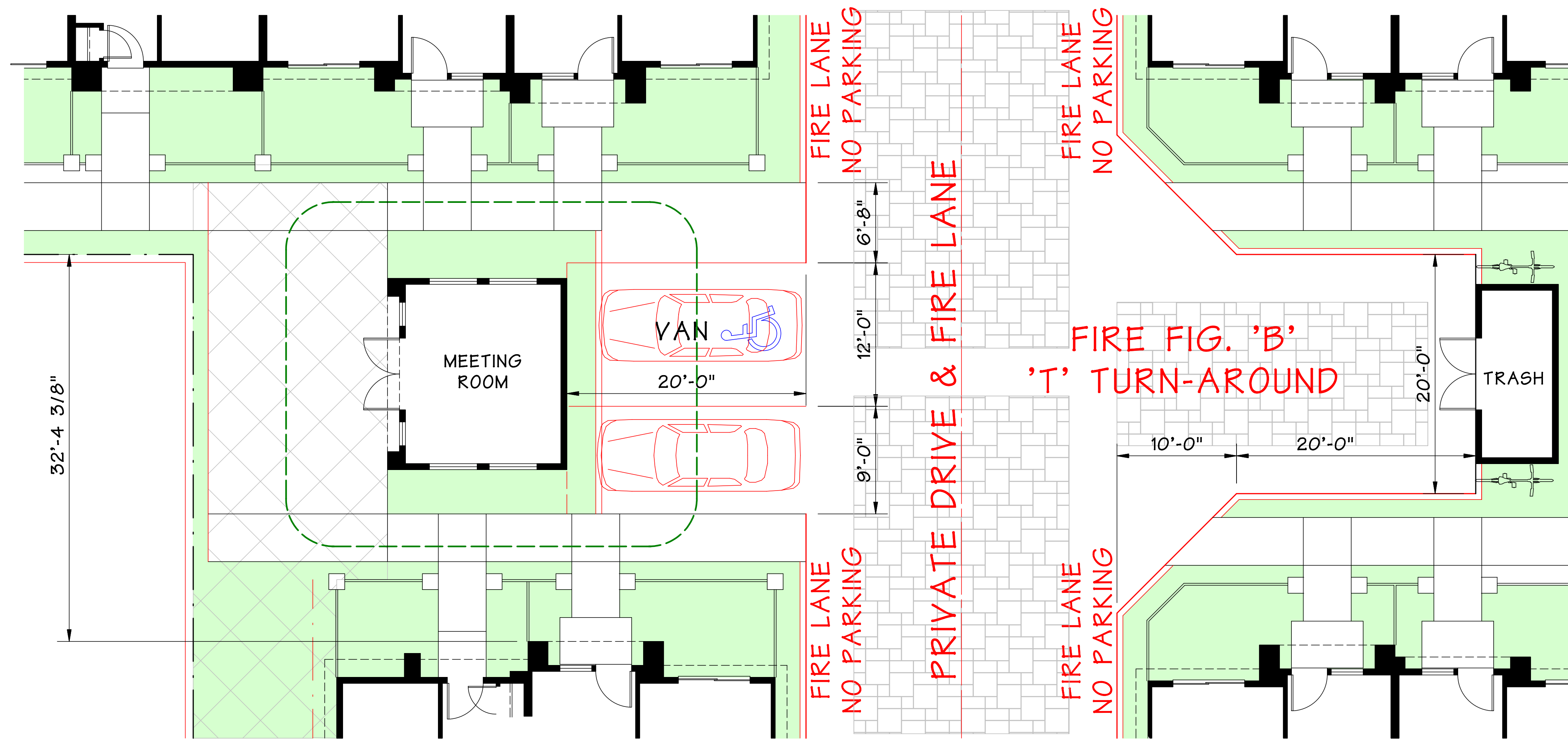
**DON WILSON BUILDERS**

23705 CRENSHAW BLVD STE 200  
TORRANCE CA 90510

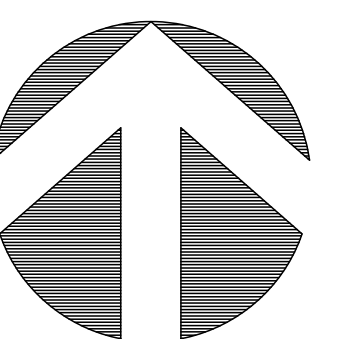
SCALE: 1/8" = 1'-0"

DATE: AUGUST 20, 2024

**SHEET 12 OF 13**



# Clubhouse Floor Plans & Elevations

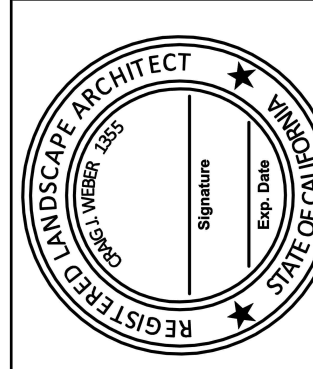


RANDY MORRIS ARCHITECT  
45120 VIA CARINA  
INDIAN WELLS, CA 92210  
T. (310) 809-6745  
E-MAIL [rj.morris3@verizon.net](mailto:rj.morris3@verizon.net)

**CARSON TOWNHOMES**  
215 W. CARSON STREET, CARSON, CA

**DON WILSON BUILDERS**  
23705 CRENSHAW BLVD STE 200  
TORRANCE CA 90510  
SCALE: 3/16" = 1'-0"  
DATE: AUGUST 20, 2024

**SHEET 13 OF 13**



**PLANT LIST**

| NO.                  | BOTANICAL NAME                    | COMMON NAME               | SIZE    | QTY      | WUCOLS RATING | HEIGHT X WIDTH  | REMARKS       |
|----------------------|-----------------------------------|---------------------------|---------|----------|---------------|-----------------|---------------|
| <b>TREES:</b>        |                                   |                           |         |          |               |                 |               |
| T1                   | LOPHOSTEMON CONFERTUS             | BRISBANE BOX              | 15 GAL. | 67       | MODERATE      | 20' X 15'       | STD. TRUNK    |
| T2                   | PLATANUS X HISPANICA              | LONDON PLANE TREE         | 24" BOX | 15       | MODERATE      | 50-70' X 10-15' | STD. TRUNK    |
| <b>SHRUBS:</b>       |                                   |                           |         |          |               |                 |               |
| S1                   | AGAVE ATTENUATA                   | FOXTAIL AGAVE             | 5 GAL.  | 124      | LOW           | 2-3' X 2-3'     |               |
| S2                   | CALLISTEMON VIMINALIS 'SLIM'      | DWARF WEEPING BOTTLEBRUSH | 15 GAL. | 64       | LOW           | 6-8' X 4-5'     | COLUMNAR FORM |
| S3                   | HESPERALOE PARVIFLORA             | RED YUCCA                 | 5 GAL.  | 174      | LOW           | 2-3' X 2-3'     |               |
| S4                   | MYRTUS COMMUNIS 'COMPACTA'        | DWARF MYRTLE              | 5 GAL.  | 383      | LOW           | 3-4' X 2-3'     |               |
| S5                   | PHORMIUM TENAX                    | NEW ZEALAND FLAX          | 5 GAL.  | 61       | LOW           | 4-5' X 4-5'     |               |
| S6                   | WESTRINGIA FRUTICOSA 'GREY BOX'   | DWARF COAST ROSEMARY      | 5 GAL.  | 129      | LOW           | 3' X 3'         |               |
| <b>GROUNDCOVERS:</b> |                                   |                           |         |          |               |                 |               |
| G1                   | BULBINE FRUTESCENS 'HALLMARK'     | STALKED BULBINE           | 1 GAL.  | 18" o.c. | LOW           | 1-2' x 1-2'     |               |
| G2                   | CARISSA MACROCARPA 'GREEN CARPET' | LOW GROWING NATAL PLUM    | 1 GAL.  | 24" o.c. | MODERATE      | 1-1/2' X 3-4'   |               |
| G3                   | MYOPORUM PARVIFOLIUM              | PROSTRATE MYOPORUM        | 1 GAL.  | 48" o.c. | LOW           | 6-12" X 4-5'    |               |
| <b>VINE:</b>         |                                   |                           |         |          |               |                 |               |
| V1                   | FICUS REPENS                      | CREEPING FIG              | 1 GAL.  | 54       | MODERATE      |                 |               |
| <b>LAWN:</b>         |                                   |                           |         |          |               |                 |               |
| L                    | MARATHON II SOD                   |                           |         |          | HIGH          |                 |               |

**WATER EFFICIENT LANDSCAPE CALCULATIONS**

PER 2015 REVISED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

**REFERENCE EVAPOTRANSPIRATION (Eto) 43.2**

| PLANT DESCRIP. | PLANT FACTOR (PF) | IRRIGATION METHOD | IRRIG. EFFICIENCY (IE) | ETAF (PF / IE) | LAND. AREA         | ETAF X AREA       | ETWU                      |
|----------------|-------------------|-------------------|------------------------|----------------|--------------------|-------------------|---------------------------|
| LOW WATER      | 0.2               | DRIP              | 0.81                   | 0.25           | 11,151             | 2787.7            | 74,666 GAL. / YR.         |
| MODERATE WATER | 0.5               | DRIP              | 0.81                   | 0.62           | 1,597              | 990.1             | 26,519 GAL. / YR.         |
| HIGH WATER     | 0.7               | DRIP              | 0.81                   | 0.86           | 1,290              | 1,109.4           | 29,714 GAL. / YR.         |
|                |                   |                   |                        | <b>TOTAL</b>   | <b>14,038 S.F.</b> | <b>4887.2</b>     | <b>130,899 GAL. / YR.</b> |
|                |                   |                   |                        |                |                    | <b>ETWU TOTAL</b> | <b>206,796 GAL. / YR.</b> |
|                |                   |                   |                        |                |                    | <b>MAWA TOTAL</b> | <b>206,796 GAL. / YR.</b> |

**MAXIMUM APPLIED WATER ALLOWANCE (MAWA)**

MAWA = (Eto) (0.62) [(ETAF X LA) + ((1-ETAF) X SLA)]  
 MAWA = (43.2) (0.62) [(0.55 X 14,038) + (0.45 X 0)]

MAWA = 206,796 GAL. / YR.

**ETAF CALCULATIONS**

(AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE .45 OR BELOW FOR NON-RESIDENTIAL AREAS)  
 TOTAL ETAF X AREA = 4887.2  
 TOTAL AREA = 14,038 S. F.  
 AVERAGE ETAF = 0.35

**HYDROZONE INFORMATION TABLE**

LOW WATER USE HYDROZONES: 11,151 S.F. = 80% OF LANDSCAPE  
 MODERATE WATER USE HYDROZONES: 1,597 S.F. = 11% OF LANDSCAPE  
 HIGH WATER USE HYDROZONES: 1,290 S.F. = 9% OF LANDSCAPE

**RECREATION SITE AMENITIES LIST**

- A1 **COVERED GRILL**  
 COLOR: BLACK  
 BY: PLAYWORLD  
 QTY: 1
- A2 **PLAY CUBES - 4**  
 INSTALL PLAYCUBES ON UNITARY PROTECTIVE PLAYGROUND SURFACE  
 COLOR: BY OWNER  
 BY: PLAYWORLD  
 QTY: 1
- A3 **RECTANGLE TABLE**  
 COLOR: BY OWNER  
 BY: PLAYWORLD  
 QTY: 2
- A4 **SQUARE TABLE**  
 COLOR: BY OWNER  
 BY: PLAYWORLD  
 QTY: 2

**GENERAL NOTES**

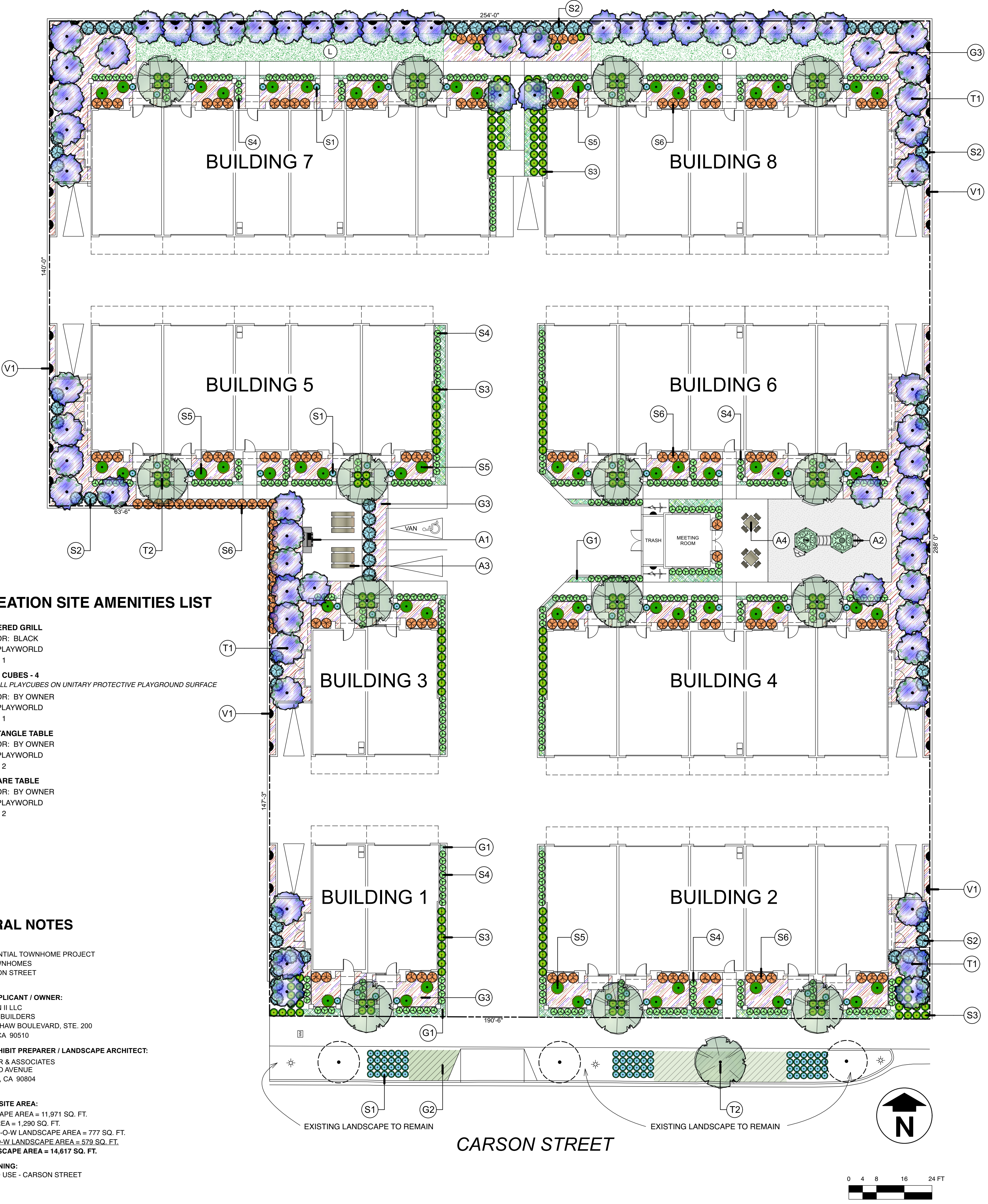
**PROJECT:**  
 NEW RESIDENTIAL TOWNHOME PROJECT  
 CARSON TOWNHOMES  
 215 W. CARSON STREET  
 CARSON, CA

**PROJECT APPLICANT / OWNER:**  
 DWB CARSON II LLC  
 DON WILSON BUILDERS  
 23705 CRENSHAW BOULEVARD, STE. 200  
 TORRANCE, CA 90510

**PROJECT EXHIBIT PREPARER / LANDSCAPE ARCHITECT:**  
 CRAIG WEBER & ASSOCIATES  
 950 SANTIAGO AVENUE  
 LONG BEACH, CA 90804  
 562.494.0411

**LANDSCAPE SITE AREA:**  
 SITE LANDSCAPE AREA = 11,971 SQ. FT.  
 SITE TURF AREA = 1,290 SQ. FT.  
 PROPOSED R-O-W LANDSCAPE AREA = 777 SQ. FT.  
 EXISTING R-O-W LANDSCAPE AREA = 579 SQ. FT.  
**TOTAL LANDSCAPE AREA = 14,617 SQ. FT.**

**PROJECT ZONING:**  
 MU-CS MIXED USE - CARSON STREET



CARSON STREET

**CONCEPTUAL LANDSCAPE PLAN**

